

Bentwood Shopping Centre

S Walnut Ave., New Braunfels, TX 78130

New Construction Retail
For Lease

Base rental \$26.00 NNN
TI Allowance \$30.00



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City Location Map



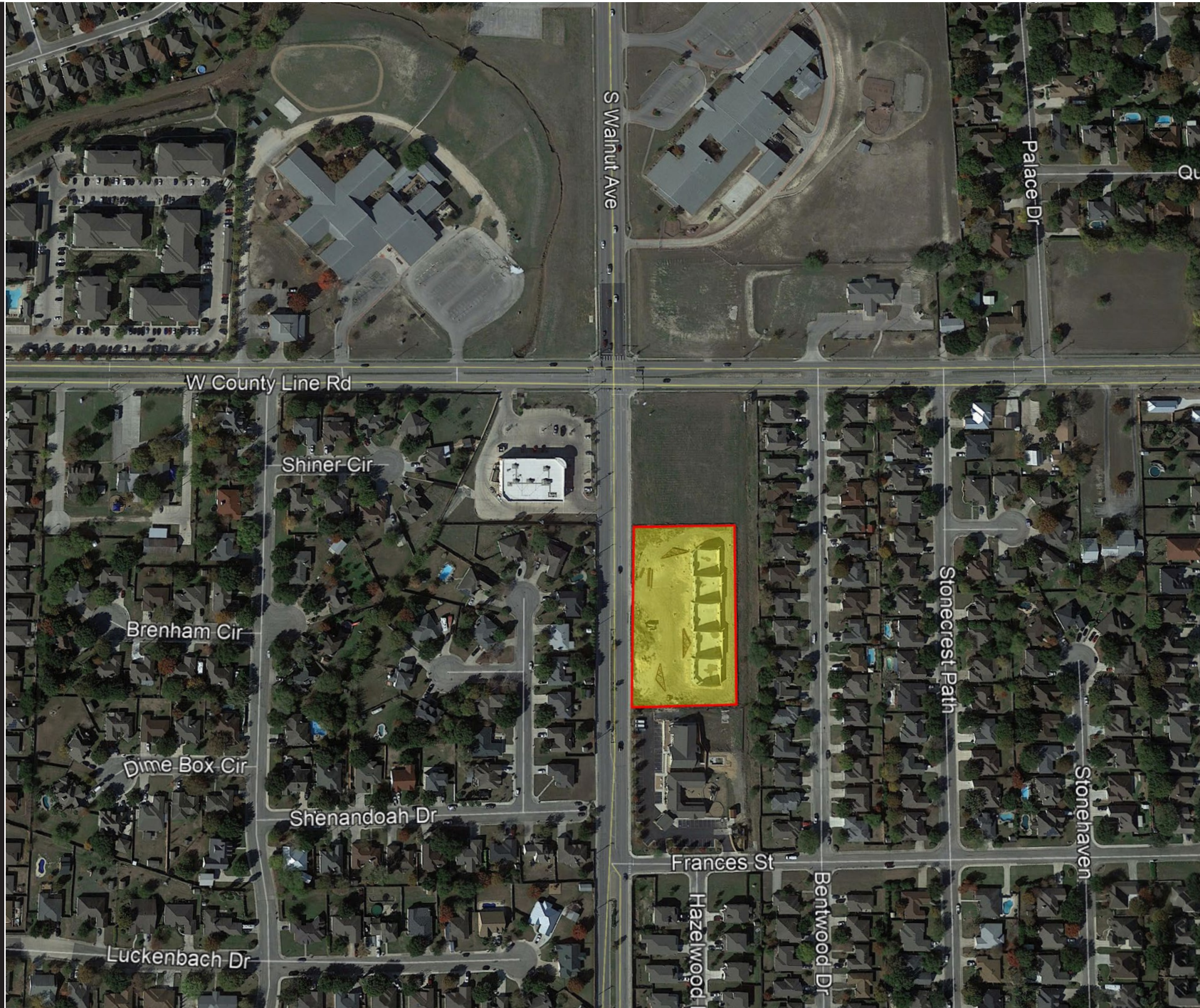
★ = SEC of S Walnut Ave & W County Line Rd

SITE

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Aerial Map



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Oblique Aerial



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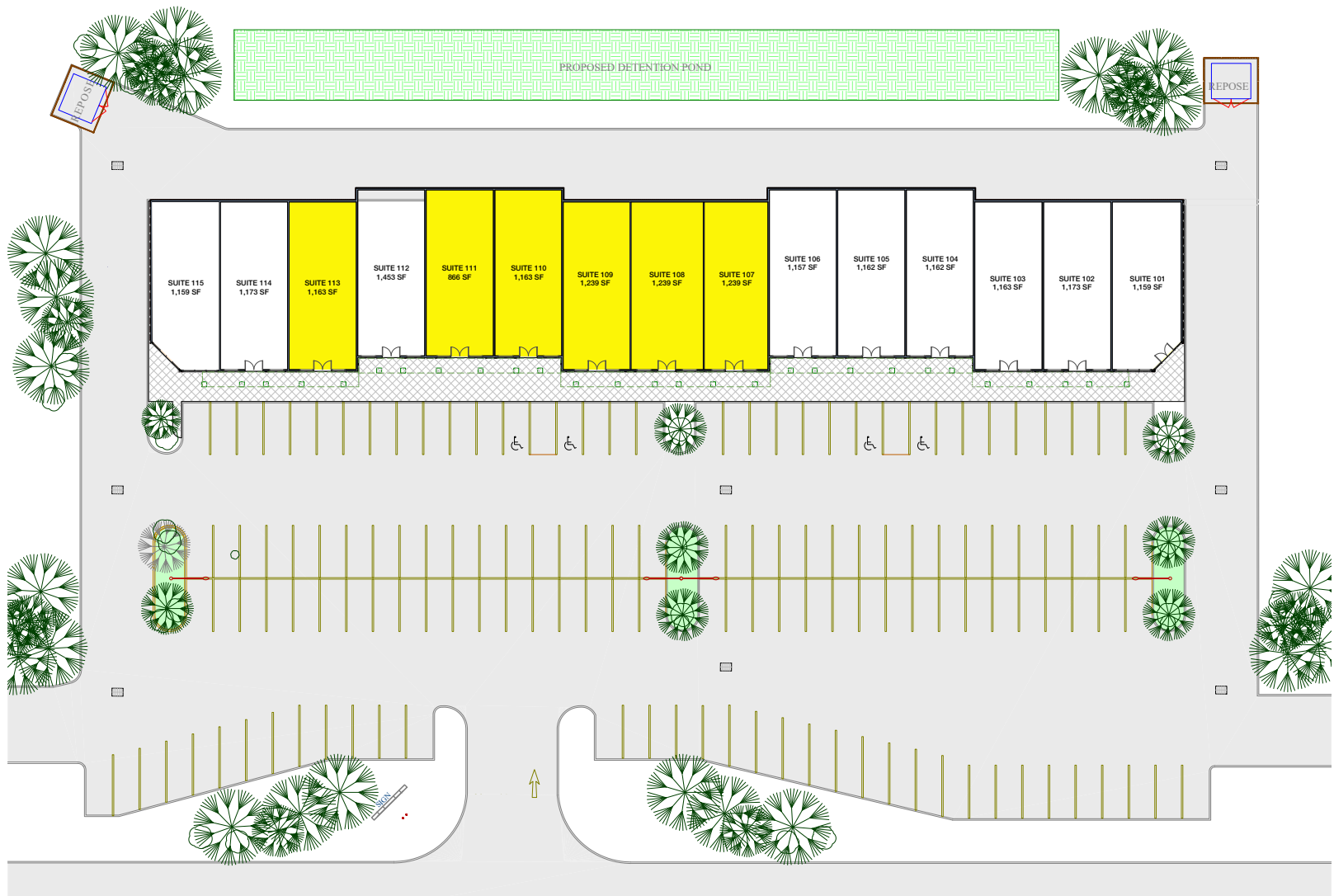
Photos



