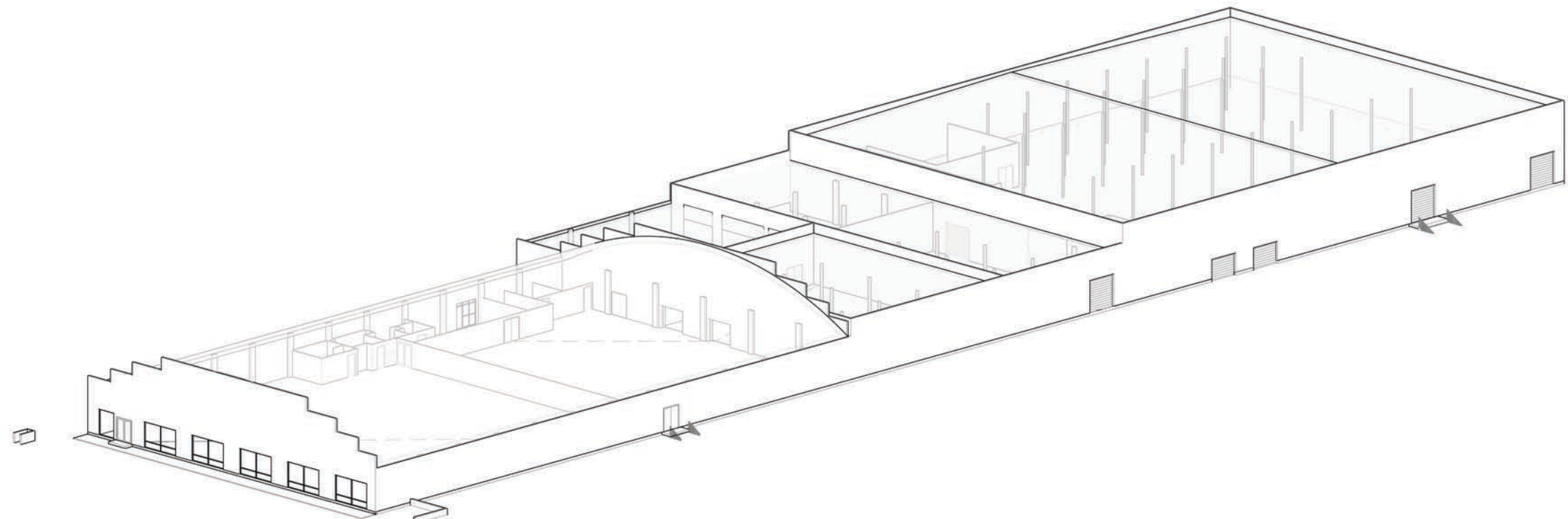


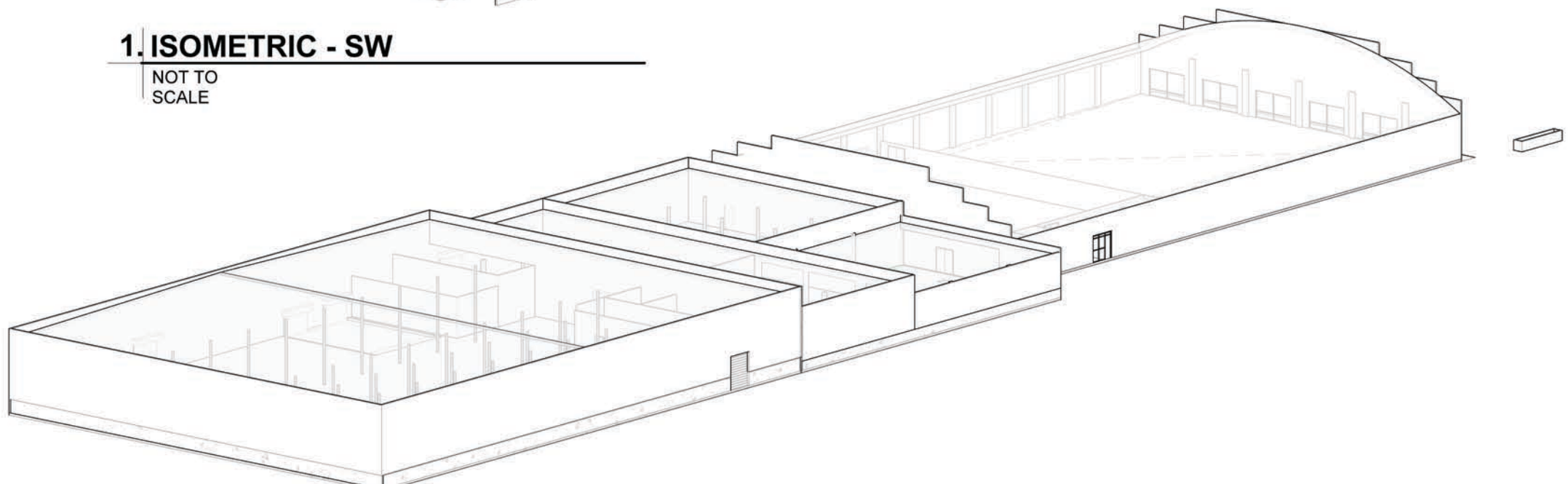
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SCALE



