

Warehouse and Office on 2± AC for Sale or Lease

10527 Craig Industrial Dr. | Jacksonville, FL 32225

Sale Price: \$2,750,000 | Lease Rate: Call for rates



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PROPERTY Overview



87,120± SF / 2± AC



IBP ZONING



6,240± WAREHOUSE



5,600± OFFICE

Description

The Bumgarner Industrial Team is pleased to introduce this 11,840± SF flex warehouse & office building located off St. Johns Bluff Rd N in Jacksonville's Southside industrial submarket.

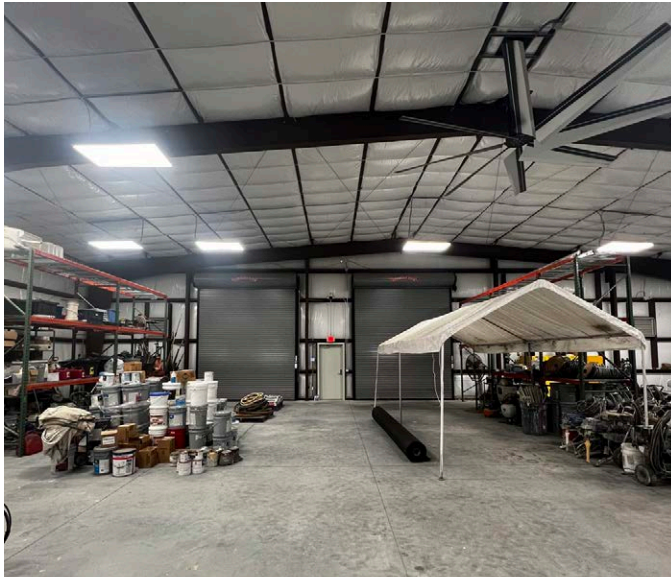
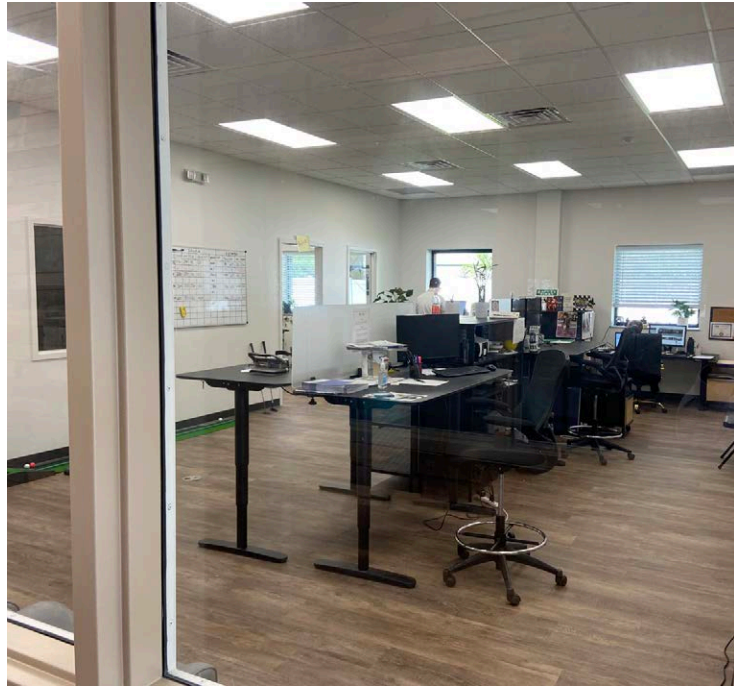
Situated on 2 acres and zoned IBP (Industrial Business Park), the property offers a blend of 5,600 SF of versatile office space with an open floor plan and 6,240 SF of warehouse storage, featuring 3-phase power, LED lighting and three 12'x14' overhead roll-up doors for easy access. The site provides ample room for future expansion or outside storage with an additional acre of buildable land, making it ideal for businesses seeking a professional presence, functionality and growth potential.