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Site Plan



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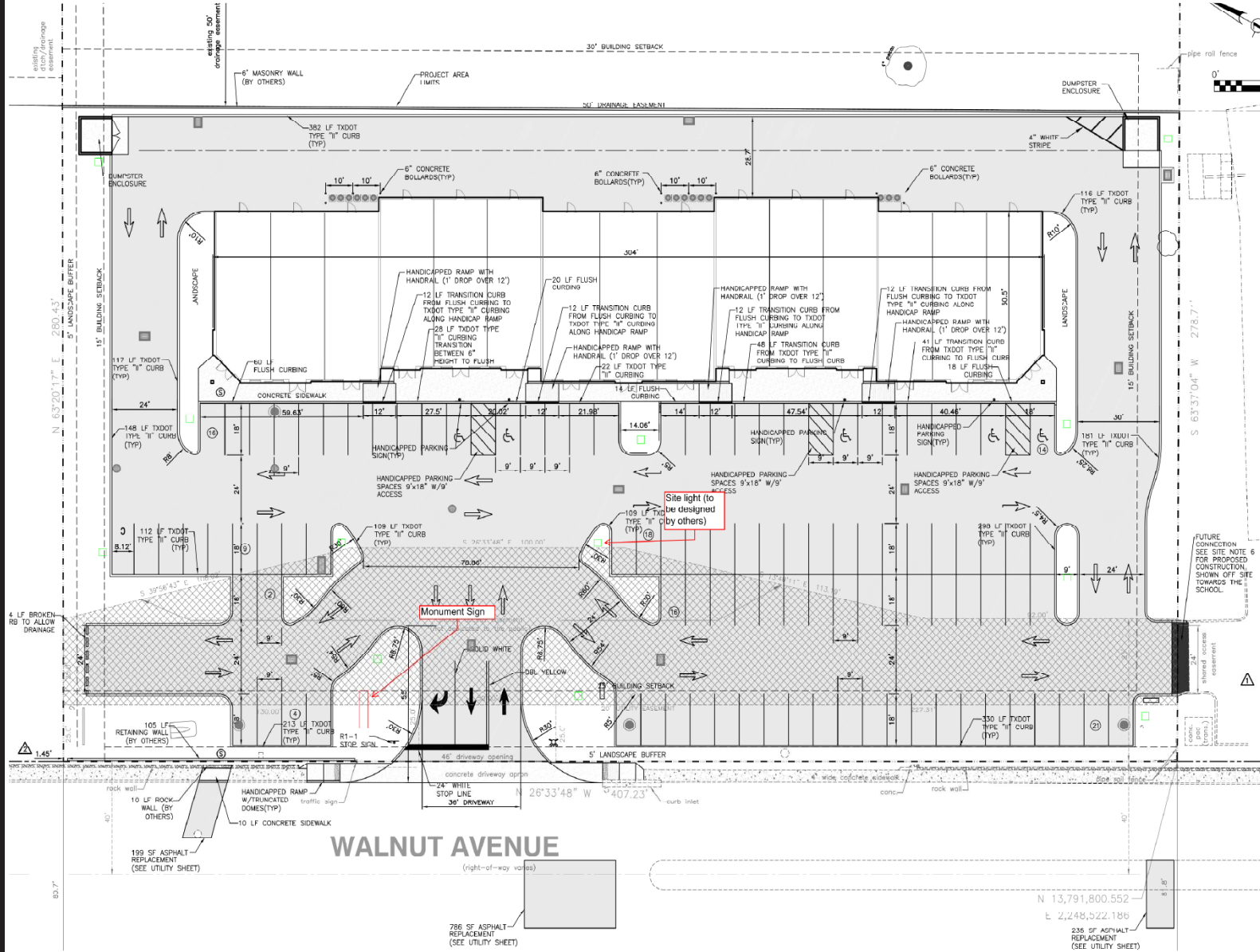
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SUITE 101 - Kauffman Orthodontics
SUITE 102 - Kauffman Orthodontics
SUITE 103 - Little Land
SUITE 104 - Little Land
SUITE 105 - Little Land

SUITE 106 - Little Land
SUITE 107 - 1,239 SF
SUITE 108 - 1,239 SF
SUITE 109 - 1,239 SF
SUITE 110 - 1,163 SF

SUITE 111 - 866 SF
SUITE 112 - Premier Martial Arts
SUITE 113 - 1,163 SF
SUITE 114 - Miracle-Ear
SUITE 115 - Rita's Italian Ice

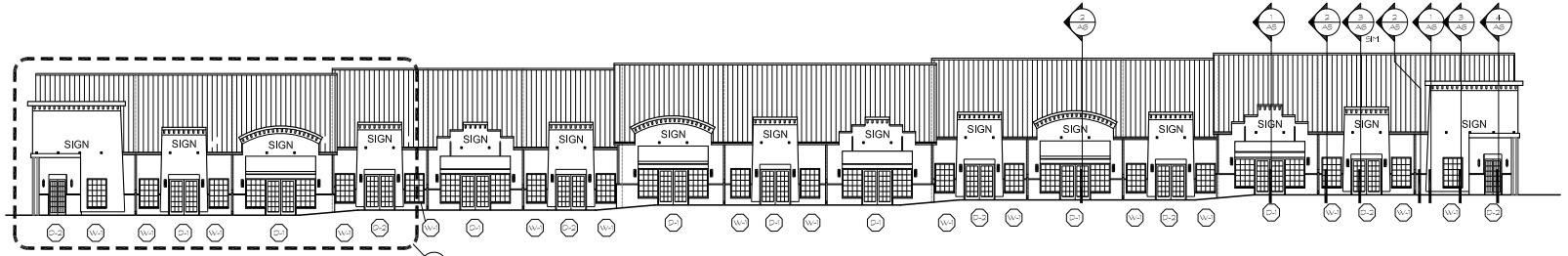
Site Plan



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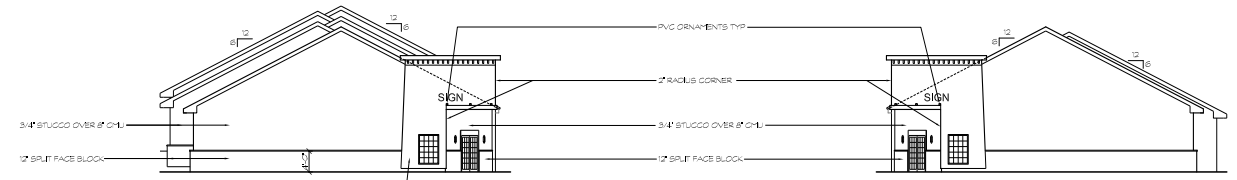
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Plans