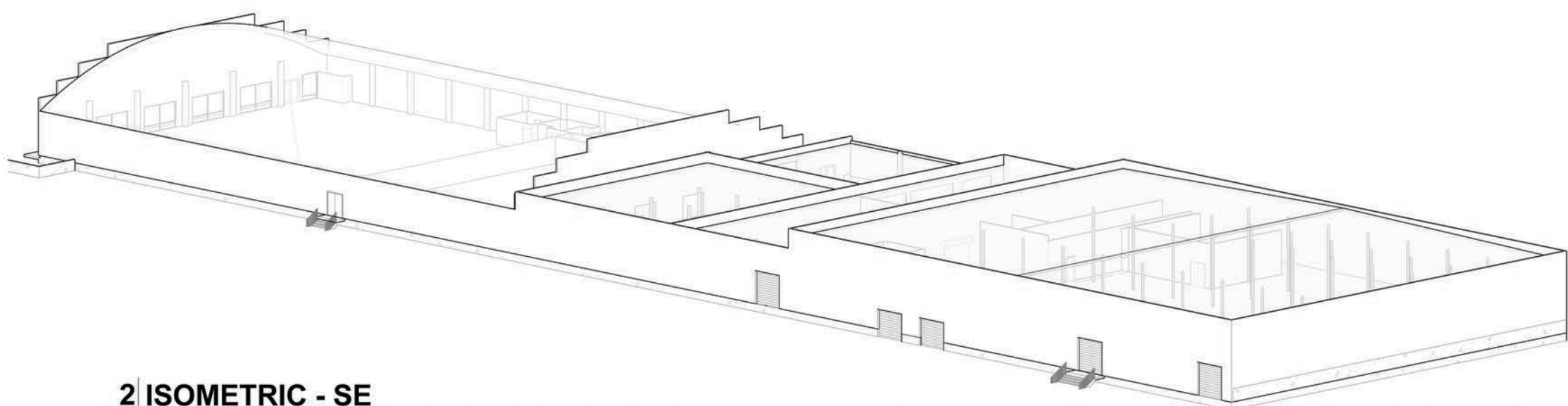
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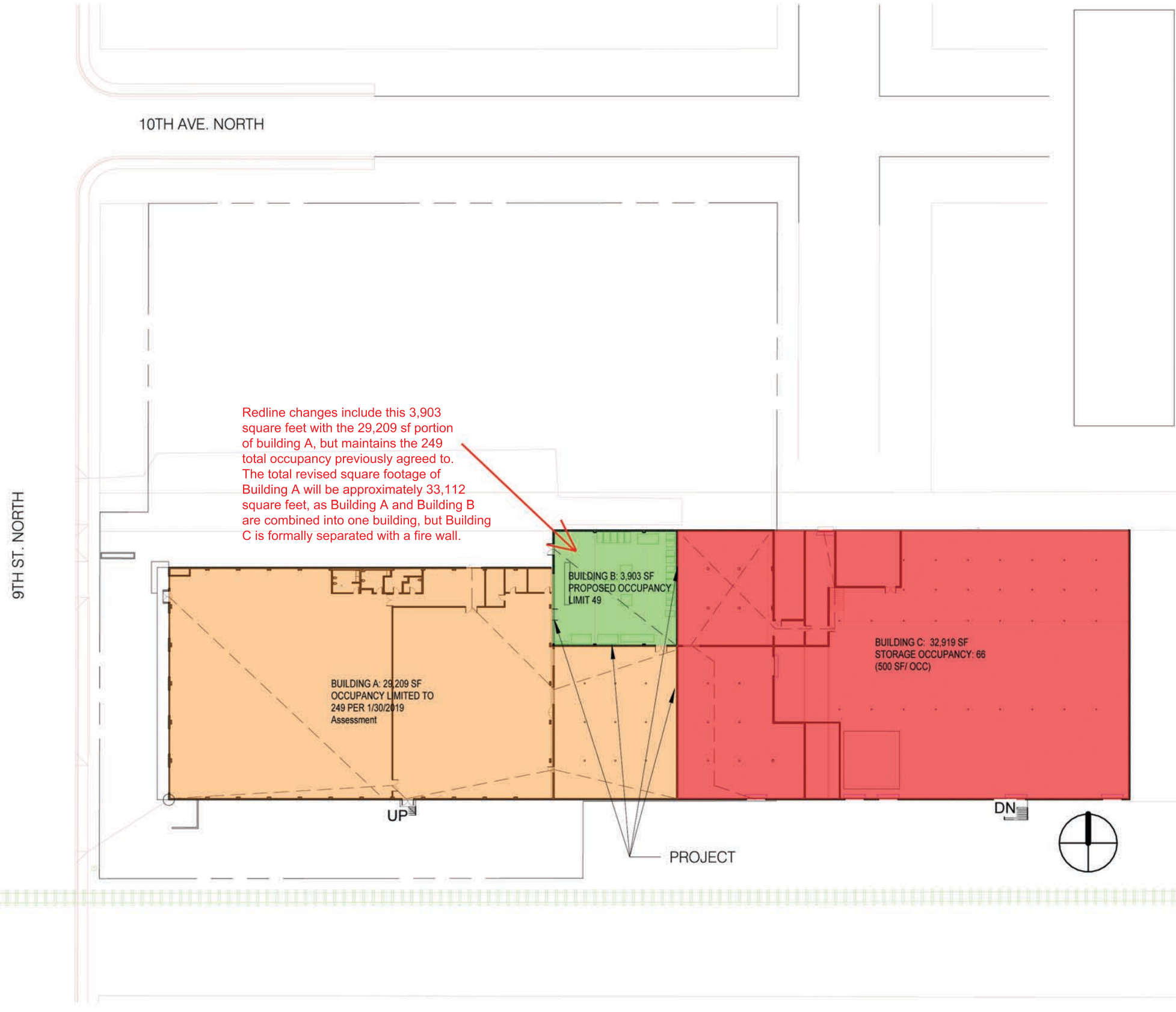
3 ISOMETRIC - NE

