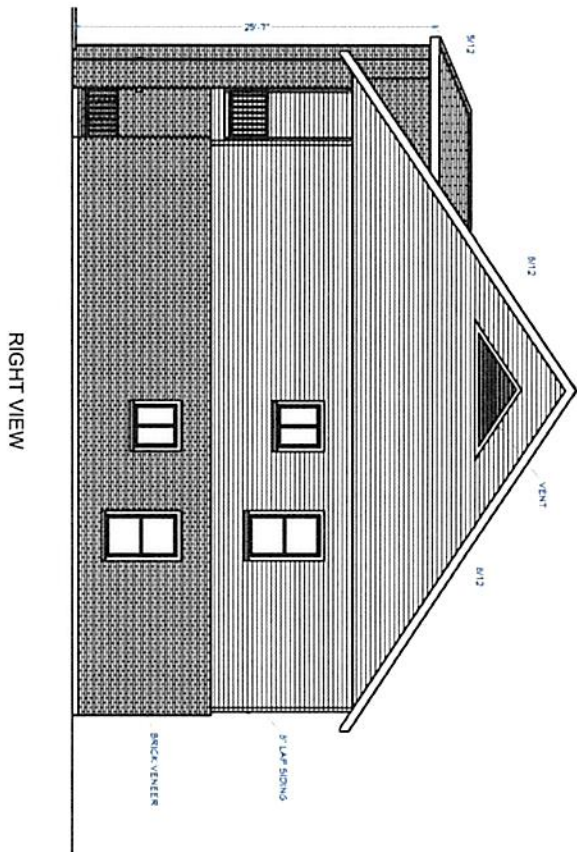
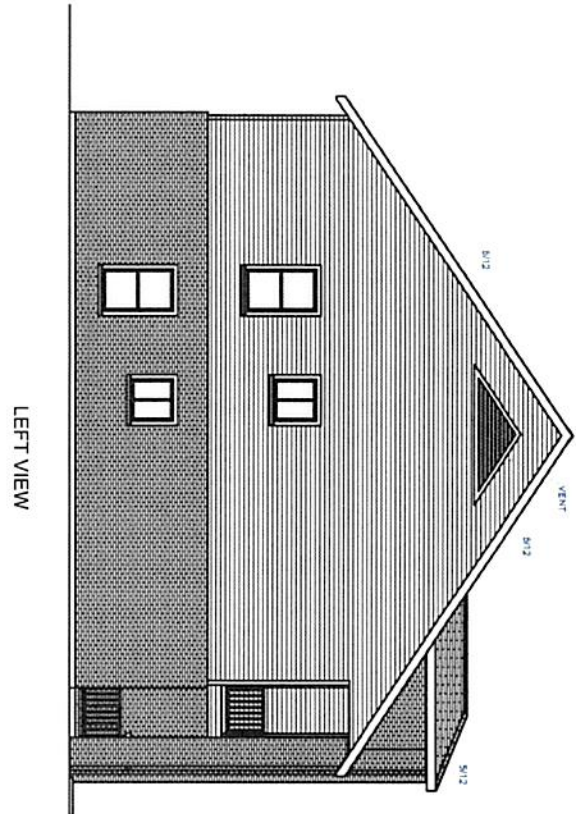


