

Article 2
Development Regulations

§ 2.08.300. Property Development Regulations: Commercial and Professional Districts.

The following sections set forth the property development regulations of the CC, CN, CR, C-RM, CS, DA-1, DA-2, DA-3, DA-4, DA-6, NA-1, NA-2, P, SA-1, SA-2, and SA-3 Districts. In addition, development in the SA-1, SA-2 or SA-3 Districts shall be consistent with the Design Guidelines in the East 14th Street South Area Development Strategy. Development in the DA-1, DA-2, DA-3, DA-4, and DA-6 Districts shall be consistent with the provisions contained in the Design Guidelines in the Downtown San Leandro Transit-Oriented Development Strategy. Development in the NA-1 and NA-2 Districts shall be consistent with the North Area Specific Plan.

(Ord. 2001-015 § 1; Ord. 2004-007 § 2; Ord. 2007-020 § 2; Ord. 2018-021 § 3; Ord. 2020-002 § 4; Ord. 2020-012 § 3; Ord. 2022-001 § 3)

§ 2.08.304. Minimum Lot Area and Minimum Lot Width.

Zoning District	Minimum Lot Area (sq. ft.)	Minimum Lot Width (feet)
CC, CS, NA-1, NA-2	10,000	100
CN, P	5,000	50
CR	10,000	n.a.
DA-1, DA-6	10,000 ^(A)	100
DA-2, DA-3, DA-4	5,000 ^(A)	50
SA-1, SA-2, SA-3	5,000	50

A. Exceptions to Minimum Lot Size—DA Districts. The Zoning Enforcement Official may administratively approve an exception to the minimum lot size to allow for lots less than the minimum size required by this section if adequate shared ingress, egress and access to parking facilities can be provided to accommodate each proposed new lot.

(Ord. 2001-015 § 1; Ord. 2004-007 § 2; Ord. 2005-002 § 1; Ord. 2007-020 § 2; Ord. 2016-012 § 4; Ord. 2018-021 § 3; Ord. 2020-002 § 4; Ord. 2020-012 § 3)

§ 2.08.308. Minimum Yards.

A. Minimum Building Setback. The minimum setback for building placement, is as prescribed below. Additional building setback may also apply as specified in Subsections B, C, D, E, and F of this section.

Zoning District	Front (ft.)	Side (ft.)	Corner Side (ft.)	Rear (ft.)	Daylight Plane and Yards Abutting R Districts
CC	10	0	10	0	15 ft. side or rear ^(F)
CN, P	10	0	10	0	15 ft. side or rear ^(F)
CR	20	0	20	0	15 ft. side or rear ^(F)
CS	10	0	10	0	15 ft. side or rear ^(F)
DA-1, DA-2, DA-3, DA-4, DA-6	Varies ^(C)	0	0 ^(C)	0, varies along creek ^(C)	8 ft. side or rear ^(F)
NA-1	0	4	0	5	n.a.
NA-2	20 or 25 ^(D)	15 ^(D)	20 ^(D)	15 ^(D)	25 ft. rear for second story 35 ft. rear for third story ^(D)
SA-1, SA-2, SA-3	Varies ^(E)	0	0 ^(E)	0	8 ft. side or rear ^(F)

B. Additional Regulations—All Commercial and Professional Districts.

1. Front, side, corner side, and rear yards shall be subject to the regulations of Section 4.04.312 Building Projections into Yards and Courts.
2. Double-frontage lots shall provide the minimum front setback on each frontage.

C. Additional Building Setback Requirements—DA-1, DA-2, DA-3, DA-4, and DA-6 Districts.

1. Front setbacks shall be consistent with the street sections, including sidewalks, of the applicable street type in the Downtown San Leandro Transit-Oriented Development Strategy.
2. Ground floor residential units shall be set back 10-15 feet from the property line.
3. Along East 14th Street, a minimum front setback of seven feet is required to create a minimum 15-foot wide pedestrian zone.
4. Along the San Leandro Creek, the Zoning Enforcement Official shall determine the applicable building setback for a creek trail and open space.

D. Additional Building Setback Requirements—NA-2 District.

1. The front setback in the NA-2 District shall be as follows: 20 feet for one- and two-story buildings and 25 feet for three-story buildings.
2. Side setbacks in the NA-2 District shall be 15 feet or one-half the building height, whichever is greater.

