



MARK HAMPTON  
RESIDENTIAL AND COMMERCIAL REAL ESTATE  
*The Signature of Experience*

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**3526 S. Loop 337, Suite 125  
New Braunfels, TX 78130**

***For Lease***

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**6,000sqft Industrial Flex Space**



Mark Hampton | KW Commercial  
Mark@MarkHamptonHomes.com | 210-823-8611  
888 Landa Street, New Braunfels TX 78130



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The information presented here is deemed to be accurate but it has not been independently verified. We make no guarantee, warranty or representation. It is your responsibility to confirm accuracy and completeness. All KW offices are independently owned and operated.

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## PROPERTY PHOTOS



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## PROPERTY PHOTOS

Office #2



Restroom

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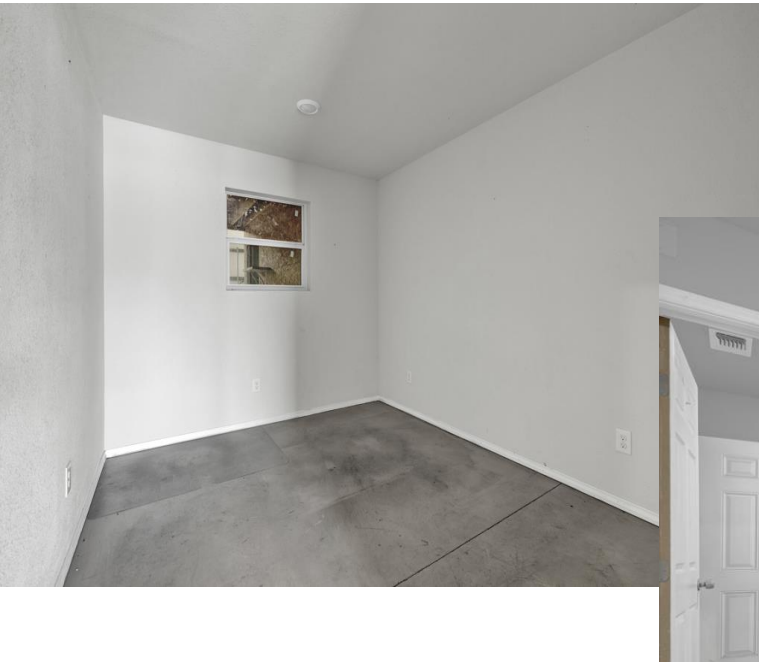


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## PROPERTY PHOTOS

### Office #4



### Office #5



### Office #3

The office space has a total square footage space of approximately 1500+ sqft.

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## PROPERTY PHOTOS



## Office #6

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## PROPERTY PHOTOS



The warehouse area has two roll up grade level doors. One door is a 10' wide/ 12' high door and the second door is a 12' wide x 14' high door.

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## PROPERTY PHOTOS



The warehouse has a height at the center beam of 22' equipped with two brand new ceiling fans.

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## PROPERTY PHOTOS



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## PROPERTY PHOTOS



Approximately  
900sqft+ of  
the office  
space is  
heated and  
cooled.

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## PROPERTY PHOTOS



This office includes about 570sqft on the second floor.