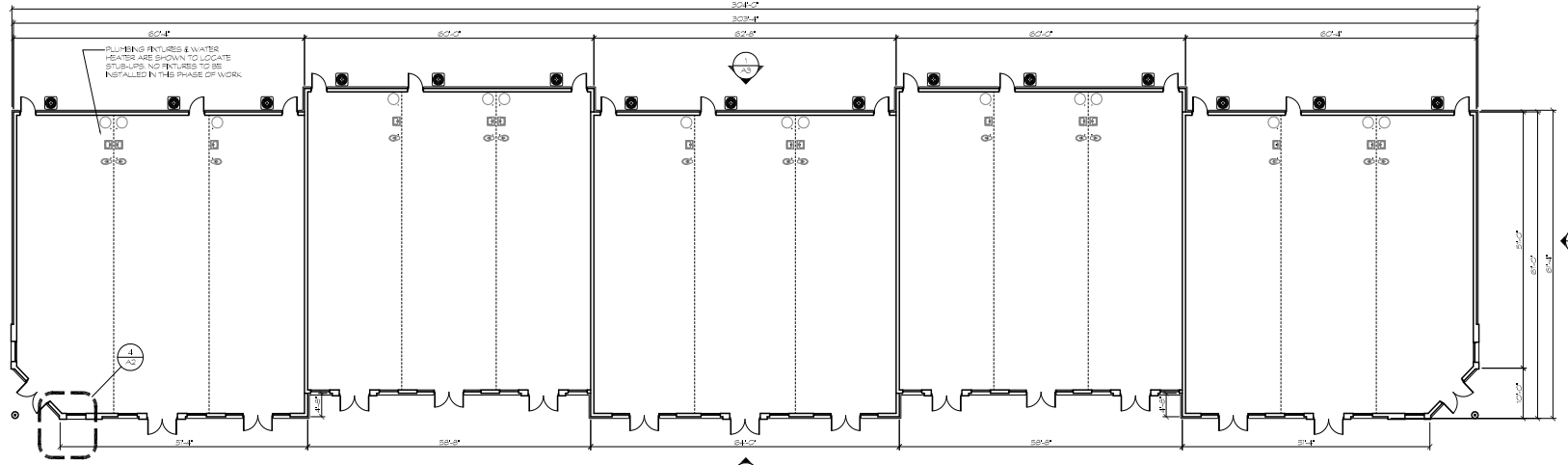
1 FRONT ELEVATION
3/32/17

(P) DOOR & WINDOW TYPE, SEE 4147



2 WEST ELEVATION
3/32/17

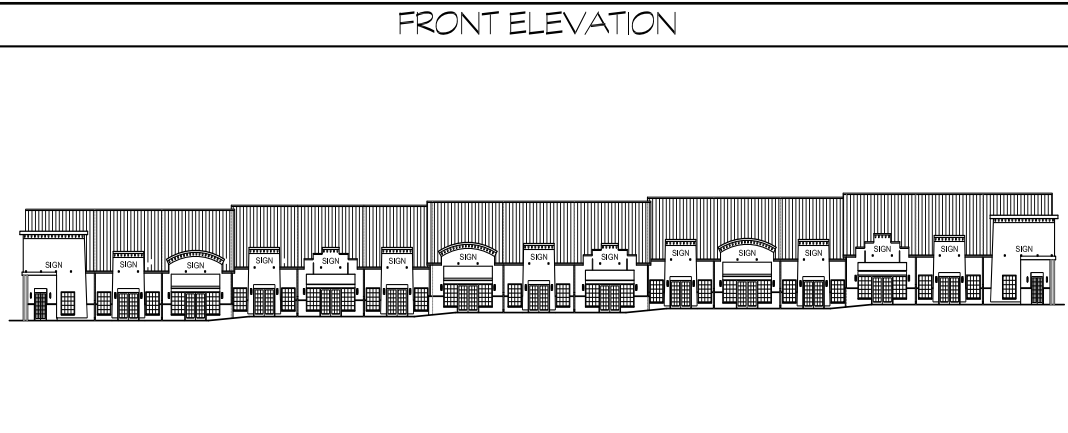
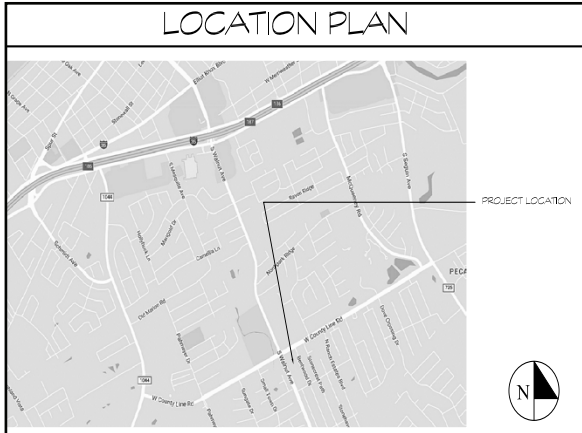
3 EAST ELEVATION
3/32/17



4 FLOOR PLAN
3/32/17

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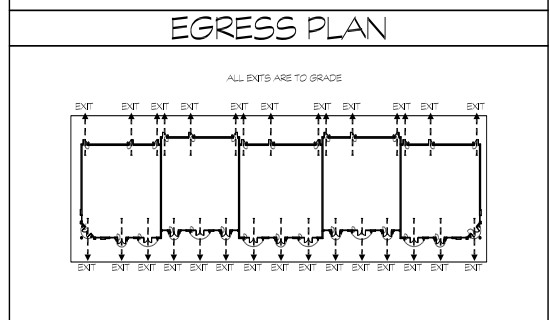
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SYMBOLS

	NEW PARTITION
	NEW WINDOW
	NEW DOOR HARDWARE AND FRAME
	ROOM NAME
	DOOR NUMBER
	SECTION MARKER TOP NUMBER, DRAWING NUMBER BOTTOM MARK, SHEET WHERE DETAIL IS LOCATED
	60" WHEELCHAIR TURNING RADIUS
	120V ELECTRICAL OUTLET
	GROUND FAULT 120V ELECTRICAL OUTLET
	EMERGENCY LIGHTING W/ BATTERY BACKUP
	LIGHTED EXIT SIGN W/ BATTERY BACKUP

- ### GENERAL NOTES
1. THESE GENERAL NOTES APPLY TO ALL CONTRACTORS OF ALL TRADES.
 2. SUB-CONTRACTORS SHALL OBTAIN REQUIRED TRADE PERMITS PRIOR TO COMMENCING WORK AND PROVIDE COPIES OF ALL PERMITS TO GENERAL CONTRACTOR.
 3. CONTRACTOR AND SUB-CONTRACTORS SHALL VISIT THE SITE PRIOR TO COMMENCING CONSTRUCTION AND FIELD VERIFY CONDITIONS. SHOULD THERE BE DISCREPANCIES BETWEEN FIELD CONDITIONS AND REPRESENTATIONS SHOWN ON DRAWINGS, CONTRACTOR SHALL RESOLVE ISSUES AND REPORT ANY NECESSARY CHANGES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 4. NEW DOOR HARDWARE SHALL BE LEVER TYPE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND ACCESSIBILITY REQUIREMENTS OF THE FLORIDA BUILDING CODE.
 5. PROVIDE CONTINUOUS BLOSSOMS, CONCEALED IN ALL PARTITIONS WHERE ITEMS ARE TO BE WALL MOUNTED.
 6. OWNER TO SELECT MATERIAL AND COLOR OF FINISHES WHEN NOT SPECIFIED ON DRAWINGS.
 7. CONTRACTOR SOLELY RESPONSIBLE FOR JOB SAFETY ON THE JOB SITE DURING THE ENTIRE SCOPE OF THE CONTRACT. CONTRACTOR TO ABIDE BY ALL INDUSTRY REGULATIONS INCLUDING OSHA REQUIREMENTS.
 8. ALL LUMBER THEREIN USED WITHIN THE CONTRACT IS TO BE TREATED FOR FIRE RESISTANCE USING A PRESSURE PROCESS AS SPECIFIED IN THE 2014 FLORIDA BUILDING CODE.
 9. ALL EXIT SIGNS ARE TO HAVE BATTERY BACKUP.
 10. ALL WOOD SPECIES BEARING ON MASONRY IS TO BE PRESSURE TREATED SOUTHERN YELLOW PINE.
 11. CONTRACTORS FIRE ALARM BUS TO SUBMIT FIRE ALARM DRAWINGS TO THE COUNTY PRIOR TO THE START OF WORK.
 12. ALL SUB-CONTRACTORS ARE TO VERIFY ALL QUANTITIES PRIOR TO ORDERING ANY MATERIALS.



CODE ANALYSIS

Design Criteria	
Code	<ul style="list-style-type: none"> IBC - INTERNATIONAL BUILDING CODE - Historical 2015 IBC - INTERNATIONAL BUILDING CODE - Plumbing 2015 IEC - INTERNATIONAL ENERGY CODE - Plumbing 2010 NEC - NATIONAL ELECTRICAL CODE 2014
Classification	<ul style="list-style-type: none"> Design Wind Speed 120 MPH Building Exposure B Occupancy Group B - BUSINESS Construction Type Type IIB - NOT SPRINKLERED Importance Factor Category I Design pressure of exterior components and cladding (windows & doors) shown from ASCE 7-10 All cladding/doors shall meet worse case scenario Dead load +/- 15 -30 PSF 10k

BUILDING AREA:
THE PROPOSED BUILDING AREA IS 18,554 SQUARE FEET

OCCUPANT LOAD - IBC, 2015 TABLE 1004.1.2
USE GROUP BUSINESS (B) OCCUPANCY LOAD 100 SF/PERSON
18,554 DIVIDED BY 100 SF/PERSON = 186 PEOPLE