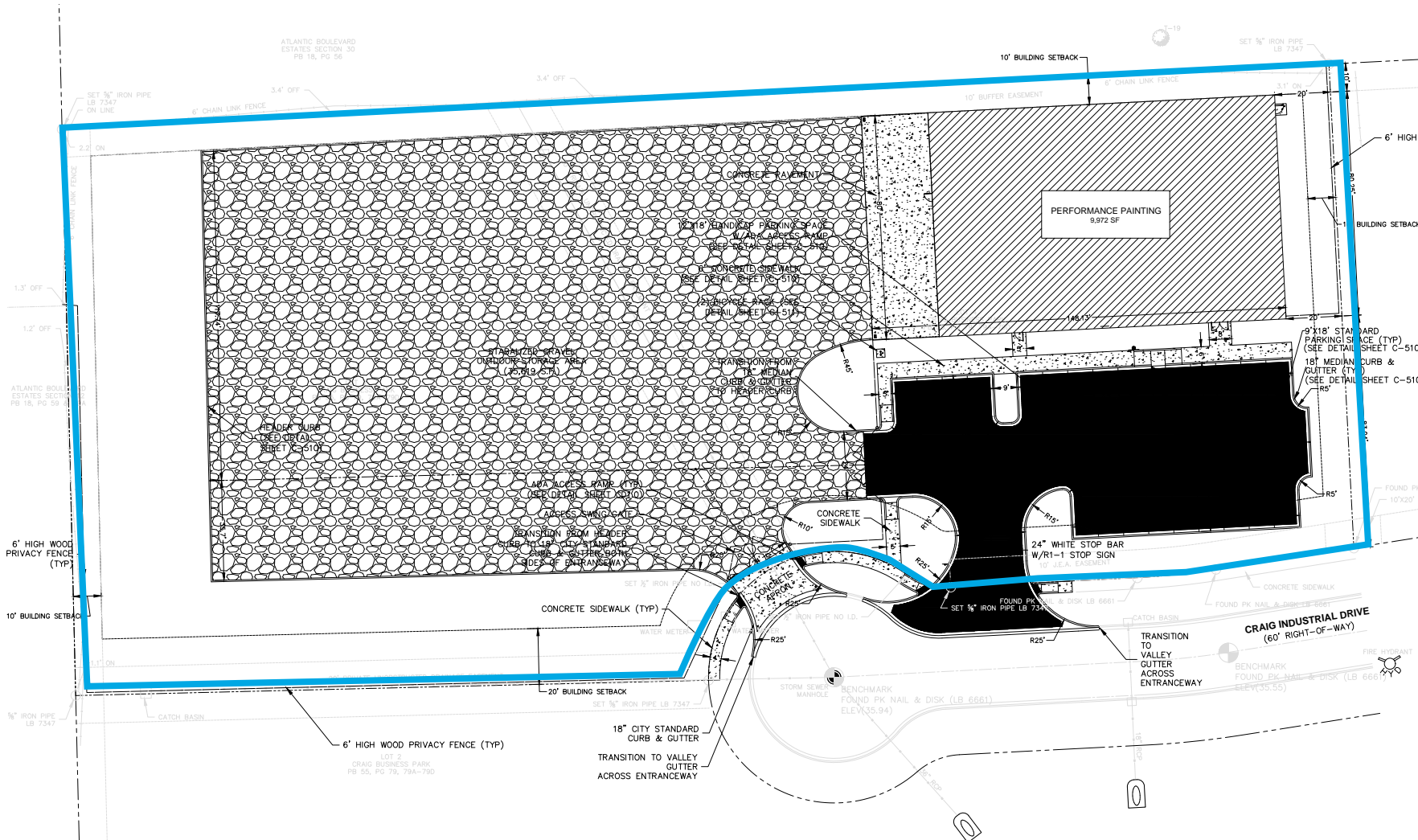
Address:	10527 Craig Industrial Drive Jacksonville, FL 32225
Parcel ID:	162879-3510 & 162879-3500
Submarket:	Southside
Zoning:	IBP (Industrial Business Park)
Parcel Size:	2± AC (87,120± SF), Min. divisible SF: 5,920± SF
Total Warehouse:	6,240± SF
Construction Type:	Metal
Year Built:	2021
Grade Level Doors:	(3) 12' x 14'
Clear Height:	18' - 20'
Electrical Service:	400AMP, 120/208v, 3-phase
Lighting:	LED
Utilities:	Water, sewer, electric (JEA)
Parking:	Asphalt paved – 23 vehicle parks