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## PROPERTY PHOTOS



## Second Floor

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## PROPERTY PHOTOS



## Second floor offices

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## **3526 S. Loop 337**

### **Property Description**

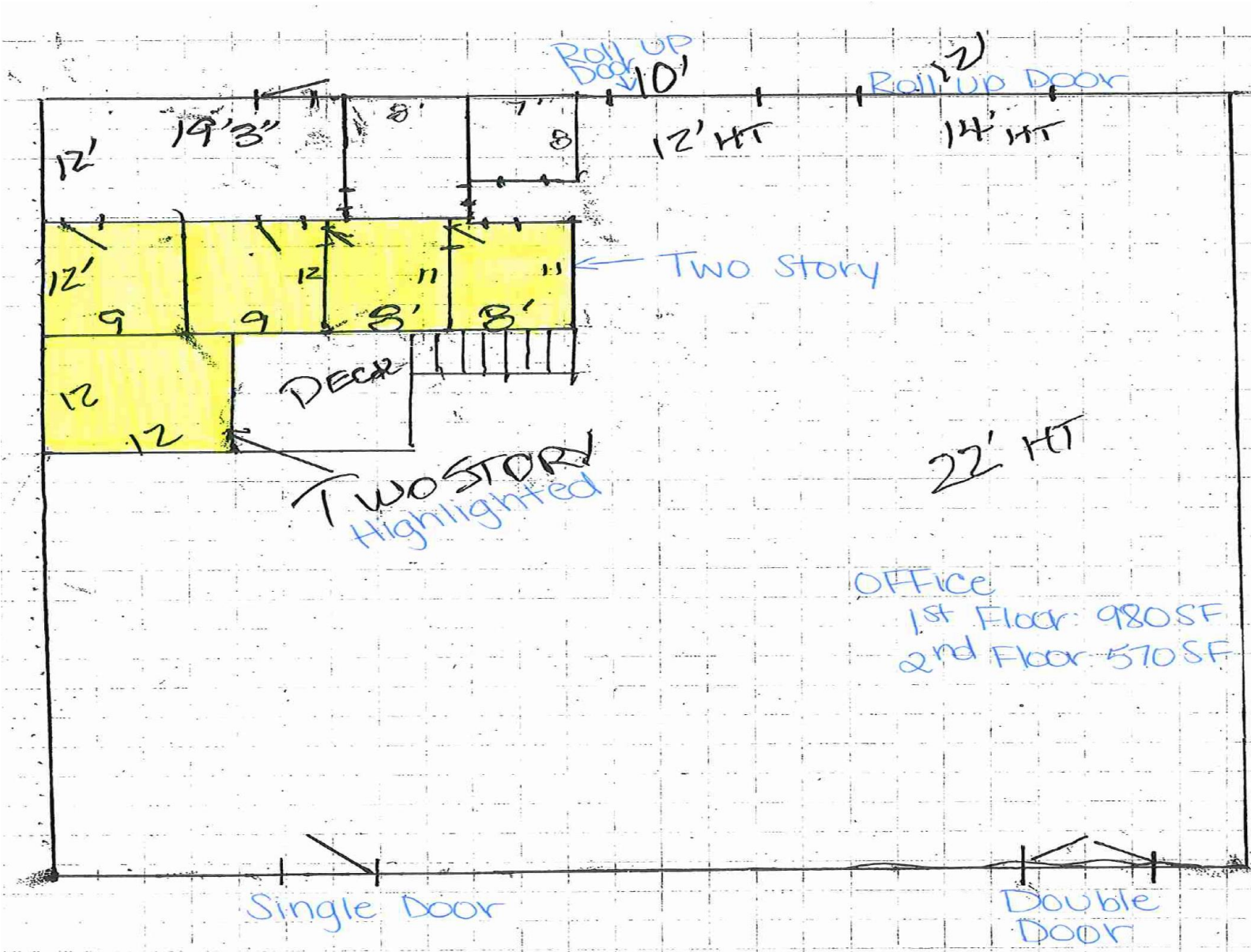
3526 S Loop 337, Suite 125 is a 6,000 square foot Industrial flex space. The warehouse area has two roll up grade level doors. One door is a 10' wide/ 12' high door and the second door is a 12' wide x 14' high door. The office space has a total square footage space of approximately 1500+ sqft. This office footprint includes about 570 sqft on the second floor. So, this feature does not take away from the total square footage. Approximately 900sqft+ of the office space is heated and cooled. The warehouse has a height at the center beam of 22'. The warehouse area is equipped with two Badass brand ceiling fans.