BUILDING USE GROUP & TYPE OF CONSTRUCTION:
USE GROUP "B" BUSINESS
TYPE OF CONSTRUCTION Type IIB - NOT SPRINKLERED

BUILDING COMPONENTS:
NEW BUILDING
EXTERIOR WALLS: MASONRY W/ STUCCO
EXTERIOR BEARING MASONRY WALLS
FLOOR SLAB: 4" CONCRETE SLAB ON GRADE
ROOF: LIGHT PLYWOOD ROOFING ON GAUGE METAL ROOF TRUSSES

INDEX

CS ARCHITECTURAL COVER SHEET

1. CIVIL COVER SHEET
2. GENERAL NOTES
3. NOT USED
4. SURFACE WATER MANAGEMENT PLAN
5. IDENTIFICATION PLAN
6. SITE PLAN
7. PAVING, GRADING & DRAINAGE PLAN
8. UTILITIES PLAN
9. WATER & SEWER DETAILS
10. PAVING, GRADING & DRAINAGE DETAILS

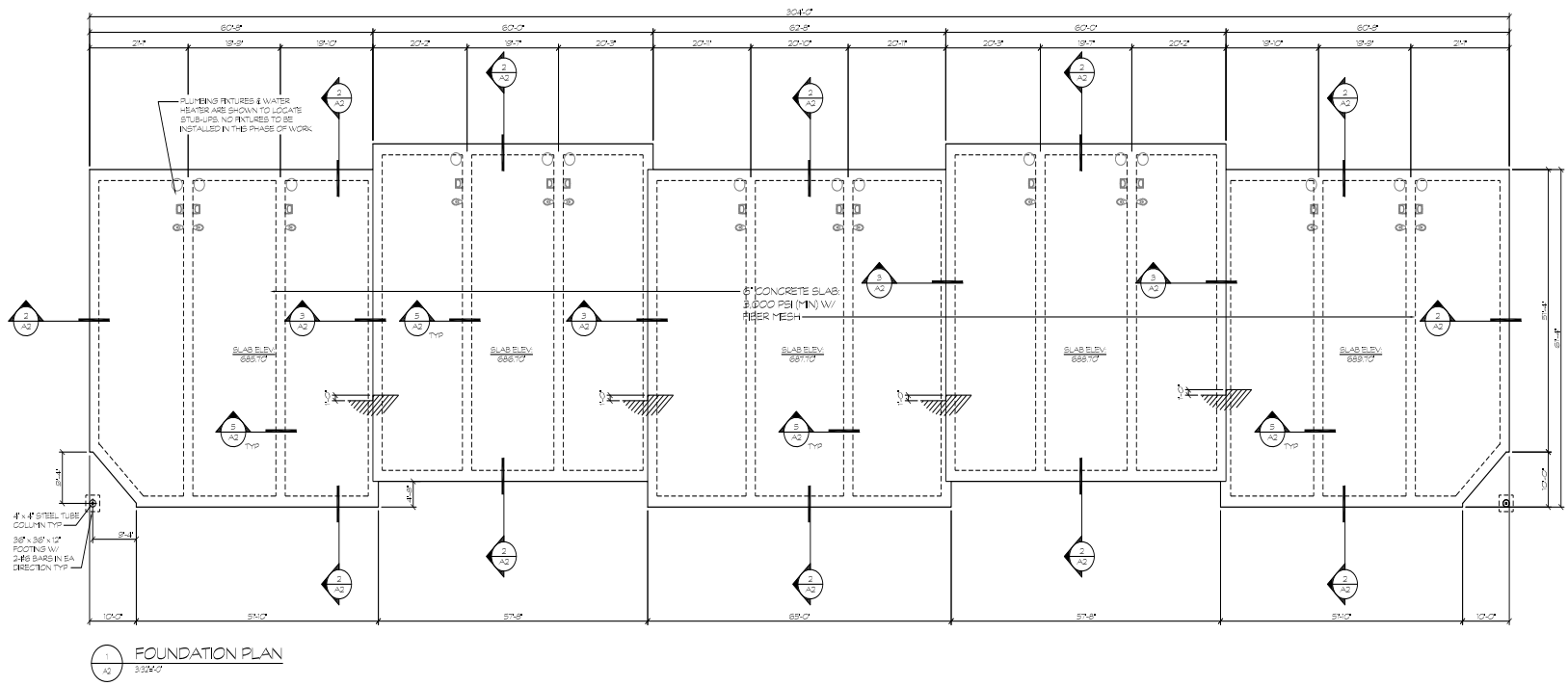
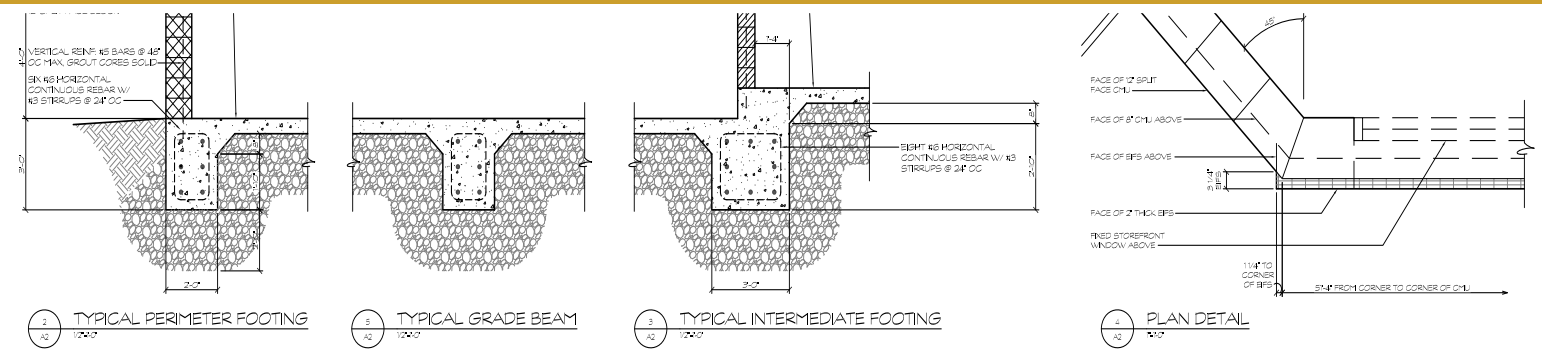
A1 PLANS & ELEVATIONS
A2 FOUNDATION PLAN
A3 ELEVATIONS & PARTIAL PLAN
A4 ROOF & ROOF FRAMING PLANS
A5 WALL SECTIONS
A6 WALL SECTIONS
A7 DETAILED MASONRY ELEVATIONS