PROPERTY
Photo Gallery

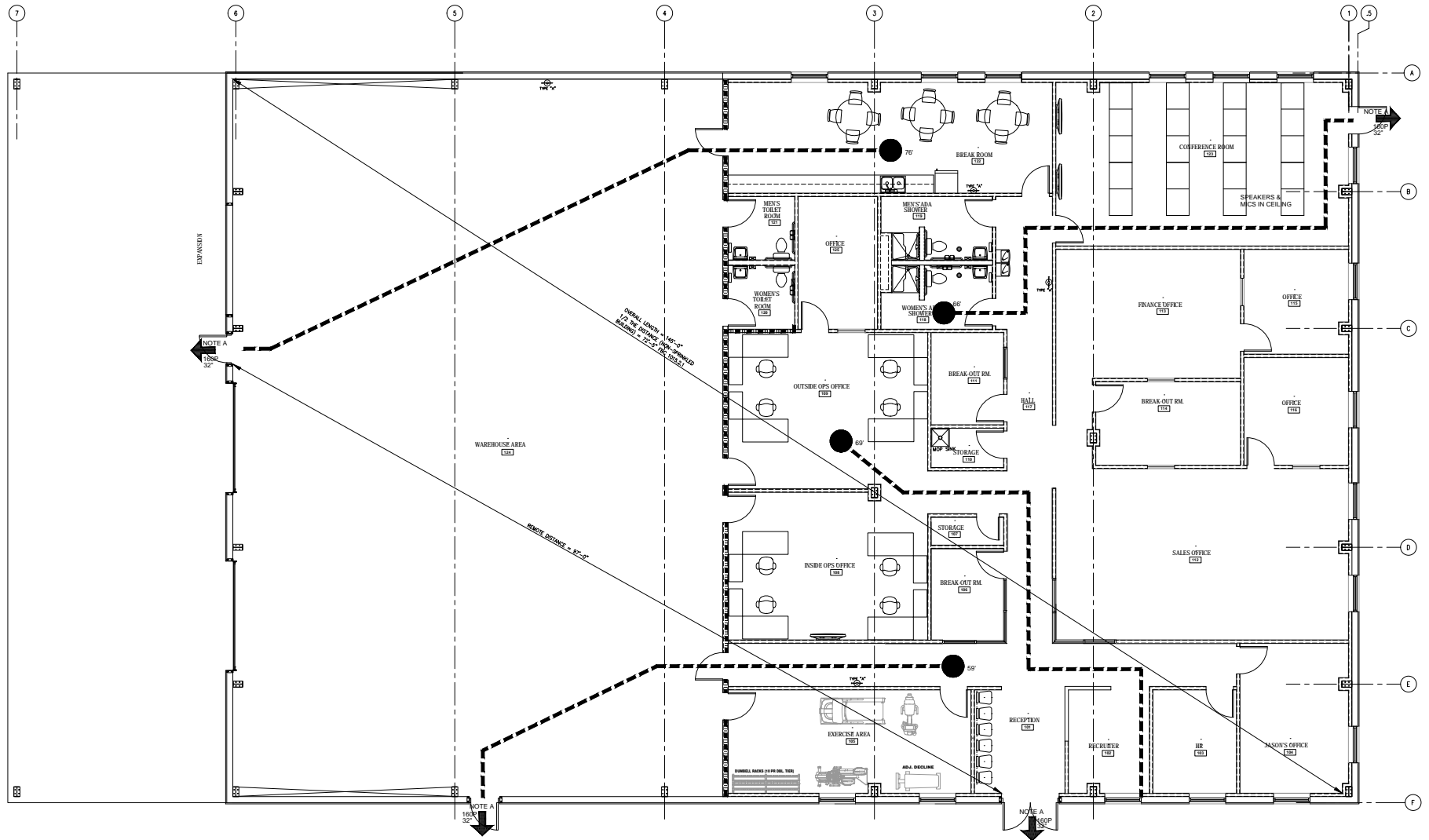
 [Click for virtual tour](#)