NOT TO
SCALE



2 ISOMETRIC - SE

NOT TO
SCALE



1 SITE

SCA 1" = 60'-0"
LE:

PROJECT DIRECTORY

CLIENT
DAN BATEMAN
901 9th Street North
Great Falls, MT
59401
dan@witsource.com
406.403.8462

ARCHITECT
BSPARK Architecture
Sophia Sparklin
410 Central Ave #506
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406.453.0001
sophia@spark-architecture.com

SHEET INDEX

SHEET NUMBER SHEET NAME

G000 PROJECT COVER
G001 GENERAL NOTES
A100 FLOOR PLAN

PROJECT DATA

PROJECT DESCRIPTION: RE-ESTABLISHMENT OF FIRE SEPERATION IN EXISTING BUILDING COMPLEX TO SUPPORT PROPOSED OCCUPANCY

PROJECT ADDRESS: 901 NINETH STREET NORTH
GREAT FALLS, MT 59401
CLIMATE ZONE: 6B
FULLY-SPRINKLED: YES
MAX BLDG HEIGHT: VARIES
BUILDING SETBACKS: VARIES
AREA OF LOT (NET): COMB. LOTS APPROX 141,000 SF
CONDITIONED AREA: EXISTING

MAX BLDG HEIGHT: VARIES, 30' MAX

BUILDING SETBACKS: VARIES

AREA OF LOT (NET): COMB. LOTS APPROX 141,000 SF

CONDITIONED AREA: EXISTING

ZONING PUD APPROVED FOR PROPOSED TENANTS

CONSTRUCTION TYPE : 3B
HAZARD CLASS : 2 (DUE TO LIMITED OCCUPANT NUMBERS 249 occ), MAXIMUM BUILDING AREA CONFORMITY,
FIRE WALLS : THIS APPLICATION PROPOSES TO REESTABLISH ORIGINAL FIRE WALLS.
OCCUPANCY TYPES: A (MOST RESTRICTIVE), WITH S IN BUILDING C (EASTERN WAREHOUSE, NOW SEPERATED FROM BUILDINGS A AND B WITH A OCCUPANCIES.

OCCUPANT COUNTS: LIMITED 249 'PER BUILDING'

PROJECT DESCRIPTION:
REVISION OF MASTER PLAN (PERMITTED 1/30/2019) OF EXISTING BUILDING ADJUSTING TO ACCOMMODATE ARCADE USE IN PARTS OF FORMER SPARKETTES SPACE.

PLEASE NOTE THAT AS-BUILT DIMENSIONS ARE APPROXIMATE AND FOR THE PURPOSE OF MASTER PLANNING. VERIFY DIMENSIONS IN FIELD PRIOR TO ANY CONSTRUCTION.

CURRENT TENANTS / OCCUPANCY:
1. GOLDEN TRIANGLE GYM OCCUPIES THE WESTERNMOST SECTION OF BUILDING A (13,312 SF GROSS), DUE TO EQUIPMENT LAYOUT AND HISTORICAL USAGE THIS SECTION WAS ASSESSED AT 100 OCCUPANTS IN 2019.
2. KABOOM (FORMER FUNLAND) OCCUPIES THE EASTERN SECTION OF BUILDING A.
3. THE LARGE SPARKETTES SPACE HAS BEEN VACATED. THIS APPLICATION PROPOSES REDUCING THE AREA OF THIS SPACE, TO CREATE A DEDICATED AREA FOR THE ARCADE ZONE (CURRENTLY IN KABOOM SPACE).

DOCUMENTATION GOAL:
INDICATION OF TENANT WALLS AND OPENINGS FOR INSPECTION AND EXIT SAFETY: ATTACHED
DEMONSTRATION OF MAXIMUM EGRESS PATH LENGTH: ATTACHED