ELEVATION 2 PLAN



OMEGA - 1115 NE 14TH

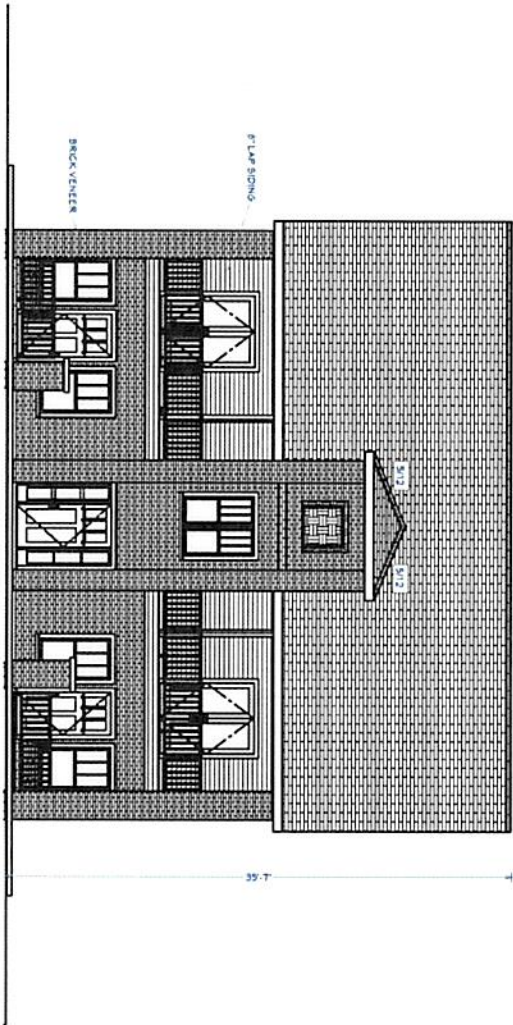
TIM FARMER DESIGNS

EDMOND, OKLAHOMA
405-314-2065 TIMFARMERDESIGNS@ME.COM

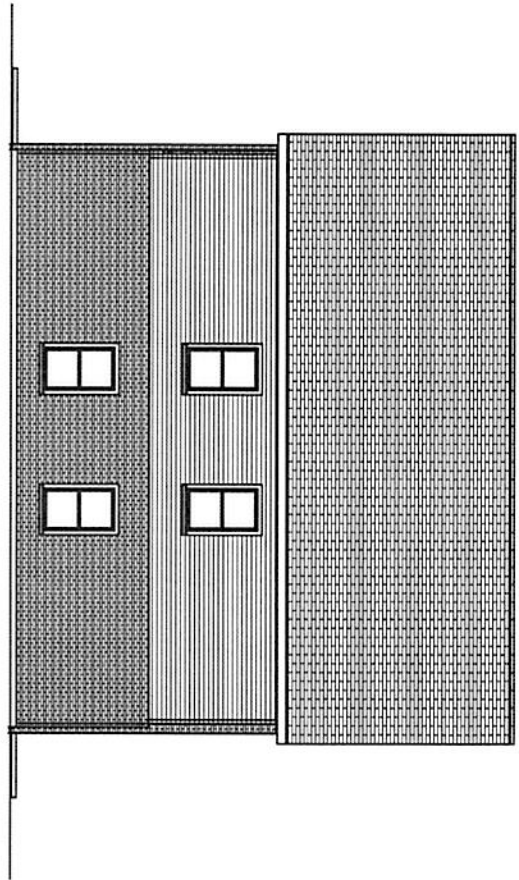
REV	8
SCALE:	1/4"=1'
SHEET	3

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FRONT VIEW



REAR VIEW



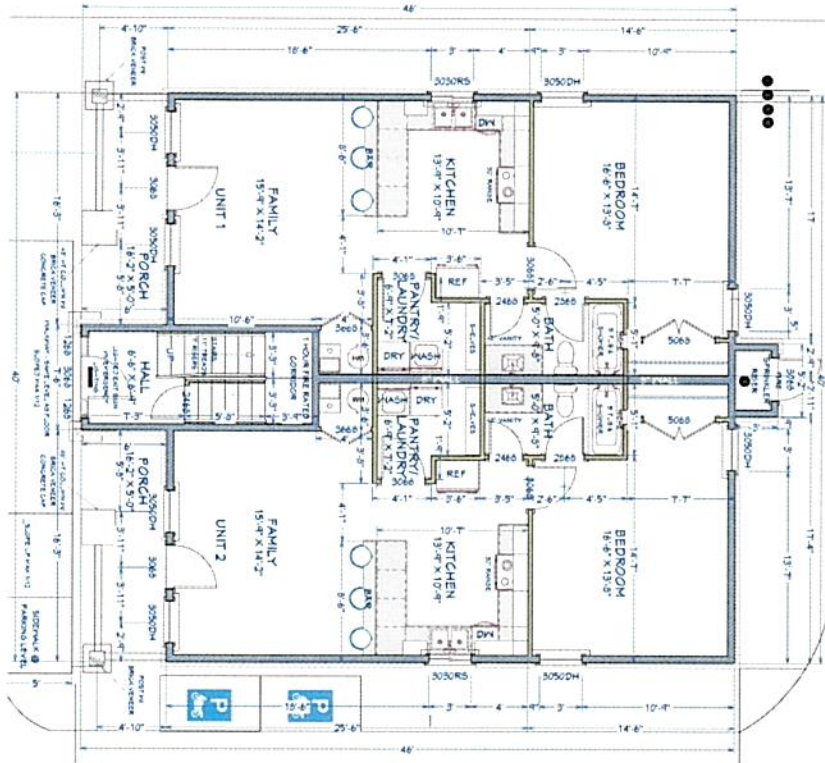
ELEVATION 1 PLAN

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REV	
8	
SCALE:	1/4"=1'
SHEET:	2

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OMEGA - 1115 NE 14TH



1ST FLOOR

- NOTES:
- 1. ONLY USE MET TRUSSES FOR 2ND FLOOR SYSTEM.
 - 2. 9' PLATE HEIGHT EACH FLOOR
