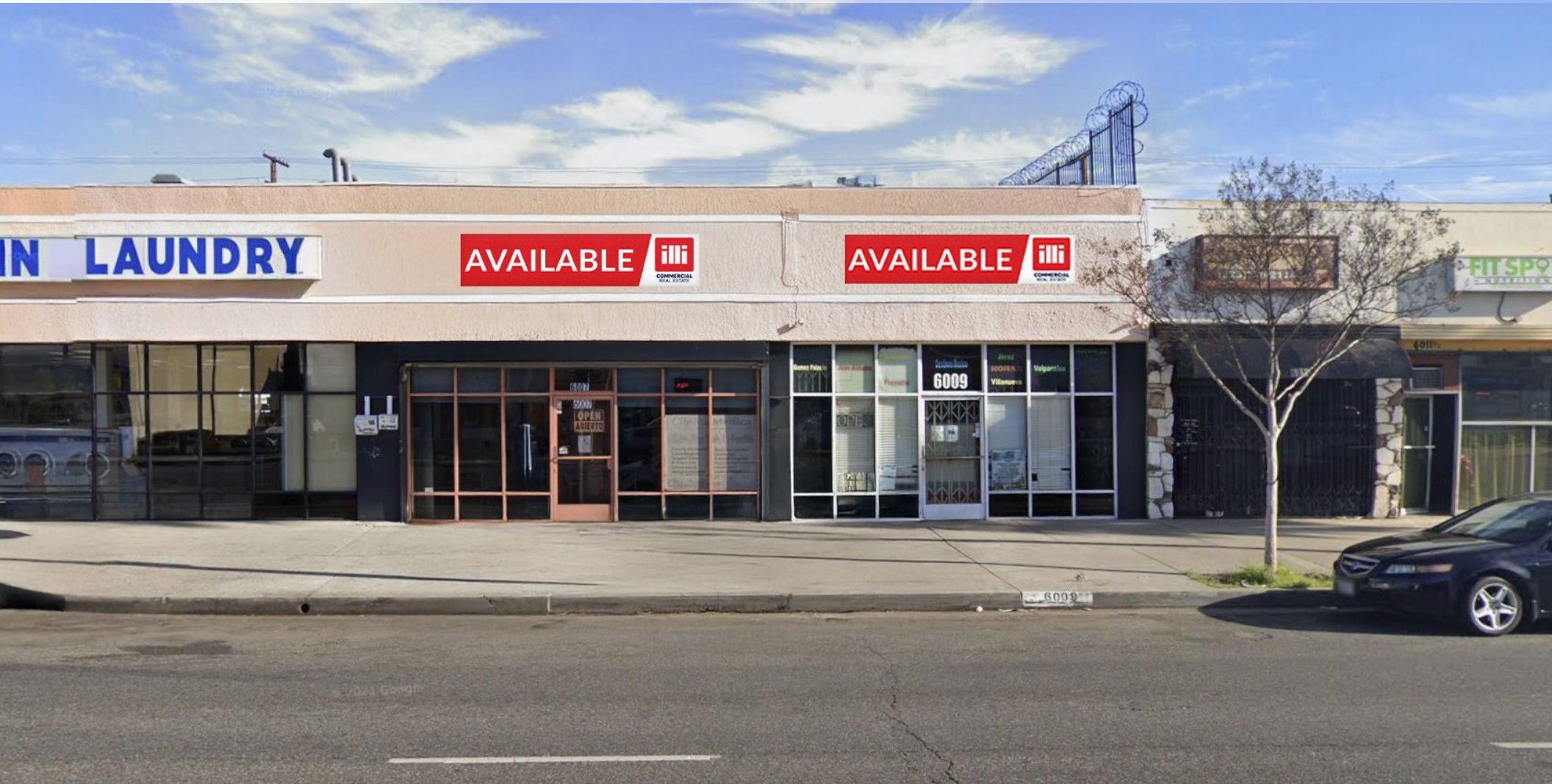


Retail / Medical Space Available With Storefront Signage

6007-6009 Whittier Blvd., Los Angeles, CA 90022



JASON BRIGGS (818) 697-9365

jbriggs@illicre.com · DRE#02204046

5945 Canoga Ave., Woodland Hills, CA 91367 · 818.501.2212/Phone · 818.501.2202/Fax · www.illicre.com · DRE #01834124

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TODD NATHANSON (818) 514-2204

todd@illicre.com · DRE#00923779

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PROPERTY FEATURES

- ±1,700-3,400 SF available
- Unit 6007 is fully built out as medical
- Located on busy Whittier Blvd.
- Shared parking in the back of building
- Storefront signage available
- Approx. 26,144 cars per day on Whittier Blvd. & approx. 35,316 cars on Atlantic Blvd.