P1 PLUMBING REEF DIAGRAM
E1 ELECTRICAL PLAN

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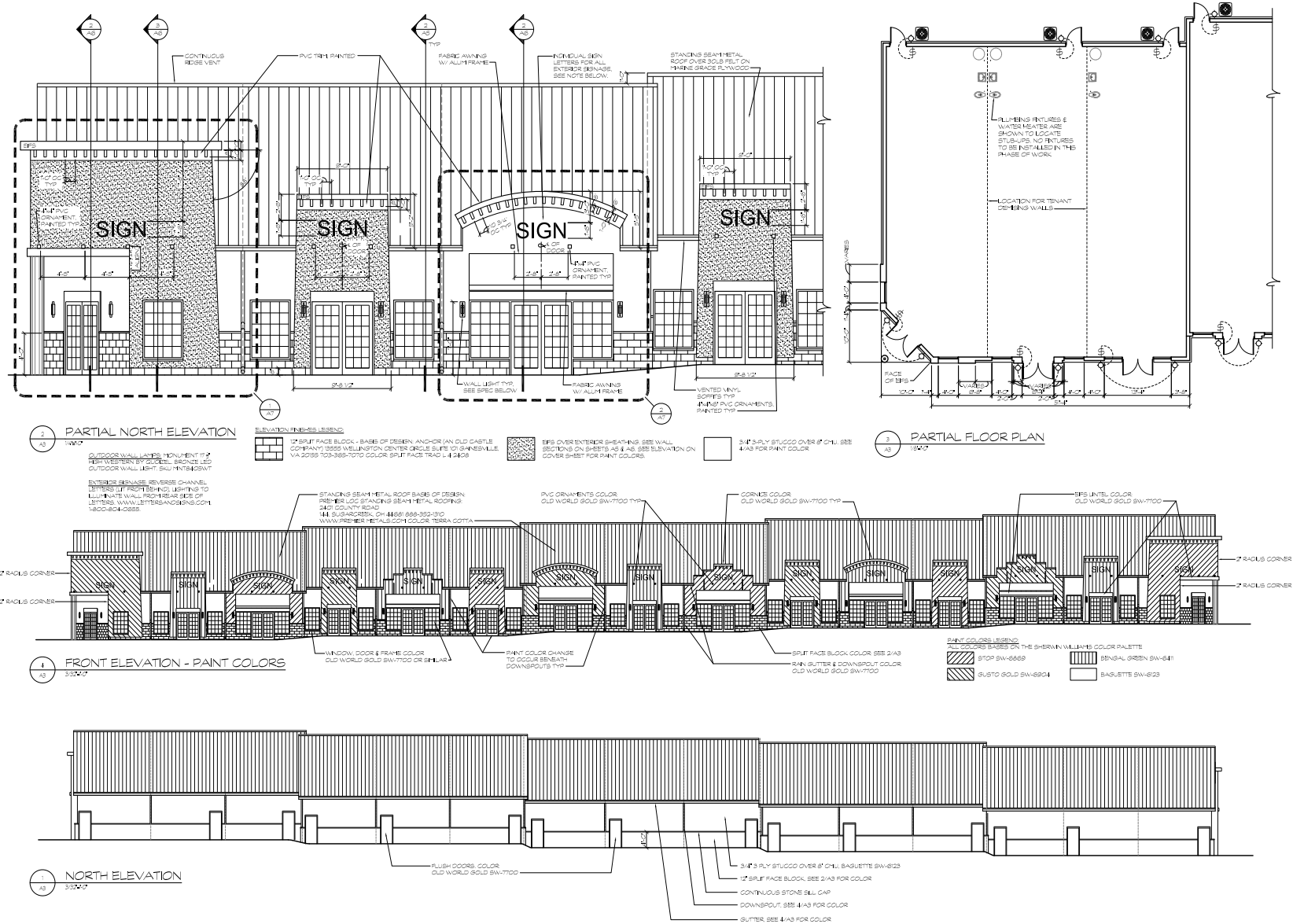
Plans



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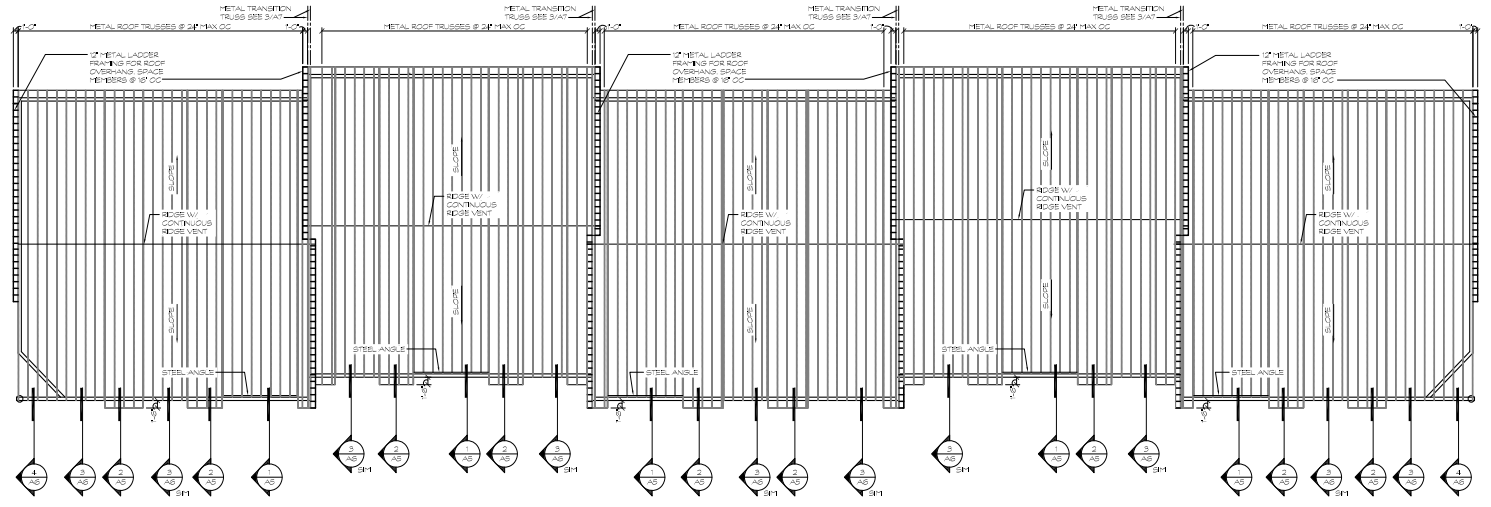
Plans



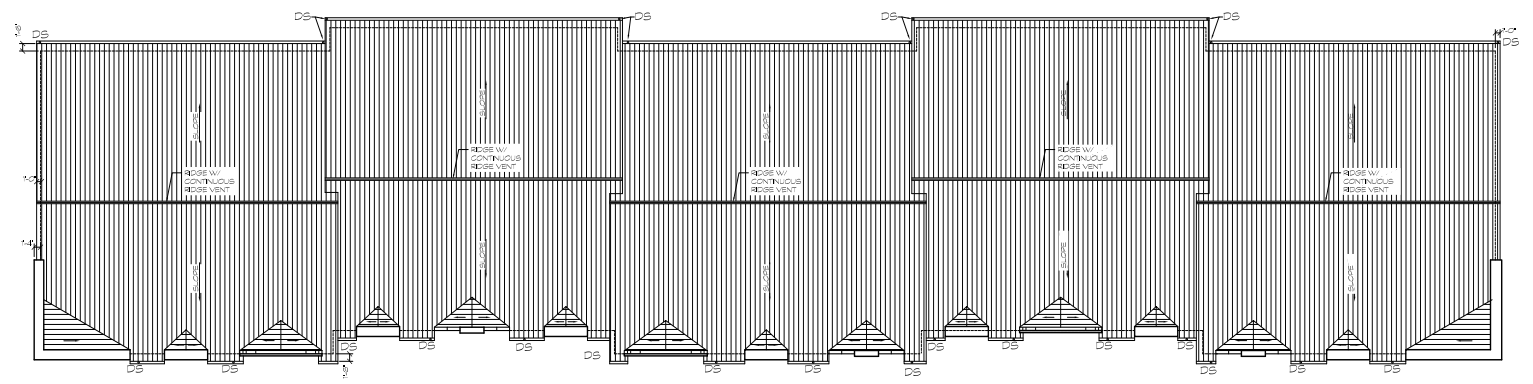
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Plans