 - 3. 6" EXTERIOR WALLS
 - 4. 8" CENTER DIVIDING WALL
 - 5. SEE FIRE RATED DETAILS SHEET
 - 6. SMOKE ALARMS, CARBON MONOXIDE DETECTORS THROUGHOUT

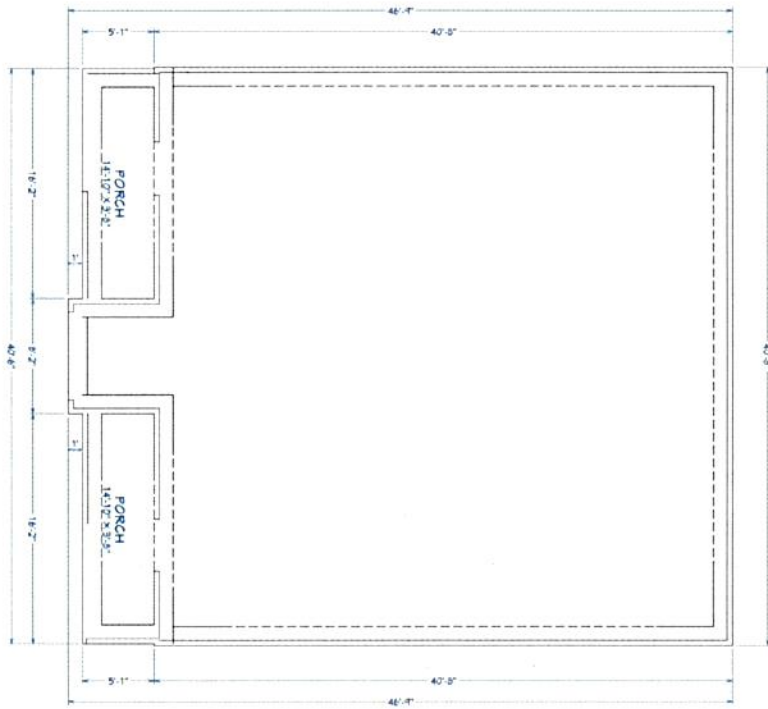
CITY TRASH BINS USED. NO DUMPSTER

12-hour fire rated partitions required. Separation walls. Walls separating sleeping units in the same building, walls separating sleeping units in the same building, walls separating sleeping units from other occupancies, and walls separating sleeping units from other occupancies shall be constructed as follows: 1. Fire rated walls shall be constructed in accordance with Section 709. Code Reference: IRC 2015 Section 422.2