AREA AMENITIES

- Centrally located to dense residential block
- Easily accessible from Interstate 5 Freeway
- Close proximity to major retail centers like Citadel Outlets and Commerce Center, which contains national tenants such as Target, Rent-A-Center, El Super #3, Ross Dress for Less,, dd's Discounts, It's Boba Time, Regency Commerce Theaters, Disney, Nike, and Under Armour



DEMOS	1 MILE	3 MILE	5 MILE
Population	35,489	203,905	710,851
Avg. HH Income	\$71,376	\$76,984	\$76,063
Daytime Pop	28,195	163,269	569,372
Traffic Count	± 26,144 cars per day on Whittier Blvd.		



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Unit 6007 | ±1,700-3400 SF
FULLY BUILT OUT MEDICAL | IN-LINE

- Combinable with unit 6009 for ±3,400 SF
- 4 exam rooms
- 2 private offices
- 2 lab rooms
- Private restroom



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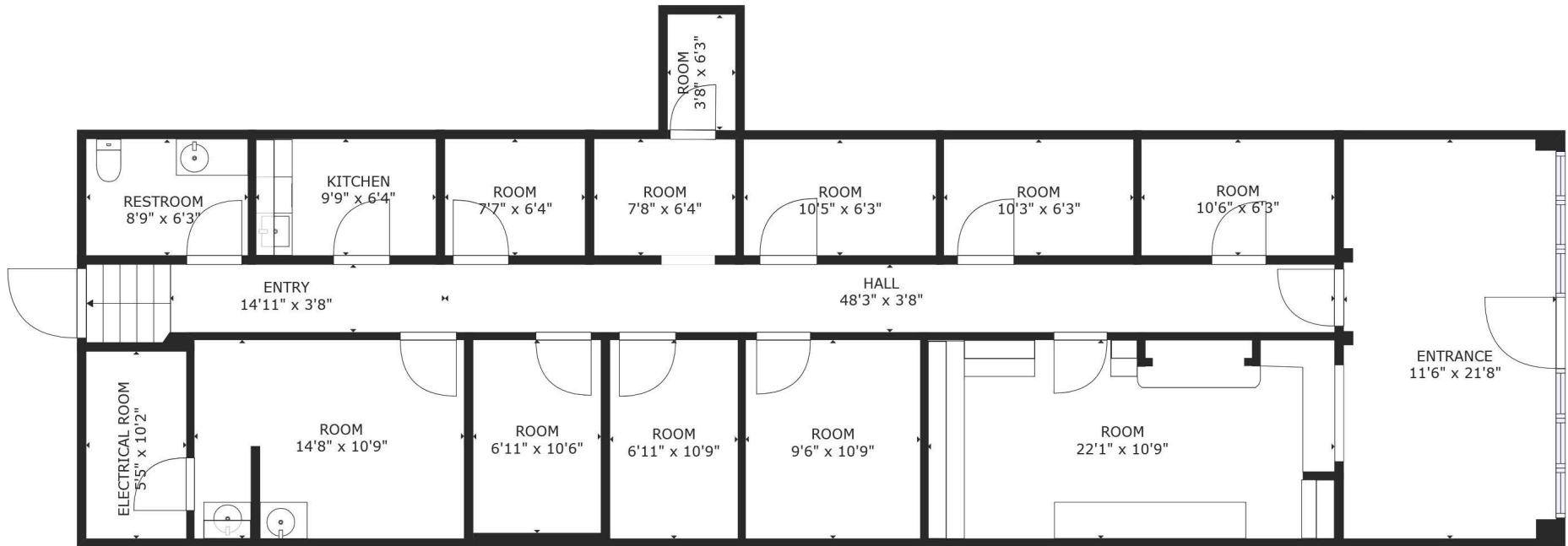
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UNIT 6007 - FLOOR PLAN



FLOOR 1



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