2 ROOF FRAMING PLAN
3/22/17

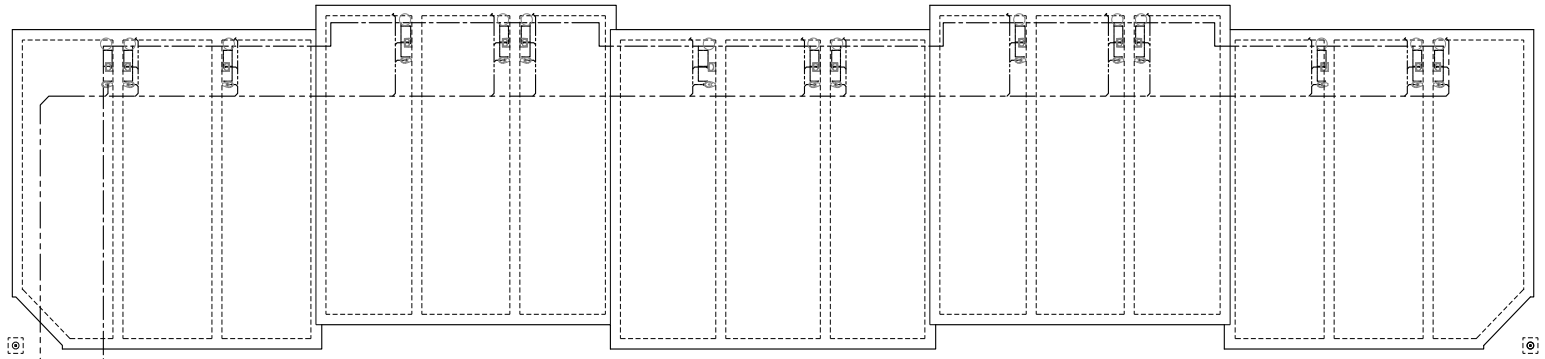


1 ROOF PLAN
3/22/17

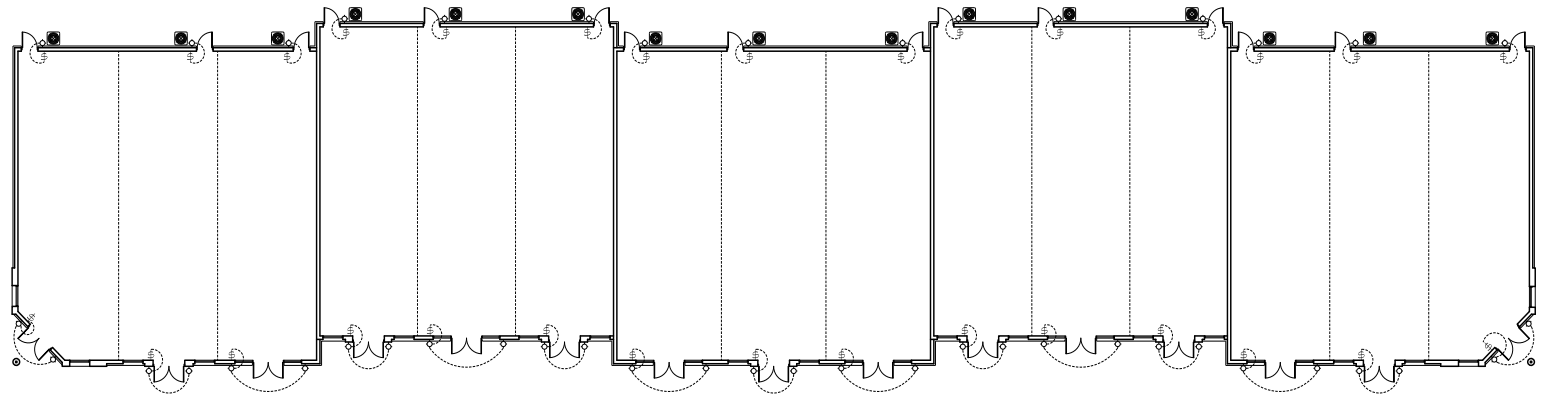
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Plans



WATER SUPPLY
TO SANITARY SEWER
PLUMBING PLAN
3/22/17



ELECTRICAL PLAN
3/22/17

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Property Summary

Address 2009 S Walnut Ave., New Braunfels, TX 78130

Location Located at SEC of County Line Rd & S Walnut Ave. New Braunfels, TX, Guadalupe County

Property Details 17,669 SF single story Retail center
Land - 2.6180 acres

Parking 107 spaces

Building Class A

Year Built 2022

Legal Description BENTWOOD COMMERCIAL #3 LOT #3
2.618 ACS

Zoning APD

Road Frontage 407 FT

Comments

- Surrounded by neighborhoods, multiple Elementary schools, and CVS
- Signage opportunities available
- Ample parking available
- 1.2 miles from IH-35 access

Traffic Counts

IH-35 S Frontage Road & S Walnut Ave.; 15,057 vpd (2019)
TxDOT Statewide Planning Map

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Quote Sheet

Minimum Available SF	866
Total Available SF	6,909
Base Rental	\$26.00 NNN PSF annually
Triple Net	Estimated at \$6.50 PSF annually
Term	Five (5) to Ten (10) years
Tenant Improvement Allowance	\$30.00 PSF on 5-year lease \$40.00 PSF on 10-year lease
Disclosure	A copy of the attached Real Estate Agency Disclosure Form should be signed by the appropriate individual and returned to Seller's representative.

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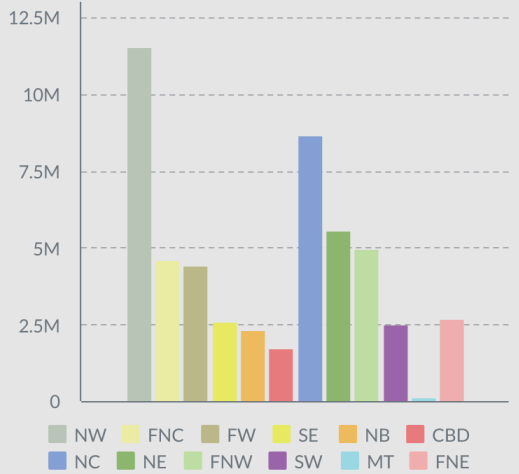
Actual Sale Price under any proposed purchase contract is a function of the relationship of numerous characteristics including credit worthiness of buyer and other factors deemed important by the Seller.

This Quote Sheet does not constitute an offer. Neither this document nor any oral discussions between the parties is intended to be a legally binding agreement, but merely expresses terms and conditions upon which the Landlord may be willing to enter into an agreement. This Quote Sheet is subject to modification, prior sale or withdrawal without notice and neither party hereto shall be bound until definitive written agreements are executed by and delivered to all parties to the transaction. The information provided herein is deemed reliable, however, no warranties or representations as to the accuracy are intended, whether expressed or implied.

Retail Market Snapshot - 4Q 2022

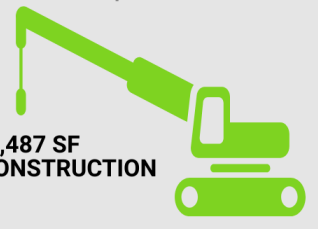
Citywide Inventory

51,759,570 SF TOTAL



Development

66,487 SF UNDER CONSTRUCTION



PROJECTS DELIVERED 2022

Live Oak Town Center - Floor & Décor	NE	91,030 SF
Napa Oaks	NW	47,500 SF
Culebra Square I & II	FW	36,800 SF
The Shops at Redland Road	FNC	34,001 SF
14048 Culebra	FW	22,173 SF
Dove Creek Highlands	FW	20,138 SF
Tacara Stone Oak	FNC	19,512 SF