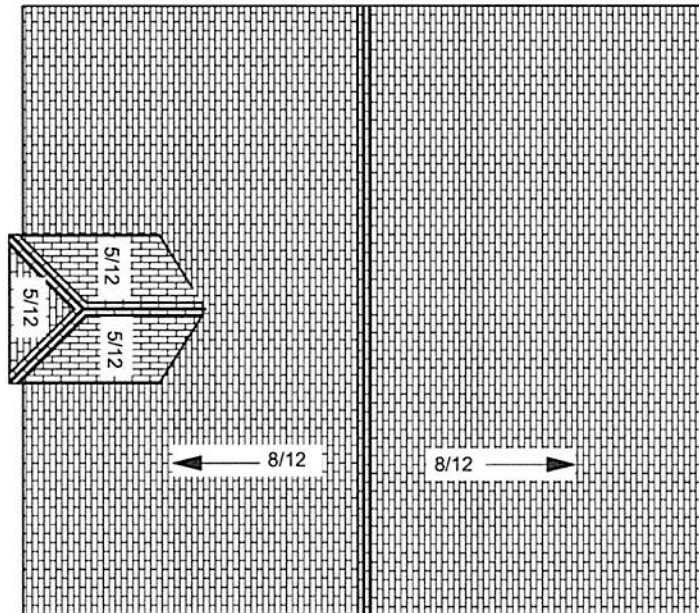
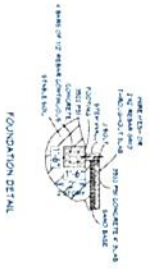
12-hour fire rated horizontal assemblies required. Horizontal separation. Floor assemblies separating sleeping units in the same building, floor assemblies separating sleeping units in the same building and floor assemblies separating sleeping units from other occupancies shall be constructed as follows: 1. Fire rated floor assemblies shall be constructed in accordance with Section 711. Code Reference: IRC 2015 Section 420.5

1 HR rated steel enclosure required. Code Reference: IRC 2015 Section 713.4

4 PLEX STRUCTURE:
SQUARE FOOTAGE:
796' PER UNIT (4 UNITS)
117' STAIRWELL, 1ST FLOOR
71' HALL, 2ND FLOOR
170' = FRAME 1ST FLOOR
166' = FRAME 2ND FLOOR
337' = TOTAL FRAME
348' = TOTAL VENEER
332' = PORCHES