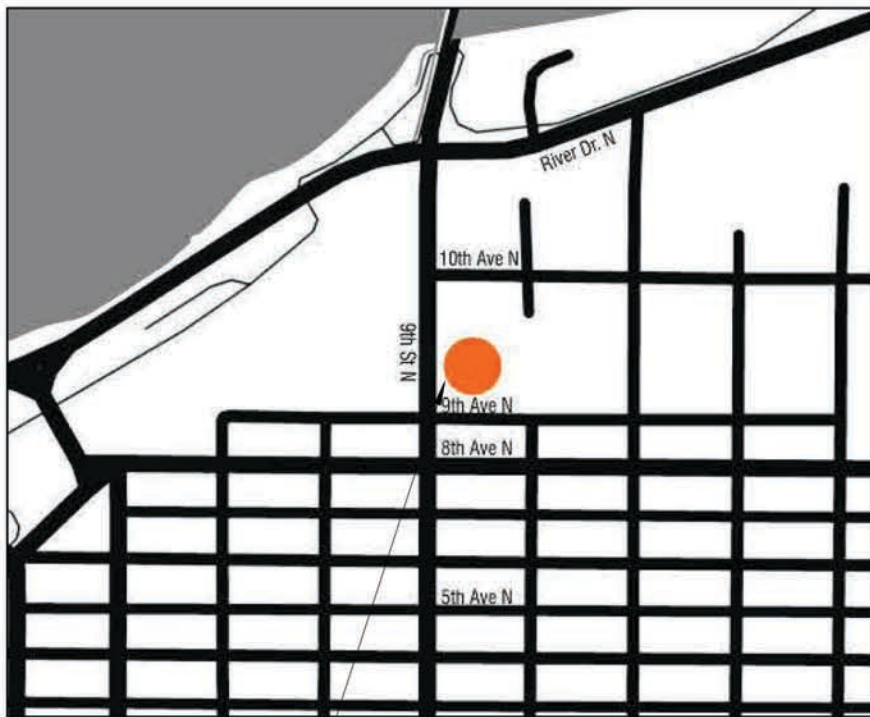
RE-ESTABLISH FIREWALLS WHERE INDICATED. THIS WILL REQUIRE, REPAIR/INFILL, ADDED 5/8" TYPE X DRYWALL, FIREPROOFING PENETRATIONS, AND PROTECTING AN EXISTING STEEL BEAM., TO ACHIEVE AN OVERALL FIRE RATING OF MIN. 3 HOURS.

MAXIMUM BUILDABLE AREA CALCS:
WITH THE BUILDING EFFECTIVELY SPLIT INTO THREE BUILDINGS BY THE RE-ESTABLISHED FIRE WALLS,
THE MAXIMUM AREA FOR THE MOST RESTRICTIVE OCCUPANCY PER TABLE 503 IS 9,500 SF - MULTIPLIED FOR AREA INCREASES TIMES FOUR (FULLY SPRINKLED), EACH SIDE COULD BE UP TO 38,000 SF. THIS DOES NOT INCLUDE ANY ADDITIONAL INCREMENTAL FRONTAGE INCREASES.

PROJECT DATA - com Copy 1

SCA 1/4" = 1'-0"
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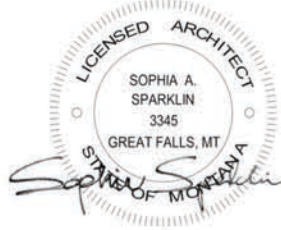
VICINITY MAP



PROJECT SITE



410 Central Ave #506
GREAT FALLS, MT 59401
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BSPARKARCH.COM



901 9TH ST FIRE SEPARATION

DAN BATEMAN, 901 NINTH STREET NORTH, GREAT FALLS MT 59401

PHASE REVISIONS

Tenant Revision 1: _____
2: _____

22022

PROJECT COVER

G000

BUILDING PERMIT SET
7/11/2022 10:13:19 AM

GENERA

GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS DURING CONSTRUCTION AND WILL OBTAIN ANY REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK

- 2. GENERAL CONTRACTOR WILL COORDINATE ANY SPECIAL INSPECTIONS AS REQUIRED
- 3. THE ARCHITECTS' OBSERVATIONS FOR COMPLIANCE WITH THE PLANS AND SPECIFICATIONS SHALL NOT BE DEEMED SUPERVISION OR CONTROL OF CONSTRUCTION MEANS OR METHODS EMPLOYED BY THE CONTRACTOR OR ANY SUBCONTRACTOR.
- 4. MINOR CHANGES: THE ARCHITECT WILL HAVE AUTHORITY TO REQUEST MINOR CHANGES IN THE WORK NOT INVOLVING AN ADJUSTMENT IN THE CONTRACT SUM OR AN EXTENSION OF THE CONTRACT TIME NOT INCONSISTENT WITH THE EXTENT OF THE CONTRACT DOCUMENTS.
- 5. THE ARCHITECT SHALL BE HELD HARMLESS AGAINST ALL CLAIMS AND DAMAGES ARISING OUT OF THE CONSTRUCTION DOCUMENTS IF THE OWNER ARCHITECT AGREEMENT IS TERMINATED BEFORE THE WORK IS COMPLETED AND/OR CHANGES ARE MADE WITHOUT HIS OR HER APPROVAL.