PROJECTS UNDER CONSTRUCTION

Escala Phase I	FW	48,487 SF
Jefferson Building-Retail Portion	MT	18,000 SF

2022 Direct Absorption

572,575 SF

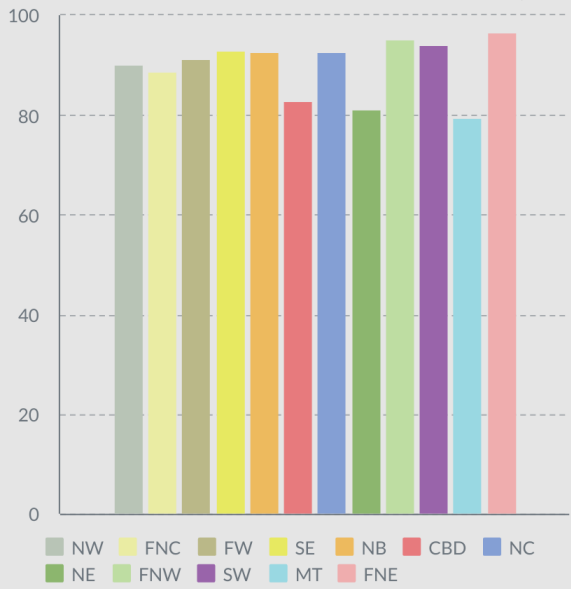


Direct Occupancy

46,887,160 SF
90.6%



vs 4Q21

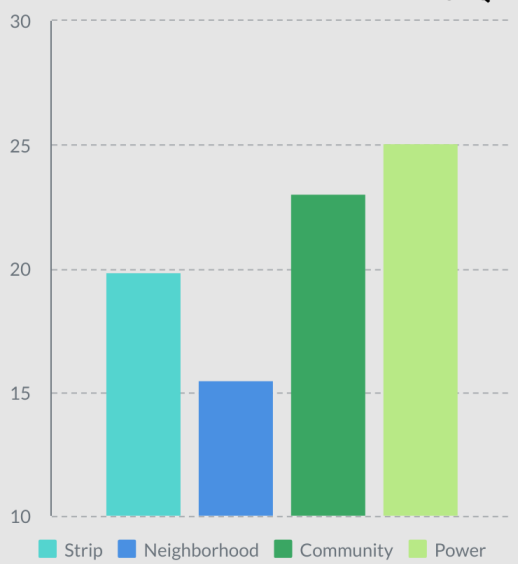


Average Quoted Rent

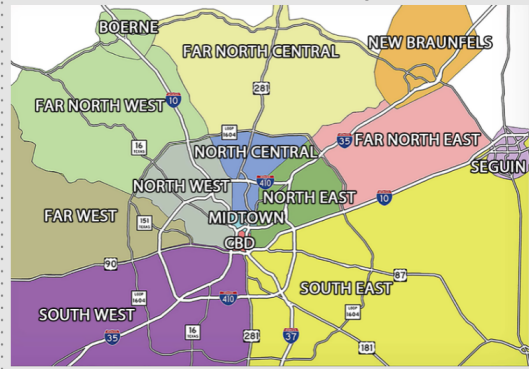
\$18.68/SF/YR
NNN



vs 4Q21



Submarket Map



- Submarkets**
- MT: Midtown
 - NW: North West
 - FNC: Far North Central
 - FW: Far West
 - FNW: Far North West
 - SE: South East
 - SW: South West
 - NB: New Braunfels
 - CBD: Central Business District
 - NC: North Central
 - NE: North East
 - FNE: Far North East

Market Intelligence Guided by Experience

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San Antonio Overview

Largest U.S. Cities

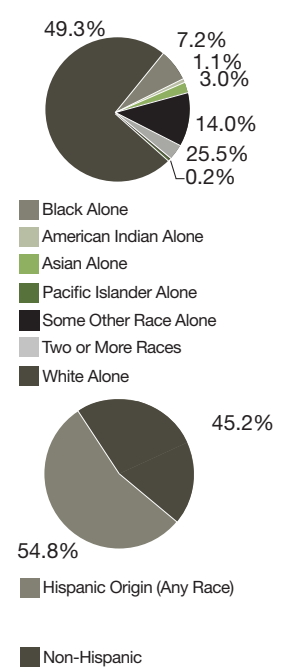
- 1 New York
- 2 Los Angeles
- 3 Chicago
- 4 Houston
- 5 Phoenix
- 6 Philadelphia
- 7 San Antonio**
- 8 San Diego
- 9 Dallas
- 10 San Jose

San Antonio-New Braunfels Metro Area

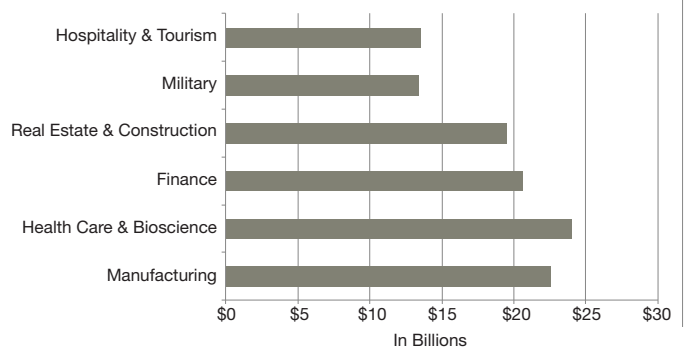
	Population	Median Age	Total Households
2010 Census	2,142,508	34.1	763,022
2020 Census	2,558,143	-	925,609
2022 Estimate	2,661,164	36.2	964,841
2027 Projection	2,799,634	36.9	1,018,054

	Avg. Household Income	Median Household Income	Per Capita Income
2010 Census	-	-	-
2020 Census	-	-	-
2022 Estimate	\$94,960	\$67,803	\$34,540
2027 Projection	\$109,551	\$78,753	\$39,942

Ethnicity 2022 Estimate



Major Industries



Fortune 500 Companies

SAT	Rankings	US
1	Valero Energy	24
2	USAA	101
3	iHeartMedia	466
4	NuStar Energy	998

Located in South Central Texas within Bexar County, San Antonio occupies approximately 504 square miles. Situated about 140 miles north of the Gulf of Mexico where the Gulf Coastal Plain and Texas Hill Country meet.

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Sources: U.S. Census, U.S. Census Bureau 2020, ESRI forecasts for 2022 & 2027; Fortune



Demographics: 1 - Mile

Summary	Census 2010		Census 2020		2023	2028		
Population	8,546		11,741		12,011	12,168		
Households	3,104		4,239		4,342	4,426		
Families	2,401		-		3,310	3,372		
Average Household Size	2.75		2.77		2.76	2.75		
Owner Occupied Housing Units	2,416		-		3,556	3,661		
Renter Occupied Housing Units	689		-		786	764		
Median Age	33.9		-		35.1	34.8		
Trends: 2023-2028 Annual Rate	Area		State		National			
Population	0.26%		0.97%		0.30%			
Households	0.38%		1.15%		0.49%			
Families	0.37%		1.16%		0.44%			
Owner HHs	0.58%		1.38%		0.66%			
Median Household Income	2.20%		2.56%		2.57%			
Households by Income			2023		2028			
			Number	Percent	Number	Percent		
<\$15,000			118	2.7%	105	2.4%		
\$15,000 - \$24,999			207	4.8%	165	3.7%		
\$25,000 - \$34,999			240	5.5%	195	4.4%		
\$35,000 - \$49,999			447	10.3%	375	8.5%		
\$50,000 - \$74,999			715	16.5%	646	14.6%		
\$75,000 - \$99,999			799	18.4%	804	18.2%		
\$100,000 - \$149,999			987	22.7%	1,136	25.7%		
\$150,000 - \$199,999			571	13.2%	700	15.8%		
\$200,000+			258	5.9%	300	6.8%		
Median Household Income			\$86,860		\$96,861			
Average Household Income			\$106,086		\$118,680			
Per Capita Income			\$38,127		\$42,940			
Population by Age	Census 2010		2023		2028			
	Number	Percent	Number	Percent	Number	Percent		
0 - 4	693	8.1%	902	7.5%	954	7.8%		
5 - 9	731	8.6%	958	8.0%	965	7.9%		
10 - 14	682	8.0%	934	7.8%	961	7.9%		
15 - 19	543	6.4%	787	6.6%	796	6.5%		
20 - 24	458	5.4%	655	5.5%	660	5.4%		
25 - 34	1,313	15.4%	1,758	14.6%	1,776	14.6%		
35 - 44	1,315	15.4%	1,968	16.4%	2,068	17.0%		
45 - 54	1,057	12.4%	1,452	12.1%	1,469	12.1%		
55 - 64	835	9.8%	1,133	9.4%	1,032	8.5%		
65 - 74	512	6.0%	918	7.6%	854	7.0%		
75 - 84	330	3.9%	421	3.5%	492	4.0%		
85+	77	0.9%	127	1.1%	139	1.1%		
Race and Ethnicity	Census 2010		Census 2020		2023		2028	
	Number	Percent	Number	Percent	Number	Percent	Number	Percent
White Alone	7,470	87.4%	7,998	68.1%	8,055	67.1%	7,910	65.0%
Black Alone	150	1.8%	291	2.5%	295	2.5%	301	2.5%
American Indian Alone	60	0.7%	92	0.8%	100	0.8%	108	0.9%
Asian Alone	129	1.5%	178	1.5%	184	1.5%	195	1.6%
Pacific Islander Alone	1	0.0%	39	0.3%	43	0.4%	50	0.4%
Some Other Race Alone	533	6.2%	986	8.4%	1,051	8.7%	1,132	9.3%
Two or More Races	204	2.4%	2,158	18.4%	2,285	19.0%	2,472	20.3%
Hispanic Origin (Any Race)	2,635	30.8%	3,964	33.8%	4,196	34.9%	4,435	36.4%

Data Note: Income is expressed in current dollars.

Source: Esri forecasts for 2023 and 2028. U.S. Census Bureau 2010 decennial Census data converted by Esri into 2020 geography.