FOUNDATION PLAN



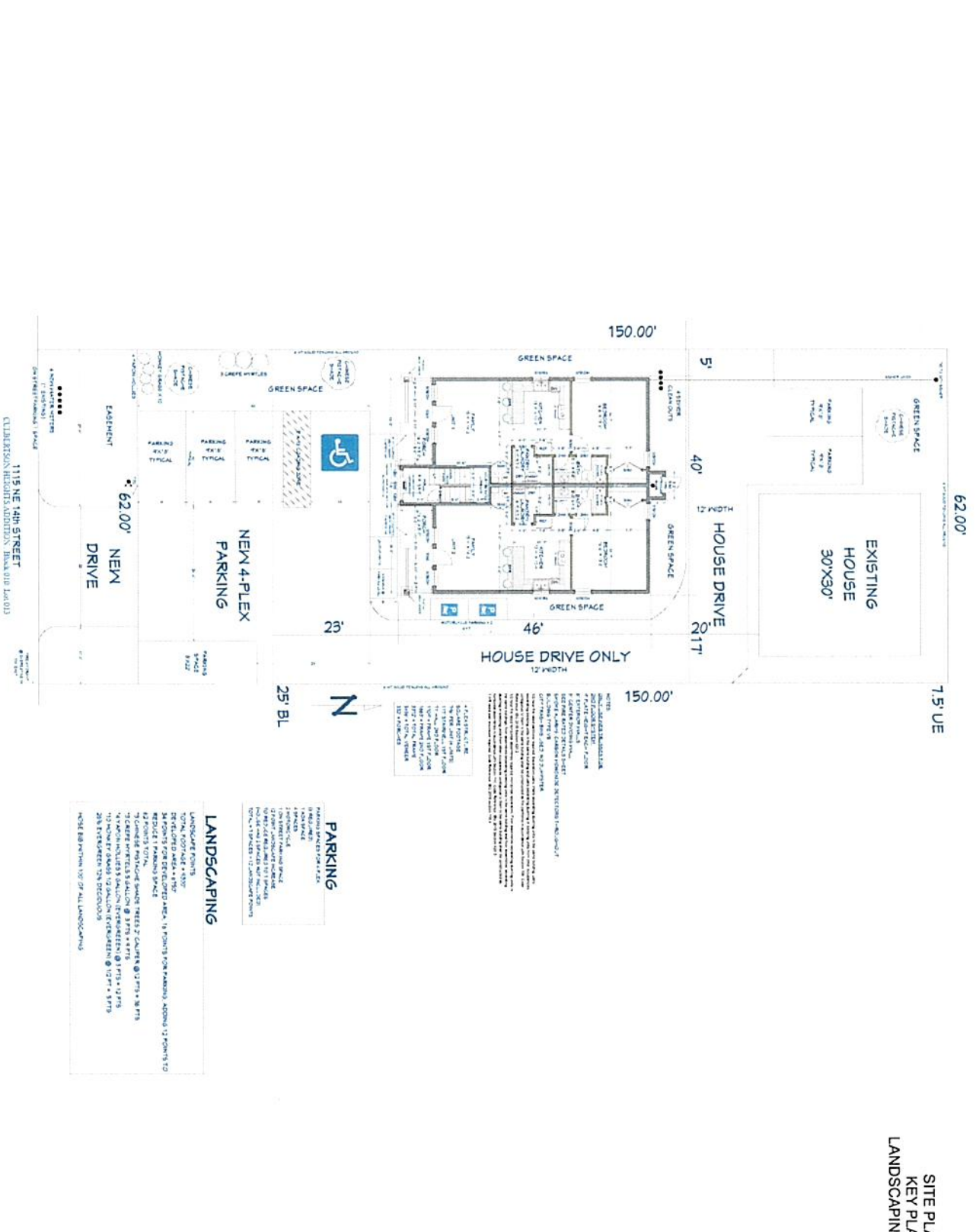
ROOF PLAN
8/12 PITCH MAIN SPAN
5/12 PITCH ENTRY/STAIRS

FOUNDATION PLAN
ROOF PLAN

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REV	8
SCALE:	1/4"=1'
SHEET:	5