CONSTRUCTION DOCUMENTS

- 2. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS.
- 3. PERIMETER BUILDING DIMENSIONS ARE TO FACE OF SLAB OR FACE OF STUD, UNLESS NOTED OTHERWISE.
- 4. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- 5. WHERE DIMENSIONS ARE INADVERTENTLY OMITTED FROM PLAN REFER TO DETAILS OR IN ABSENCE OF DETAILS, OBTAIN INFORMATION FROM THE ARCHITECT.
- 6. THE OWNER AND CONTRACTOR RECOGNIZES THAT THE CONSTRUCTION MUST BE CARRIED OUT BY SKILLED WORKMEN AND SUBCONTRACTORS SINCE THE CONSTRUCTION DOCUMENTS DO NOT INDICATE EVERY DETAIL OF THE WORK.
- 7. ANY DISCREPANCIES AND/OR CONFLICTS IN THESE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THE WORK.
- 8. REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING.
- 9. COORDINATE SIZES AND LOCATIONS OF OPENINGS AND PENETRATIONS WITH ALL TRADES.
- 10. DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, OR FACE OF MASONRY AND DO NOT INCLUDE THE THICKNESS OF WALL FINISHES. U.N.
- 11. SPACES, SERVICE ACCESS, PROJECTION INTO SPACES AND HEADROOM:
 - A. VERIFY SPACES IN WHICH WORK IS TO BE INSTALLED. ALL EQUIPMENT FURNISHED MUST FIT IN SPACE AVAILABLE AND SHALL BE EASILY ACCESSIBLE FOR PROPER SERVICING.
 - B. MAINTAIN INDICATED CEILING HEIGHTS AND MAXIMUM HEADROOM THROUGHOUT. WHERE NECESSARY TO AVOID BEAMS OR STRUCTURAL WORK OR PIPING OR WIRING, THE MECHANICAL AND ELECTRICAL SYSTEM SHALL BE TRANSFORMED, DIVIDED OR CURVED WITHOUT REDUCING PERFORMANCE CRITERIA.
 - C. OBTAIN ARCHITECTS APPROVAL FOR ANY PROJECTION INTO SPACES WHEN NOT SO INDICATED. INTERIOR CONSTRUCTION DOCUMENTS

SUBMITTALS & SUBSTITUTIONS

- 2. SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION OR FOR ANY OTHER ASSEMBLIES, EQUIPMENT, ETC. AS CALLED FOR IN THE DOCUMENTS.

DEFERRED SUBMITTALS

- 1. FABRICATOR SHALL BE RESPONSIBLE FOR THE ENGINEERING OF THE ABOVE ELEMENTS IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, AND THE PROCUREMENT OF APPROVAL FROM THE BUILDING OFFICAL.
- 2. IN ALL CASES, DEFERRED SUBMITTAL DOCUMENTS SHALL BEAR A STAMP OR NOTE FROM THE ENGINEER OR ARCHITECT OF RECORD INDICATING THAT THEY HAVE REVIEWED THE DOCUMENTS FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING PRIOR TO SUBMITTING THEM TO THE BUILDING INSPECTOR OR THE PLAN REVIEWER.
- 3. AT COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL STATING THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.

SITE & DOCUMENT INSPECTION

TRACTOR WILL INSPECT THE PREMISES PRIOR TO HIS COMMENCING WORK TO CHECK EXISTING WORK CONDITIONS. ALL BIDDERS SHALL CAREFULLY REVIEW PLANS, SPECIFICATIONS AND REPORTS, INCLUDING GEOTECHNICAL AND OTHER REPORTS. THEY SHALL BE RESPONSIBLE FOR BIDDING ALL COMPONENTS OF THEIR RESPECTIVE TRADES AND SHALL INCLUDE IN THEIR PRICES ALL ITEMS WHETHER OR NOT SPECIFICALLY SHOWN OR IMPLIED. PROPOSALS WILL BE CONSIDERED TO BE PROVIDING A COMPLETE BID FOR THEIR RESPECTIVE TRADE IN ALL RESPECTS. THERE SHALL BE NO EXTRA CHARGES FOR ITEMS WHICH WERE LEFT OUT OF BIDS WHETHER OR NOT SPECIFICALLY SHOWN OR IMPLIED ON THE PLANS FOR CODE REQUIREMENTS.

- 2. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR BIDDING ALL COMPONENTS OF THEIR RESPECTIVE TRADES AND SHALL INCLUDE IN THEIR PRICES ALL ITEMS WHETHER OR NOT SPECIFICALLY SHOWN OR IMPLIED. PROPOSALS WILL BE CONSIDERED TO BE PROVIDING A COMPLETE BID FOR THEIR RESPECTIVE TRADE IN ALL RESPECTS. THERE SHALL BE NO EXTRA CHARGES FOR ITEMS WHICH WERE LEFT OUT OF BIDS WHETHER OR NOT SPECIFICALLY SHOWN OR IMPLIED ON THE PLANS FOR CODE REQUIREMENTS.
- 3. IF A BIDDER HAS ANY DOUBTS AS TO WHAT IS TO BE PROVIDED, THEY SHALL CLARIFY IN WRITING PRIOR TO SUBMITTING PROPOSAL. SHOULD CONTRACTOR OR SUBCONTRACTOR FIND CONDITIONS WHICH THEY BELIEVE WOULD IMPEDE THEIR WORK, THEN SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY. FAILURE TO ADVISE WILL CONSTITUTE NOTICE THAT THE CONTRACTOR IS FULLY SATISFIED AND THAT HE INTENDS TO PERFORM HIS OBLIGATIONS WITH NO ALLOWANCE EITHER IN TIME OR MONEY FOR ANY IMPEDIMENTS TO HIS WORK.