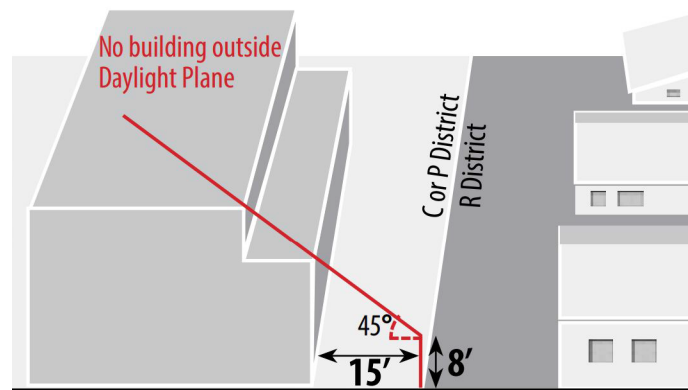
3. Corner side setbacks in the NA-2 District shall be 20 feet, or one-half the building height, whichever is greater.
4. Rear yard requirements in the NA-2 District, when adjoining RS Districts, shall be increased to 25 feet for the second story and 35 feet for the third story. Rear yards in the NA-2 District, when adjoining RD or RM Districts, shall be increased to 25 feet.

E. Additional Building Setback Requirements—SA-1, SA-2, and SA-3 Districts.

1. If ground floor residential is proposed, a five to ten foot building setback shall be required.
2. South of Blossom Way: front setbacks shall achieve a 13.5-foot wide sidewalk.
3. North of Blossom Way: front setbacks shall achieve a 13-foot wide sidewalk. A minimum four and one-half foot setback shall be required.

F. Daylight Plane Regulations for Parcels Adjacent to R Districts.

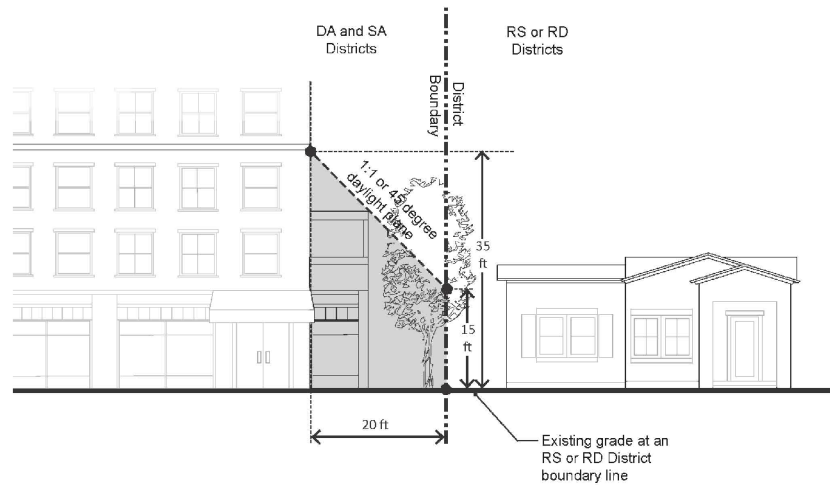
1. For C and P Districts, structures shall not intercept a one-to-one (1:1) or 45 degree daylight plane inclined inward from a height of eight feet above existing grade at the R District boundary line. (Please refer to illustration "Required Daylight Plane at Adjoining Districts—C or P Districts.")



REQUIRED DAYLIGHT PLANE AT ADJOINING DISTRICTS—C OR P DISTRICTS

(The diagram is illustrative)

2. For DA and SA districts, structures shall not intercept a one-to-one (1:1) or 45 degree daylight plane inclined inward from a point 15 feet above existing grade at an RS or RD District boundary line to a point 35 feet above existing grade at 20 feet from the RS or RD District boundary line. (Please refer to illustration "Required Daylight Plane at Adjoining Districts—DA and SA Districts.")



REQUIRED DAYLIGHT PLANE AT ADJOINING DISTRICTS—DA OR SA DISTRICTS

(The diagram is illustrative)

(Ord. 2001-015 § 1; Ord. 2004-007 § 2; Ord. 2004-009 § 2; Ord. 2007-020 § 2; Ord. 2016-012 § 4; Ord. 2018-021 § 3; Ord. 2020-002 § 4; Ord. 2020-012 § 3; Ord. 2022-001 § 3)

§ 2.08.312. Height of Structures.

