

BLACKMORE SITE

4th Street SW | Mason City, IA

AW Commercial & Development

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Exclusively Marketed by:



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01

Executive Summary

Investment Summary

BLACKMORE SITE

OFFERING SUMMARY	
ADDRESS	4th Street SW Mason City IA 50401
PRICE	\$899,000
LAND ACRES	1.20

DEMOGRAPHICS	1 MILE	3 MILE	5 MILE
2024 Population	3,069	19,921	27,546
2024 Median HH Income	\$72,220	\$57,140	\$62,362
2024 Average HH Income	\$97,819	\$75,045	\$83,540

- Prime site for infill development with exceptional visibility
- High traffic counts of 18,000 ADT
- Development location with immediate access to major transportation routes and proximity to critical city services
- Proximity to healthcare and retail anchors ensures a diverse, steady customer flow
- Great accessibility, perfect for fuel stations, convenience stores, or quick-service restaurants



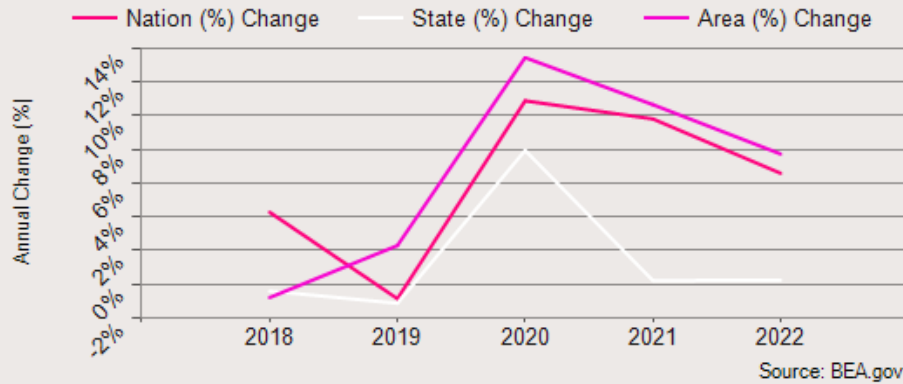
BLACKMORE SITE

Location

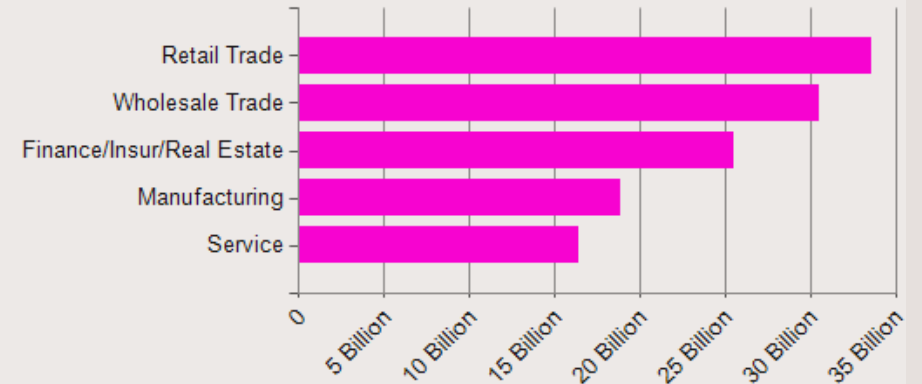
Location Summary

02

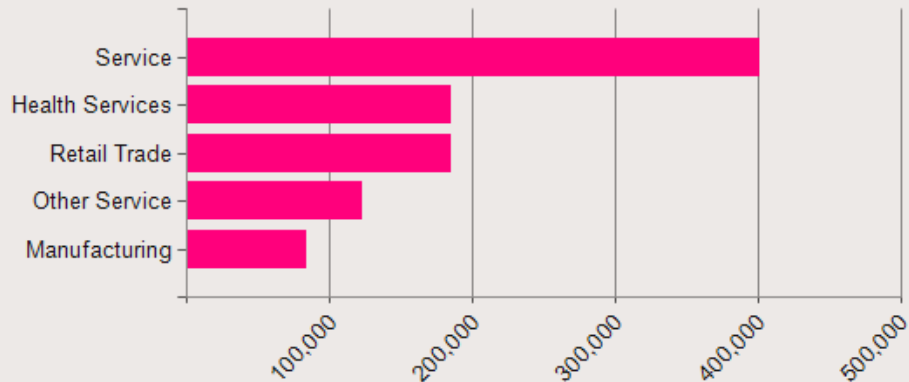
Cerro Gordo County GDP Trend



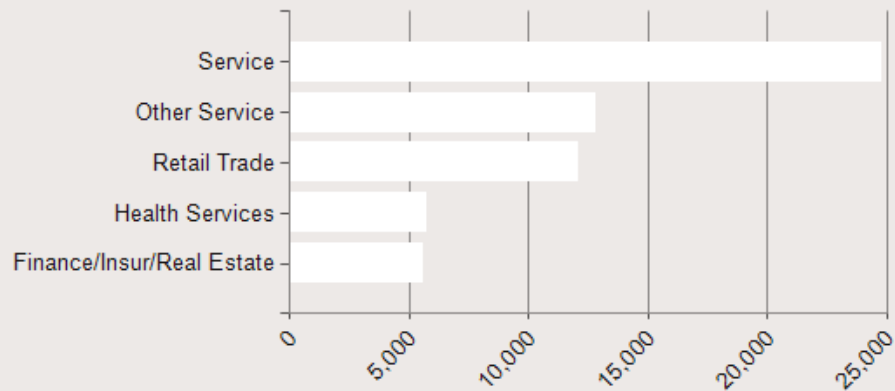
Major Industries by Sales Amount



Major Industries by Employee Count



Major Industries by Business Count



Blackmore Site

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The information contained herein is not a substitute for a thorough due diligence investigation. AW Commercial & Development has not made any investigation, and makes no warranty or representation with respect to the income or expenses for the subject property, the future projected financial performance of the property, the size and square footage of the property and improvements, the presence or absence of contaminating substances, PCBs or asbestos, the compliance with local, state and federal regulations, the physical condition of the improvements thereon, or financial condition or business prospects of any tenant, or any tenant's plans or intentions to continue its occupancy of the subject property.

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