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PROPERTY PHOTOS



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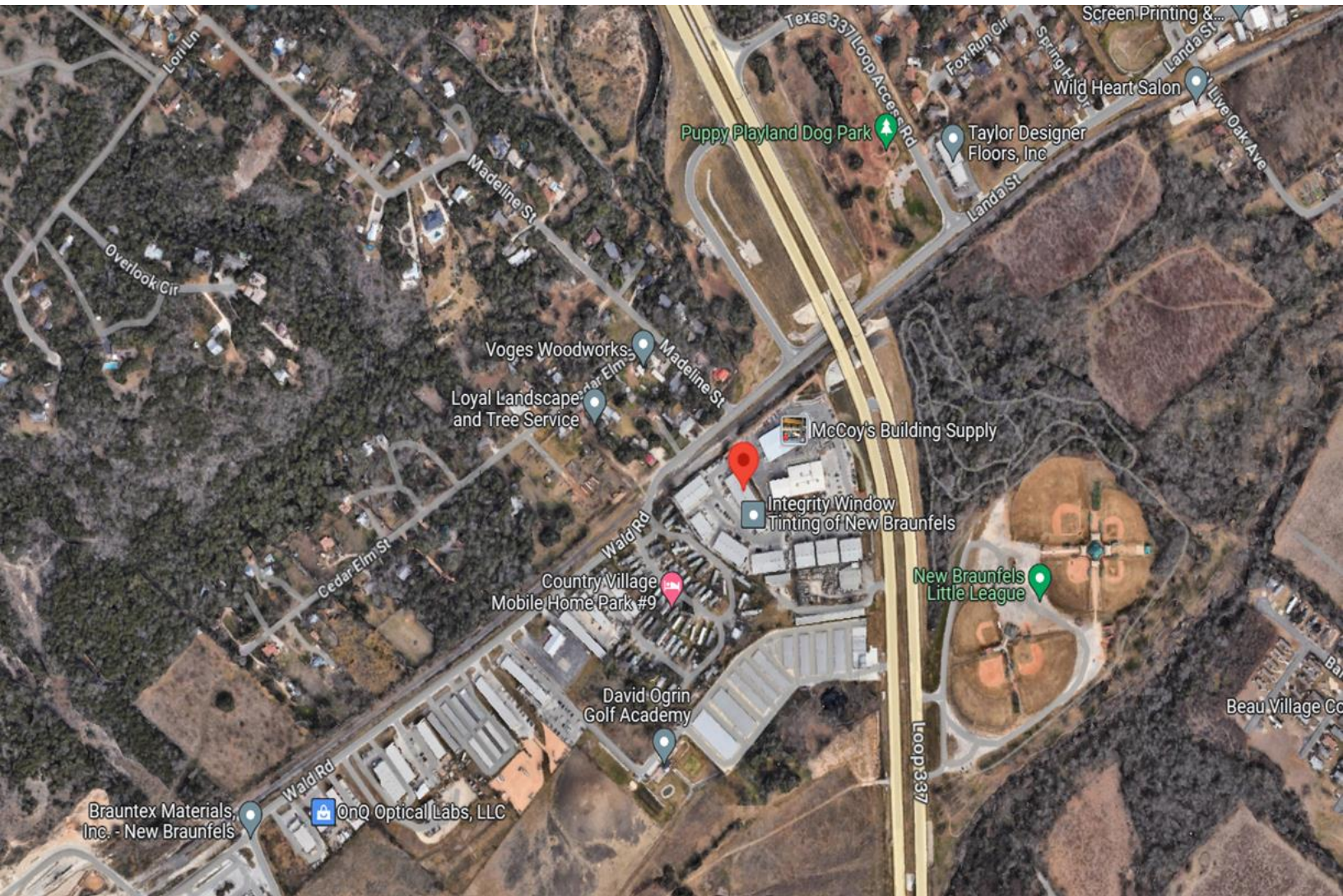
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## LOCATION & DIRECTIONS



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11-2-2015



## Information About Brokerage Services

Texas law requires all real estate license holders to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

### TYPES OF REAL ESTATE LICENSE HOLDERS:

- A **BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- A **SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

### A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- Put the interests of the client above all others, including the broker's own interests;
- Inform the client of any material information about the property or transaction received by the broker;
- Answer the client's questions and present any offer to or counter-offer from the client; and
- Treat all parties to a real estate transaction honestly and fairly.

### A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

**AS AGENT FOR OWNER (SELLER/LANDLORD):** The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

**AS AGENT FOR BUYER/TENANT:** The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

**AS AGENT FOR BOTH - INTERMEDIARY:** To act as an intermediary between the parties the broker must first obtain the written agreement of *each party* to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- Must treat all parties to the transaction impartially and fairly;
- May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- Must not, unless specifically authorized in writing to do so by the party, disclose:
  - o that the owner will accept a price less than the written asking price;
  - o that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
  - o any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

**AS SUBAGENT:** A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

### TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

**LICENSE HOLDER CONTACT INFORMATION:** This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

Keller Williams Realty - Heritage	434367	Heritage@mykwsa.com	210-493-3030
Licensed Broker /Broker Firm Name or Primary Assumed Business Name	License No.	Email	Phone
Lisa Munoz	488746	lmunoz@mykwsa.com	210-493-3030
Designated Broker of Firm	License No.	Email	Phone
Stephanie Williams	601297	swilliams@mykwsa.com	210-323-3322
Licensed Supervisor of Sales Agent/ Associate	License No.	Email	Phone
Mark Hampton	464012	Mark@MarkHamptonHomes.com	210-823-8611
Sales Agent/Associate's Name	License No.	Email	Phone

\_\_\_\_\_  
Buyer/Tenant/Seller/Landlord Initials

\_\_\_\_\_  
Date

Regulated by the Texas Real Estate Commission

Information available at [www.trec.texas.gov](http://www.trec.texas.gov)

Keller Williams -Heritage -New Braunfels Business Center 433 W. San Antonio St. New Braunfels, TX 78130

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IABS 1-0  
TXR 2501

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