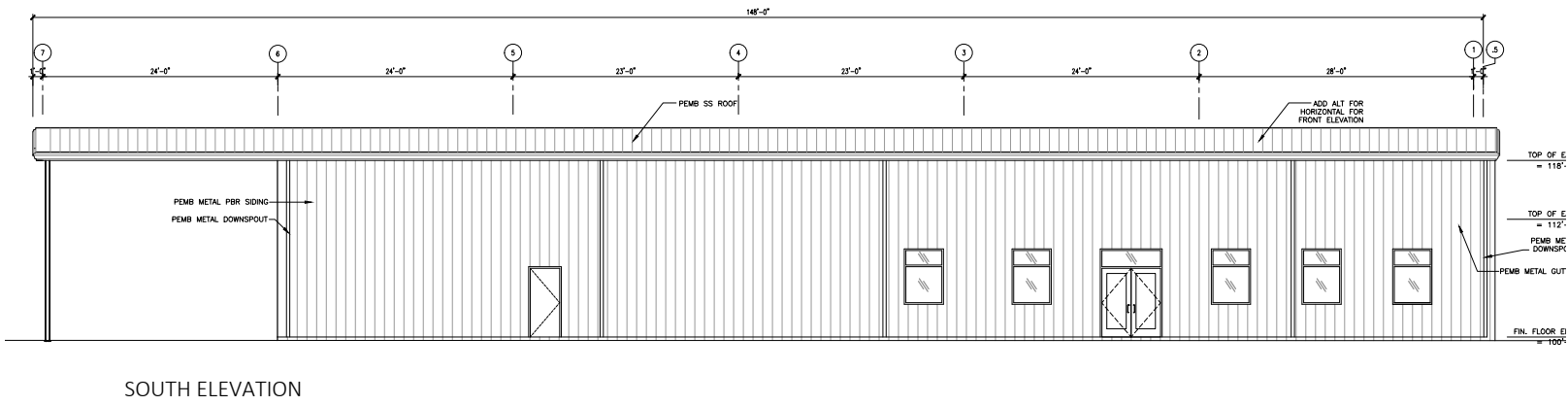
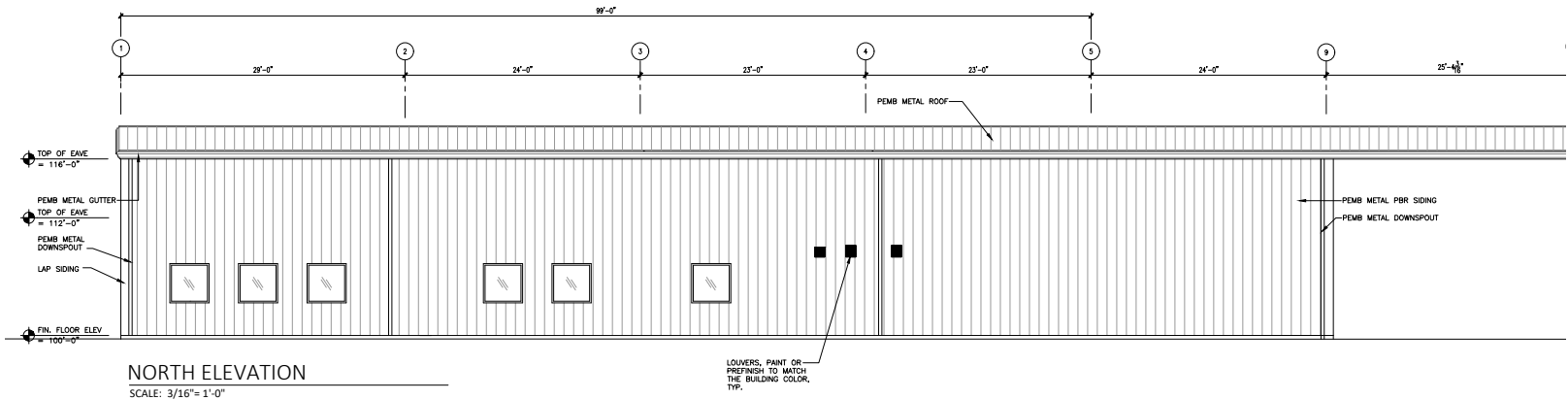
PROPERTY Site Plan