SITE SAFETY

- 1. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGES THROUGHOUT CONSTRUCTION.
- 2. THE CONTRACTOR IS EXCLUSIVELY RESPONSIBLE FOR LOSS OR EXPENSE RESULTING FROM INJURY ON THE PROJECT SITE. HE ASSUMES ALL RISKS IN THE PERFORMANCE OF THE WORK AND IS RESPONSIBLE FOR SUPERVISION, MATERIALS, EQUIPMENT, AND LABOR REQUIRED TO IMPLEMENT THE PLANS AND SPECIFICATIONS.
- 3. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT HIS EXPENSE.

EXECUTION OF WORK

- 1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILLS AND ATTENTION AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- 2. UNLESS OTHERWISE SPECIFICALLY NOTED THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
- 3. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK AND PROMPTLY NOTIFY THE ARCHITECT IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH. ALL DISCREPANCIES AND AMBIGUITIES SHALL BE INTERPRETED AS THAT WHICH RESULTS IN A HIGHER AND MOST COMPLETE PERFORMANCE.
- 4. ALL TRADE WORK SHALL MEET BEST PRACTICES FOR THE INDIVIDUAL TRADE. IMPROPER OR INFERIOR WORK SHALL BE REPLACED BY THE SUBCONTRACTOR INVOLVED AT HIS OWN EXPENSE. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE IN GOOD QUALITY, FREE FROM DEFECTS AND CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD THAT NO INFERIOR NON-CONFORMING WORK OR MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER FINAL ACCEPTANCE. IF REQUIRED BY THE ARCHITECT, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT. ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER ACCEPTABLE TO THE OWNER.
- 5. WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE JOB, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
- 6. BUILDING INSPECTIONS SHALL BE COORDINATED BY THE GENERAL CONTRACTOR IN A TIMELY MANNER.

GENERAL CONSTRUCTION NOTES

URED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR INSTRUCTIONS UNLESS HEREINAFTER SPECIFIED TO THE CONTRARY.

- 2. ALL PRODUCTS LISTED BY ICB0 / NER NUMBER SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTIONS FOR LISTED PRODUCTS SHALL ALSO HAVE ICB APPROVED EVALUATION REPORTS OR BE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.
- 3. ITEMS NOT LOCATED BY DIMENSION (DOORS, ETC.) MAY BE MOVED SLIGHTLY TO ACCOMMODATE CONSTRUCTION.
- 4. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES AND PROTECT THE SAME.
- 5. CONTRACTORS AND SUBCONTRACTORS ARE TO VERIFY ALL DIMENSIONS, GRADE ELEVATIONS, UTILITY LOCATIONS AND RELATED INFORMATION. ALL WORK IS TO BE IN COMPLIANCE WITH THE STATE / CITY AND FEDERAL EQUIREMENTS AS WELL AS THE PLANS AND SPECIFICATIONS.
- 6. BEFORE ANY CONCRETE OR PLUMBING MATERIALS ARE INSTALLED, THE NATIVE OR FILL MATERIAL FOR GRADING SHALL BE TESTED TO DETERMINE IF THERE ARE ANY CORROSIVE PROPERTIES THAT COULD BE HARMFUL TO THOSE MATERIALS.
- 7. CONCRETE SLABS AT DOOR OPENINGS SHALL HAVE A MAXIMUM SLOPE OF 1/4" PER FOOT.
- 8. FINISHED FLOOR ELEVATIONS (AS-BUILT) SHALL BE CERTIFIED TO THE CITY FOR THE FEDERAL EMERGENCY MANAGEMENT ASSOCIATION (F.E.M.A.) WHERE REQUIRED.
- 9. CENTER OF WATER CLOSETS SHALL BE A MINIMUM OF 18" FROM VERTICAL SURFACES OR SIDES -UNLESS NOTED OTHERWISE.
- 10. GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 18" OF FINISH FLOOR SHALL BE SAFETY GLASS PER IBC SECTION 2406.3.

GYPSON WALLBOARD WORK

- 2. ITEMS ATTACHED TO OR SUPPORTED BY GYPSON WALLBOARD PARTITIONS ARE TO HAVE CONCEALED REINFORCING PLATES, BOLTS, OR OTHER ATTACHMENTS IN ACCORDANCE WITH THE STUD MANUFACTURERS RECOMMENDATIONS.
- 3. FULL HEIGHT STUD PARTITIONS SHALL BE ATTACHED TO FLOOR AND/OR ROOF STRUCTURE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED DETAILS TO ALLOW FOR VERTICAL DEFLECTION, UNLESS NOTED OTHERWISE. THOSE PARTITIONS NOT EXTENDING TO STRUCTURE SHALL BE BRACED IN ACCORDANCE WITH DRAWINGS.

PAINTIN

GPAINTING CONTRACTOR SHALL INVESTIGATE ALL SURFACES TO RECEIVE FINISH COATING FOR COMPATIBILITY. WHERE NON-COMPATIBLE PRIMERS OR SURFACES EXISTS, A BARRIER COAT OR PRIMER SHALL BE APPLIED PRIOR TO APPLICATION OF FINISH COAT.