OMEGA - 1115 NE 14TH



SITE PLAN
KEY PLAN
LANDSCAPING PLAN

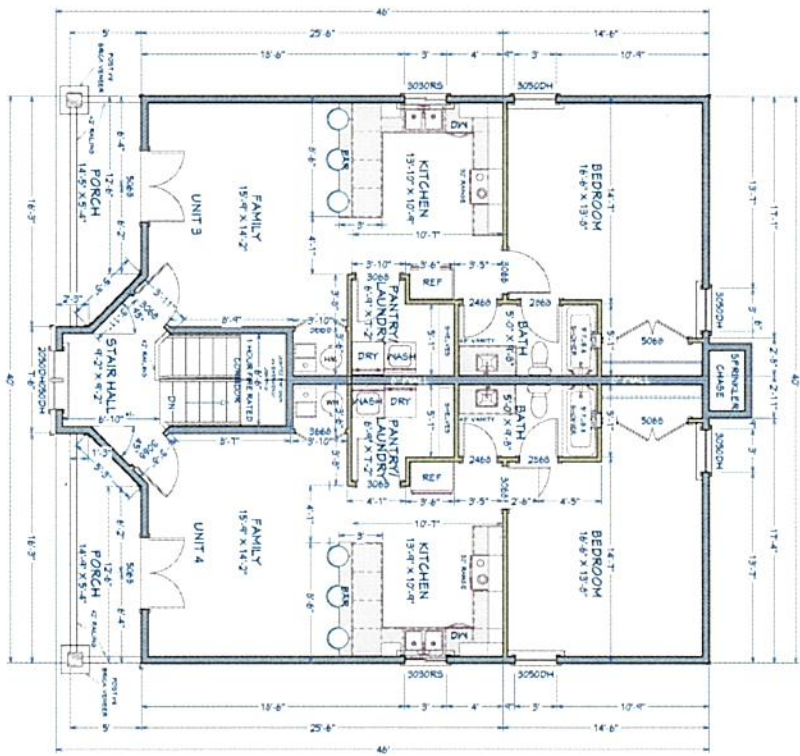
NOTES:
 1. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE SPECIFIED.
 2. THIS PLAN IS BASED ON THE SURVEY OF THE PROPERTY BY [Name] AND SHOULD BE USED IN CONJUNCTION WITH THE SURVEY.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF EDMOND ZONING ORDINANCES AND APPLICABLE REGULATIONS.
 4. THE DESIGNER HAS ASSUMED THAT ALL UTILITIES ARE SHOWN CORRECTLY ON THE SURVEY.
 5. THE DESIGNER HAS ASSUMED THAT ALL NECESSARY PERMITS AND APPROVALS WILL BE OBTAINED BY THE OWNER.
 6. THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT REPRESENT A CONTRACT.
 7. THE OWNER SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND APPROVALS.
 8. THE DESIGNER HAS ASSUMED THAT ALL NECESSARY SERVICES HAVE BEEN OBTAINED.

PARKING
 1. 100 SPACES 12' x 20' AT 20' SPACING
 2. 100 SPACES 8' x 16' AT 20' SPACING
 3. 100 SPACES 8' x 16' AT 20' SPACING
 4. 100 SPACES 8' x 16' AT 20' SPACING
 5. 100 SPACES 8' x 16' AT 20' SPACING
 6. 100 SPACES 8' x 16' AT 20' SPACING
 7. 100 SPACES 8' x 16' AT 20' SPACING
 8. 100 SPACES 8' x 16' AT 20' SPACING
 9. 100 SPACES 8' x 16' AT 20' SPACING
 10. 100 SPACES 8' x 16' AT 20' SPACING

LANDSCAPING
 1. 100 SPACES 12' x 20' AT 20' SPACING
 2. 100 SPACES 8' x 16' AT 20' SPACING
 3. 100 SPACES 8' x 16' AT 20' SPACING
 4. 100 SPACES 8' x 16' AT 20' SPACING
 5. 100 SPACES 8' x 16' AT 20' SPACING
 6. 100 SPACES 8' x 16' AT 20' SPACING
 7. 100 SPACES 8' x 16' AT 20' SPACING
 8. 100 SPACES 8' x 16' AT 20' SPACING
 9. 100 SPACES 8' x 16' AT 20' SPACING
 10. 100 SPACES 8' x 16' AT 20' SPACING

REV	9A
SCALE:	1/8"=1'-0"
SHEET:	7

2ND FLOOR PLAN



NOTES:
 ONLY USE NEB TRUSSES FOR
 2ND FLOOR SYSTEM.
 9" PLATE HEIGHT EACH FLOOR
 6" EXTERIOR WALLS
 8" CENTER DIVIDING WALL
 SEE FIRE RATED DETAILS SHEET
 SMOKE ALARMS, CARBON MONOXIDE DETECTORS THROUGHOUT
 CITY TRASH BINS USED, NO DUMPSTER

2ND FLOOR

4 FLEX STRUCTURE:	
SQUARE FOOTAGE	796' PER UNIT (4 UNITS)
11' STAIRWELL	11' STAIRWELL 1ST FLOOR
11' HALL	11' HALL 2ND FLOOR
1704'	= FRAME 1ST FLOOR
1663'	= FRAME 2ND FLOOR
3512'	= TOTAL FRAME
3436'	= TOTAL VENEER
332'	= PORCHES