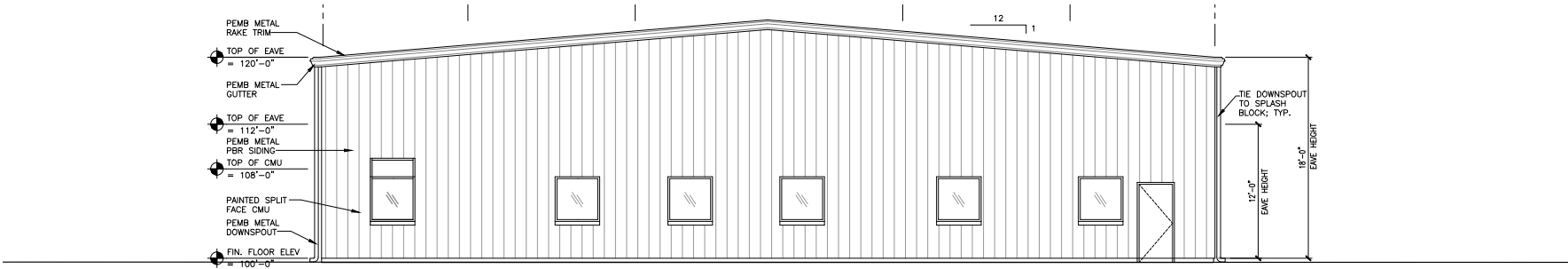
PROPERTY Floor Plan



NORTH & SOUTH Building Elevations

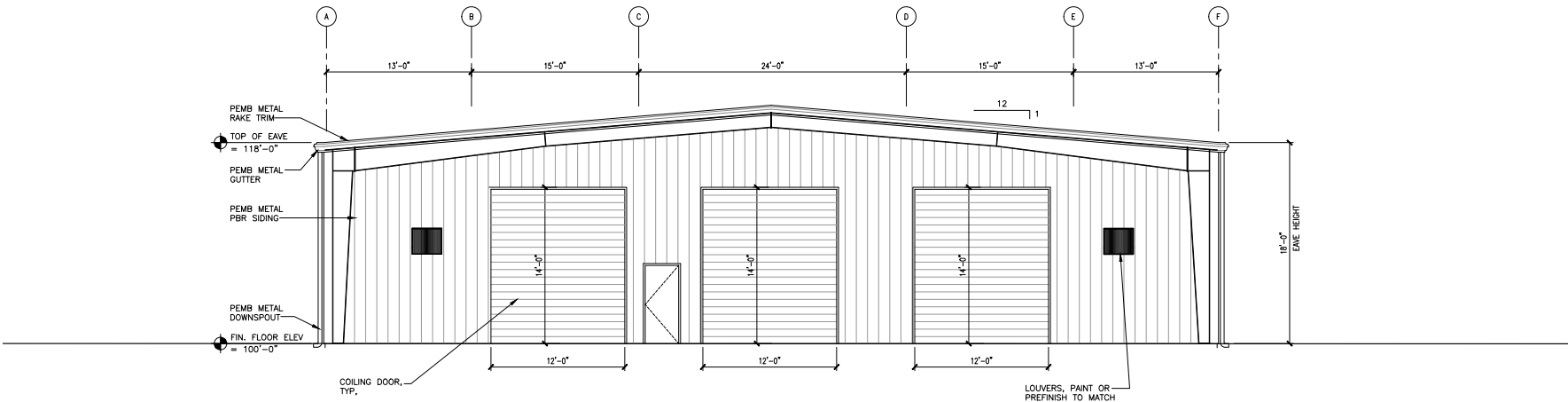


EAST & WEST Building Elevations



EAST ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"

PROPERTY Location

4 min
to I-295

15 min
to I-95

20 min
to US 1

21 min
to I-10

24 min
to JIA



Click to view location





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