- 2. UNLESS INDICATED OTHERWISE ON THE SCHEDULES, WHERE DOORS ARE INDICATED TO BE PAINTED, DOOR FRAMES SHALL BE PAINTED TO MATCH.

HVAC

WORKICATION FROM ARCHITECT FOR EXPOSED REGISTER LOCATIONS AND WALL SWITCHES OR OTHER EXPOSED WALL FITMENTS.

- 2. THE CONTRACTOR SHALL VERIFY ANY NEW MECHANICAL UNIT LOADS AT ROOF AND/OR SUSPENDED BELOW THEIR LOCATIONS. NOTIFY THE DESIGNER OF ANY CHANGES IN SIZE OR LOCATION. AT HIGH TEMPERATURE DUCTS OR PIPES THRU ROOF, NO WOOD MAY BE USED AT ROOF CURB UNLESS STACK IS INSULATED AND HAS ADEQUATE CLEARANCE FOR VENTILATION.
- 3. ALL PIPE, DUCT, CONDUIT AND OTHER PENETRATIONS THROUGH FIRE RATED WALLS OR PARTITIONS SHALL BE PROVIDED WITH CLOSURES EQUAL IN RATING TO THE WALL BEING PENETRATED AND COMPLY WITH APPLICABLE UL DESIGN ASSEMBLIES.
- 4. AT HIGH TEMPERATURE DUCTS OR PIPES THRU ROOF, NO WOOD MAY BE USED AT ROOF CURB UNLESS STACK IS INSULATED AND HAS ADEQUATE CLEARANCE FOR VENTILATION.

SYMBOLS LEGEND

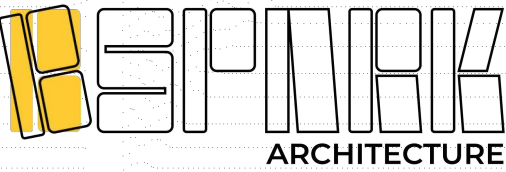
- 0 STRUCTURAL GRID
- Center line symbol
- Room name symbol: 101, 150 SF
- Wall tag symbol: et, 11
- Window tag symbol: 1
- Door tag symbol: 101
- Ceiling height symbol: + 0'-0"
- Name Elevation symbol
- Callout head symbol: X, A-101
- North arrow symbol
- Door entry symbol: EN TR Y

MATERIAL LEGEND

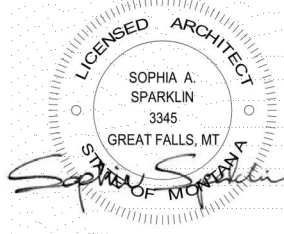
- ENGINEERED WOOD SIDING / COLOR 1 / DARK
- ENGINEERED WOOD SIDING / COLOR 2 / LIGHT
- ROOFING / COLOR 1 / DARK
- HARDBOARD / COLOR 1 / LIGHT

ABBREVIATION

- S, AGGREGATE BASE COURSE
- ABV, ABOVE
- ADJ, ADJUSTABLE
- APPROX, APPROXIMATE
- BD, BOARD
- BLDG, BUILDING
- B.O, BOTTOM OF
- CAB, CABINET
- C.I, CAST IRON
- C.I.P, CAST IN PLACE
- CLG, CEILING
- CLKG, CAULKING
- CLO, CLOSET
- CLR, CLEAR
- COL, COLUMN
- CONC, CONCRETE
- CONT, CONTINUOUS
- CTR, CENTER
- DTL, DETAIL
- DIA, DIAMETER
- DN, DOWN
- DR, DOOR
- DWR, DRAWER
- DWG, DRAWING
- EA, EACH
- ELEC, ELECTRICAL
- EQ, EQUAL
- EQUIP, EQUIPMENT
- EXT, EXTERIOR
- F.F.E, FINISH FLOOR ELEVATION
- FIN, FINISH
- F.O, FACE OF
- GA, GUAGE
- GALV, GALVANIZED
- GYP, GYPSON
- GWB, GYPSON WALL BOARD
- H.B, HOSE BIBB
- HDWD, HARDWOOD
- HORIZ, HORIZONTAL
- HT, HEIGHT
- HB, HOSE BIB
- I.D, INSIDE DIAMETER
- INSUL, INSULATION
- INT, INTERIOR
- JT, JOINT
- KIT, KITCHEN
- LAV, LAVATORY
- LT, LIGHT
- MAX, MAXIMUM
- MECH, MECHANICAL
- MTL, METAL
- MFR, MANUFACTURER
- MIN, MINIMUM
- MISC, MISCELANEOUS
- MTD, MOUNTED
- N.I.C, NOT IN CONTRUACT
- NO, NUMBER
- N.T.S, NOT TO SCALE
- O.C, ON CENTER
- O.D, OUTSIDE DIAMETER
- OPNG, OPENING
- OPP, OPPOSITE
- PL, PLATE
- PLY, PLYWOOD
- REFRIG, REFRIGERATOR
- REINF, REINFORCED
- REQ, REQUIRED
- RM, ROOM
- R.O, ROUGH OPENING
- SCHED, SCHEDULED
- SEC, SECTION
- SIM, SIMILAR
- SPEC, SPECIFACTION
- SO, SQUARE
- STD, STANDARD
- STOR, STORAGE
- SUSP, SUSPENDED
- SYM, SYMMETRICAL
- T.O, TOP OF
- TYP, TYPICAL
- U.N.O, UNLESS NOTED OTHERWISE
- VERT, VERTICAL
- W, WITH
- W.C, WATER CLOSET
- W/O, WITHOUT
- WP, WATERPROOF