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Demographics: 3 - Miles

Summary	Census 2010		Census 2020		2023		2028	
Population	37,034		50,305		54,319		54,617	
Households	13,393		18,383		19,943		20,224	
Families	9,645		-		14,054		14,201	
Average Household Size	2.72		2.71		2.70		2.68	
Owner Occupied Housing Units	8,906		-		14,507		14,929	
Renter Occupied Housing Units	4,486		-		5,436		5,295	
Median Age	34.6		-		36.5		36.6	
Trends: 2023-2028 Annual Rate	Area		State		National			
Population	0.11%		0.97%		0.30%			
Households	0.28%		1.15%		0.49%			
Families	0.21%		1.16%		0.44%			
Owner HHs	0.58%		1.38%		0.66%			
Median Household Income	1.52%		2.56%		2.57%			
Households by Income			2023		2028			
			Number	Percent	Number	Percent		
<\$15,000			1,011	5.1%	871	4.3%		
\$15,000 - \$24,999			1,028	5.2%	828	4.1%		
\$25,000 - \$34,999			1,392	7.0%	1,166	5.8%		
\$35,000 - \$49,999			1,986	10.0%	1,753	8.7%		
\$50,000 - \$74,999			3,600	18.1%	3,472	17.2%		
\$75,000 - \$99,999			3,663	18.4%	3,798	18.8%		
\$100,000 - \$149,999			3,772	18.9%	4,255	21.0%		
\$150,000 - \$199,999			2,016	10.1%	2,441	12.1%		
\$200,000+			1,475	7.4%	1,640	8.1%		
Median Household Income			\$79,989		\$86,243			
Average Household Income			\$103,741		\$115,017			
Per Capita Income			\$37,784		\$42,242			
Population by Age	Census 2010		2023		2028			
	Number	Percent	Number	Percent	Number	Percent		
0 - 4	2,908	7.9%	3,753	6.9%	3,858	7.1%		
5 - 9	2,884	7.8%	3,991	7.3%	3,953	7.2%		
10 - 14	2,776	7.5%	3,959	7.3%	4,025	7.4%		
15 - 19	2,475	6.7%	3,452	6.4%	3,528	6.5%		
20 - 24	2,275	6.1%	3,147	5.8%	3,071	5.6%		
25 - 34	5,393	14.6%	7,633	14.1%	7,486	13.7%		
35 - 44	5,225	14.1%	7,943	14.6%	8,153	14.9%		
45 - 54	4,729	12.8%	6,296	11.6%	6,388	11.7%		
55 - 64	3,876	10.5%	5,924	10.9%	5,437	10.0%		
65 - 74	2,382	6.4%	4,956	9.1%	4,881	8.9%		
75 - 84	1,541	4.2%	2,441	4.5%	2,916	5.3%		
85+	570	1.5%	823	1.5%	922	1.7%		
Race and Ethnicity	Census 2010		Census 2020		2023		2028	
	Number	Percent	Number	Percent	Number	Percent	Number	Percent
White Alone	31,778	85.8%	32,370	64.3%	34,444	63.4%	33,707	61.7%
Black Alone	692	1.9%	1,314	2.6%	1,449	2.7%	1,490	2.7%
American Indian Alone	270	0.7%	392	0.8%	468	0.9%	525	1.0%
Asian Alone	303	0.8%	631	1.3%	719	1.3%	755	1.4%
Pacific Islander Alone	12	0.0%	85	0.2%	105	0.2%	124	0.2%
Some Other Race Alone	3,116	8.4%	5,302	10.5%	5,889	10.8%	6,228	11.4%
Two or More Races	864	2.3%	10,211	20.3%	11,244	20.7%	11,789	21.6%
Hispanic Origin (Any Race)	14,918	40.3%	19,907	39.6%	21,935	40.4%	22,657	41.5%

Data Note: Income is expressed in current dollars.

Source: Esri forecasts for 2023 and 2028. U.S. Census Bureau 2010 decennial Census data converted by Esri into 2020 geography.

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Demographics: 5 - Miles

Summary	Census 2010		Census 2020		2023		2028	
Population	62,078		91,778		103,341		118,953	
Households	22,836		34,467		39,126		45,518	
Families	16,215		-		27,270		31,909	
Average Household Size	2.68		2.63		2.61		2.59	
Owner Occupied Housing Units	15,197		-		27,828		33,069	
Renter Occupied Housing Units	7,638		-		11,298		12,449	
Median Age	36.1		-		37.9		38.9	
Trends: 2023-2028 Annual Rate	Area		State		National			
Population	2.85%		0.97%		0.30%			
Households	3.07%		1.15%		0.49%			
Families	3.19%		1.16%		0.44%			
Owner HHS	3.51%		1.38%		0.66%			
Median Household Income	1.83%		2.56%		2.57%			
Households by Income			2023		2028			
			Number	Percent	Number	Percent		
<\$15,000			2,145	5.5%	2,129	4.7%		
\$15,000 - \$24,999			1,888	4.8%	1,689	3.7%		
\$25,000 - \$34,999			2,699	6.9%	2,565	5.6%		
\$35,000 - \$49,999			3,757	9.6%	3,779	8.3%		
\$50,000 - \$74,999			6,493	16.6%	7,149	15.7%		
\$75,000 - \$99,999			6,826	17.4%	7,908	17.4%		
\$100,000 - \$149,999			7,827	20.0%	9,755	21.4%		
\$150,000 - \$199,999			3,707	9.5%	5,227	11.5%		
\$200,000+			3,785	9.7%	5,317	11.7%		
Median Household Income			\$82,620		\$90,482			
Average Household Income			\$110,918		\$126,559			
Per Capita Income			\$41,826		\$48,101			
Population by Age	Census 2010		2023		2028			
	Number	Percent	Number	Percent	Number	Percent		
0 - 4	4,604	7.4%	6,730	6.5%	7,685	6.5%		
5 - 9	4,728	7.6%	7,177	6.9%	8,027	6.7%		
10 - 14	4,637	7.5%	7,277	7.0%	8,306	7.0%		
15 - 19	4,127	6.6%	6,520	6.3%	7,333	6.2%		
20 - 24	3,540	5.7%	5,865	5.7%	6,253	5.3%		
25 - 34	8,463	13.6%	13,730	13.3%	15,257	12.8%		
35 - 44	8,477	13.7%	14,424	14.0%	16,602	14.0%		
45 - 54	8,122	13.1%	12,185	11.8%	14,056	11.8%		
55 - 64	6,834	11.0%	12,003	11.6%	12,938	10.9%		
65 - 74	4,319	7.0%	10,278	9.9%	12,231	10.3%		
75 - 84	2,915	4.7%	5,235	5.1%	7,636	6.4%		
85+	1,313	2.1%	1,918	1.9%	2,629	2.2%		
Race and Ethnicity	Census 2010		Census 2020		2023		2028	
	Number	Percent	Number	Percent	Number	Percent	Number	Percent
White Alone	53,626	86.4%	61,131	66.6%	68,108	65.9%	77,858	65.5%
Black Alone	1,128	1.8%	2,568	2.8%	2,929	2.8%	3,385	2.8%
American Indian Alone	415	0.7%	664	0.7%	826	0.8%	1,019	0.9%
Asian Alone	534	0.9%	1,255	1.4%	1,514	1.5%	1,879	1.6%
Pacific Islander Alone	19	0.0%	149	0.2%	191	0.2%	248	0.2%
Some Other Race Alone	4,960	8.0%	8,705	9.5%	10,037	9.7%	11,546	9.7%
Two or More Races	1,396	2.2%	17,305	18.9%	19,736	19.1%	23,018	19.4%
Hispanic Origin (Any Race)	22,703	36.6%	33,532	36.5%	38,356	37.1%	43,545	36.6%

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Data Note: Income is expressed in current dollars.

Source: Esri forecasts for 2023 and 2028. U.S. Census Bureau 2010 decennial Census data converted by Esri into 2020 geography.



Information About Brokerage Services

Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

TYPES OF REAL ESTATE LICENSE HOLDERS:

- **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

AS AGENT FOR OWNER (SELLER/LANDLORD): The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

AS AGENT FOR BUYER/TENANT: The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

AS AGENT FOR BOTH -INTERMEDIARY: To act as an intermediary between the parties the broker must first obtain the written agreement of each party to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- **Must not, unless specifically authorized in writing to do so by the party, disclose:**
 - that the owner will accept a price less than the written asking price;
 - that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
 - any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

AS SUBAGENT: A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

LICENSE HOLDER CONTACT INFORMATION: This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

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Buyer/Tenant/Seller/Landlord Initials _____ Date _____



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