Zoning District	Nonresidential Development		Residential and Mixed-Use Residential Development	
	Minimum Height (ft.)	Maximum Height (ft.)	Minimum Height (ft.)	Maximum Height (ft.)
CC	n.a.	50	n.a.	50
CN, NA-1, NA-2	n.a.	30	n.a.	50
CR, CS	n.a.	40	n.a.	n.a.
DA-1	n.a. or 24 ^(A)	75 ^(B, C)	n.a. or 24 ^(A)	75 ^(B, C)
DA-2	n.a. or 24 ^(A)	50(B, C)	n.a. or 24 ^(A)	65 ^(B, C)
DA-3	n.a.	50 ^(B)	n.a.	50 ^(B)
DA-4	n.a.	60-75 ^(B)	n.a.	60-75 ^(B)
DA-6	n.a.	75 ^(B)	n.a.	n.a.
P	n.a.	30	n.a.	30
SA-1, SA-2, SA-3	24	50	24	65

A. Exceptions to Minimum Height—DA-1 and DA-2 Districts. The 24-foot minimum height

standard only applies along East 14th Street between Chumalia Street and Georgia Way. No minimum height applies elsewhere in the DA-1 or DA-2 Districts.

B. Specific Heights and Height Exceptions—DA Districts.

1. The Downtown San Leandro Transit-Oriented Development Strategy Figure 8 Building Height Framework is superseded by the height allowances established in this section.
2. Consistent with California Public Utilities Code Sections 29010.1 through 29010.12, development on parcels that meet the following criteria shall be allowed up to seven stories without the approval of a conditional use permit.
 - a. Located within a half-mile of the San Leandro BART Station;
 - b. At least one-quarter acre in size (either individual or contiguous parcels);
 - c. Owned by BART on or before July 1, 2018; and
 - d. An infill site (defined in Section 21061.3 of the Public Resources Code as a site that had previous development or a site without development immediately adjacent to urban uses).

C. Other Exceptions to Height Limits. The maximum height of structures shall be subject to the regulations of Section 4.04.320 Exceptions to Height Limits.

(Ord. 2001-015 § 1; Ord. 2004-007 § 2; Ord. 2007-020 § 2; Ord. 2016-012 § 4; Ord. 2018-021 § 3; Ord. 2020-002 § 4; Ord. 2020-012 § 3; Ord. 2022-001 § 3; Ord. 2022-022 § 3)

§ 2.08.316. Lot Coverage.

Zoning District	Maximum Lot Coverage
CC, CN, CS, P	50%
CR	25%
DA-1, DA-2, DA-3, DA-4, DA-6, NA-1, NA-2, SA-1, SA-2, SA-3	100%

A. Exceptions. In calculating the percentage of lot coverage for the purpose of applying the regulations of this Zoning Code, the features of a structure as hereafter set forth shall not be included as coverage:

1. Cornices, canopies, eaves or other projections which do not increase the volume of space enclosed by the building provided that any portion of such projections extending more than two feet from the building shall be included as coverage at a ratio of 1/2:1;
2. Fire escapes up to three and one-half feet;
3. An uncovered stair and landing which does not extend above a ground floor entrance except for the railing; or
4. Bay windows, balconies or chimneys which project from the wall not more than two

feet; provided, that, such features do not in the aggregate occupy more than one-third of the length of a wall which faces an interior side lot line, or more than two-thirds of the length of a wall which faces a street or a rear lot line.

(Ord. 2001-015 § 1; Ord. 2004-007 § 2; Ord. 2007-020 § 2; Ord. 2016-012 § 4; Ord. 2018-021 § 3; Ord. 2020-002 § 4; Ord. 2020-012 § 3)

§ 2.08.320. Floor Area Ratio (FAR).

Zoning District	Minimum FAR	Maximum FAR	
CC	n.a.	1.0	Corridor Mixed Use GP land use category: 2.5
CN	n.a.		0.5
CR	n.a.		1.0
CS	n.a.		0.5
DA-1	n.a.		3.5
DA-2	n.a.	1.0	Corridor Mixed Use GP land use category: 2.5 Downtown Mixed Use GP land use category: 3.5 Transit-Oriented Mixed Use GP land use category: 4.0 Parcels within 0.5 miles of BART: 5.0
DA-3	n.a.	3.5	Transit-Oriented Mixed Use GP land use category: 4.0
DA-4	n.a.	4.0	Parcels within 0.5 miles of BART: 5.0
DA-6	1.0	4.0	Parcels within 0.5 miles of BART: 5.0
NA-1, NA-2	n.a.	1.0	Corridor Mixed Use GP land use category: 2.5
P	n.a.	0.5	Downtown Mixed Use GP land use category: 3.5
SA-1, SA-2, SA-3	n.a.	1.0	Corridor Mixed Use GP land use category: 2.5

(Ord. 2001-015 § 1; Ord. 2004-007 § 2; Ord. 2007-020 § 2; Ord. 2008-011 § 1; Ord. 2015-11 § 4; Ord. 2016-012 § 4; Ord. 2018-021 § 3; Ord. 2020-002 § 4; Ord. 2020-012 § 3; Ord. 2022-022 § 3)

§ 2.08.324. Minimum Site Landscaping.

- A. General Landscape Requirements. In addition to the general requirements prescribed in Chapter 4.16 Landscape Requirements, the following requirements for minimum site landscaping apply to all property within commercial and professional districts. The minimum percentage of the site that shall be used for landscaping shall be as prescribed below:

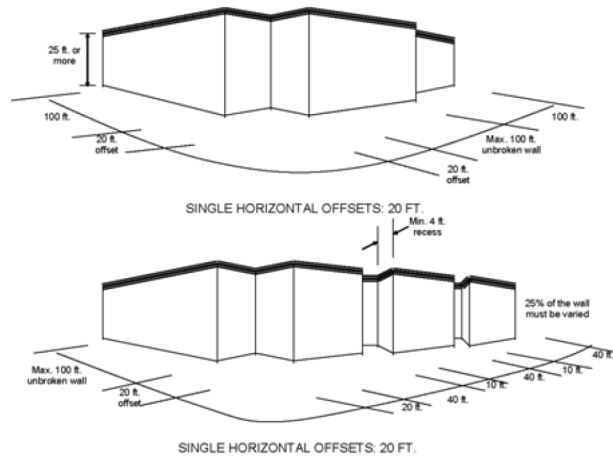
Zoning District	Minimum Site Landscaping
CN, NA-1, P, SA-1, SA-3, CR, DA-1, DA-2, DA-3, DA-4, DA-6	5% ^(C)
CC, CS, NA-2, SA-2	10% ^(C)

- B. Landscape Requirements in All Districts. Notwithstanding the minimum setback and landscaped yard requirements of this chapter, all open areas within, and adjacent to, a required front or corner side yard, other than areas used for walks, drives or parking and loading facilities, shall be landscaped consistent with Chapter 4.16 Landscape Requirements.
- C. Minimum Site Landscaping—CC, CN, CR, CS, P, and NA-2 Districts. A landscaped yard or planter strip with a minimum depth of ten feet shall be provided within the front and corner side setbacks prescribed in Section 2.08.308 Minimum Yards.
- D. Exceptions for Minimum Site Landscaping. As part of the Site Plan Review pursuant to Chapter 5.12 Site Plan Approval, exceptions to the requirements of this subsection may be permitted if such requirements are found not to be practical due to pre-existing site constraints.

(Ord. 2001-015 § 1; Ord. 2004-007 § 2; Ord. 2007-020 § 2; Ord. 2016-012 § 4; Ord. 2018-021 § 3; Ord. 2020-002 § 4; Ord. 2020-012 § 3; Ord. 2022-001 § 3)

§ 2.08.328. Wall Setback or Offsets.

- A. Building Articulation, Nonresidential Buildings. Buildings over 25 feet in height with walls that extend longer than 100 feet and that are not subject to the standards of Section 4.04.336, MultiFamily and Mixed-Use Residential Development shall provide architectural details such as off-sets, recesses, reveals, window patterns, columns, or pilasters. Alternative design solutions that achieve an equivalent level of building articulation and visual interest may be approved by the ZEO, or may be approved as part of the site plan review or other approval process by the approval authority. (Please refer to "Maximum Wall Length and Required Break" illustration.)



MAXIMUM WALL LENGTH AND REQUIRED BREAK
(The diagram is illustrative)

(Ord. 2001-015 § 1; Ord. 2004-007 § 2; Ord. 2007-020 § 2; Ord. 2016-012 § 4; Ord. 2018-021 § 3; Ord. 2020-002 § 4; Ord. 2022-001 § 3)

§ 2.08.332. Density for Multi-Family Residential and Mixed-Use Residential Development.

A. Density for Multi-Family Residential and Mixed-Use Residential Development. The minimum and maximum density for residential and mixed-use development is as prescribed below, except that in the Corridor Mixed Use (MUC) General Plan Land Use Designation, maximum residential density in this category is dictated by applicable floor area ratio (FAR) limits rather than limits on dwelling units per acre. For minimum and maximum density calculations that result in fractional amounts, numbers of one-half or greater shall be rounded up to the nearest whole integer, numbers less than one-half shall be rounded down to the nearest whole integer.

Zoning District	Minimum Density (Dwelling Unit / Acre)	Maximum Density (Dwelling Unit / Acre)*
CC, CN	n.a.	24 ^(B)
CR, CS	n.a.	n.a.
DA-1	Parcels < 10,000 sf: n.a. Parcels ≥ 10,000 sf: 35	125 ^(B)
DA-2	Parcels < 10,000 sf: n.a. Parcels ≥ 10,000 sf: 20	100 within the Downtown Mixed Use GP land use category ^(B) 125 within the Transit-Oriented Mixed Use GP land use category ^(B) 85 in all other land use categories ^(B)
DA-3	Parcels < 10,000 sf: n.a.	125 within the Transit-Oriented Mixed Use GP land use category ^(B)
	Parcels ≥ 10,000 sf: 20	100 in all other land use categories ^(B)

Zoning District	Minimum Density (Dwelling Unit / Acre)	Maximum Density (Dwelling Unit / Acre)*
DA-4	Parcels < 10,000 sf: n.a. Parcels ≥ 10,000 sf: 60	125 ^(B)
DA-6	Parcels < 10,000 sf: n.a. Parcels ≥ 10,000 sf: 60	n.a.
NA-1, NA-2, P	n.a.	24
SA-1, SA-2, SA-3	18 ^(C)	85

Notes:

* For properties within the Corridor Mixed Use (MUC) General Plan Land Use Designation maximum residential density is dictated by applicable floor area ratio (FAR) limits rather than limits on dwelling units per acre.

- B. Small Unit Density Bonus—Downtown Mixed Use. A 20 percent density bonus for average unit size less than 750 square feet is allowed. This bonus may not be added to the State-required density bonus for affordable housing. Only one density bonus program may be applied to any given development.
- C. Exceptions to Minimum Density—SA Districts. An Administrative Exception per Chapter 5.06 may be approved to allow exceptions to minimum density requirements.
- D. Accessory dwelling units and junior accessory dwelling units do not count toward the maximum density. See Section 2.04.388 Accessory Dwelling Units (ADUs).
(Ord. 2001-015 § 1; Ord. 2018-021 § 3; Ord. 2020-002 § 4; Ord. 2020-012 § 3; Ord. 2022-001 § 3; Ord. 2022-022 § 3)

§ 2.08.340. Additional Property Development Regulations: Commercial and Professional Districts.

- A. Views into Buildings. On commercial ground floors in the DA and SA Districts that are not subject to the standards of Section 4.04.336, Multi-Family and Mixed-Use Residential Development, not less than 50 percent of the first story of that portion of a building facing a street shall consist of opening or clear or tinted glass windows providing views of merchandise displayed, building interiors, or courtyards.
- B. Security Roll-Up Doors. Retractable security gates, window bars, and mall-style roll-up doors shall be installed to the inside of existing windows or glass doors for installation of physical security measures on a building façade. A mall-style roll-up door must not be visible during business hours. Metal gates, stored in a wall pocket or similar enclosure so as not to be visible during business hours, and scissor-style security grilles, retracted into casing during business hours, are subject to the review and approval of the Zoning Enforcement Official.
(Ord. 2001-015 § 1; Ord. 2004-007 § 2; Ord. 2007-020 § 2; Ord. 2014-011 § 2; Ord. 2016-012 § 4; Ord. 2018-021 § 3; Ord. 2020-002 § 4; Ord. 2020-012 § 3; Ord. 2022-001 § 3)