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901 9TH ST FIRE SEPARATION

DAN BATEMAN, 901 NINTH STREET NORTH, GREAT FALLS MT 59401

Approver

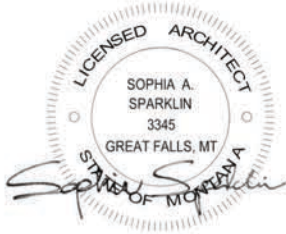
PHASE	REVISIONS
Tenant Revision	1: _____ 2: _____

22022

GENERAL NOTES

G001

BUILDING PERMIT SET
7/11/2022 10:13:24 AM



901 9TH ST FIRE SEPARATION

DAN BATEMAN, 901 NINTH STREET NORTH, GREAT FALLS MT 59401

Approver

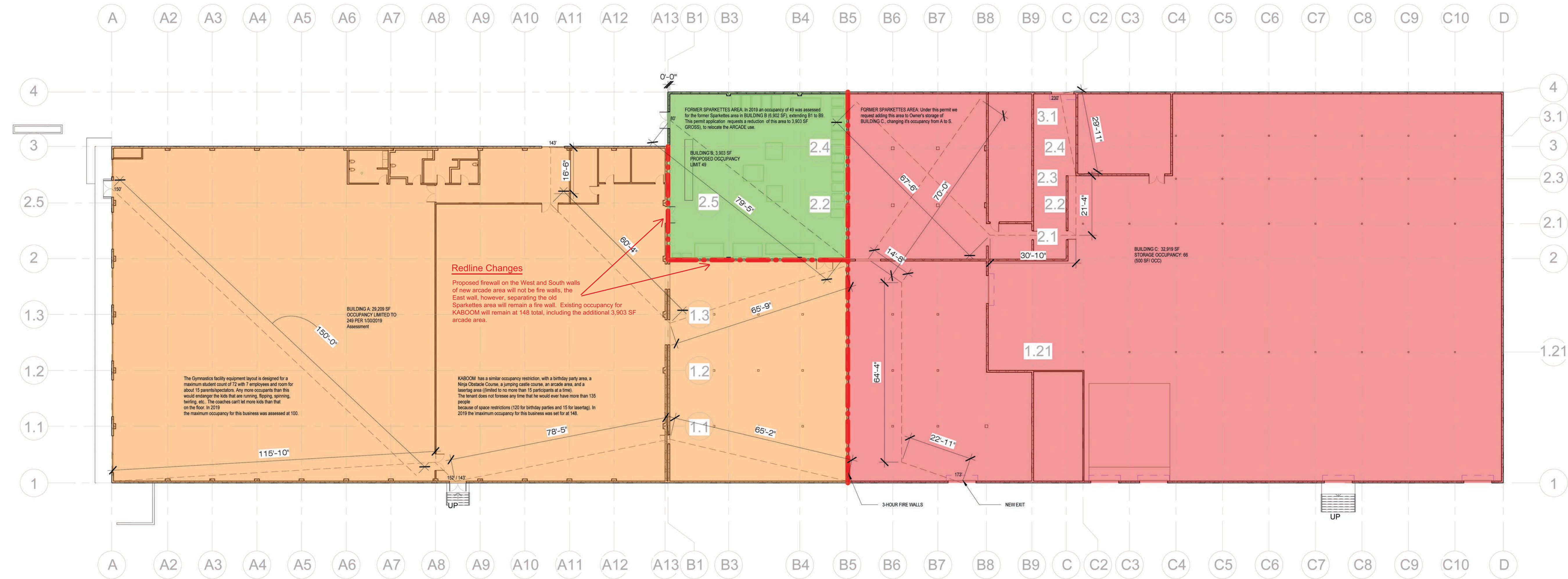
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Tenant Revision	1: _____ 2: _____

22022

FLOOR PLAN

A100

BUILDING PERMIT SET
7/11/2022 10:13:17 AM



1 LEVEL 0

SCA 1" = 20'-0"
LE:

NOTES:

1. STRUCTURAL GRID IS TO EXTERIOR OF STRUCTURE AND CENTERLINE OF INTERIOR STRUCTURE
2. DIMENSIONS ARE TO EXTERIOR FACE OF STRUCTURE AND INTERIOR SURFACE FINISH
3. ALL DIMENSIONS ARE APPROXIMATE. FIELD VERIFY
4. ALL DOOR LOCATIONS AND SIZES ARE APPROXIMATE. FIELD VERIFY

- ROOF A 29' - 4"
- ROOF C 24' - 9"
- ROOF B2 18' - 9"
- ROOF B1 13' - 5"
- LEVEL 0 0' - 0"
- GROUND LEVEL -4' - 5"

2 Elevation SOUTH

SCA 1" = 20'-0"
LE: