

1236 WEST HACIENDA AVENUE

3 STORY TOWNHOMES

CAMPBELL, CALIFORNIA | PLANNING SUBMITTAL

AUGUST 1, 2025

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- L1 LANDSCAPE PLAN



CONCEPTUAL ELEVATION

PROJECT DIRECTORY

OWNER
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PROJECT DATA SUMMARY

ADDRESS 1236 W. HACIENDA AVE., CAMPBELL CA

APN 406-16-083

ZONING NC -MU NEIGHBORHOOD COMMERCIAL MIXED USE

SITE AREA 13,504 SQ. FT. / 0.31 AC

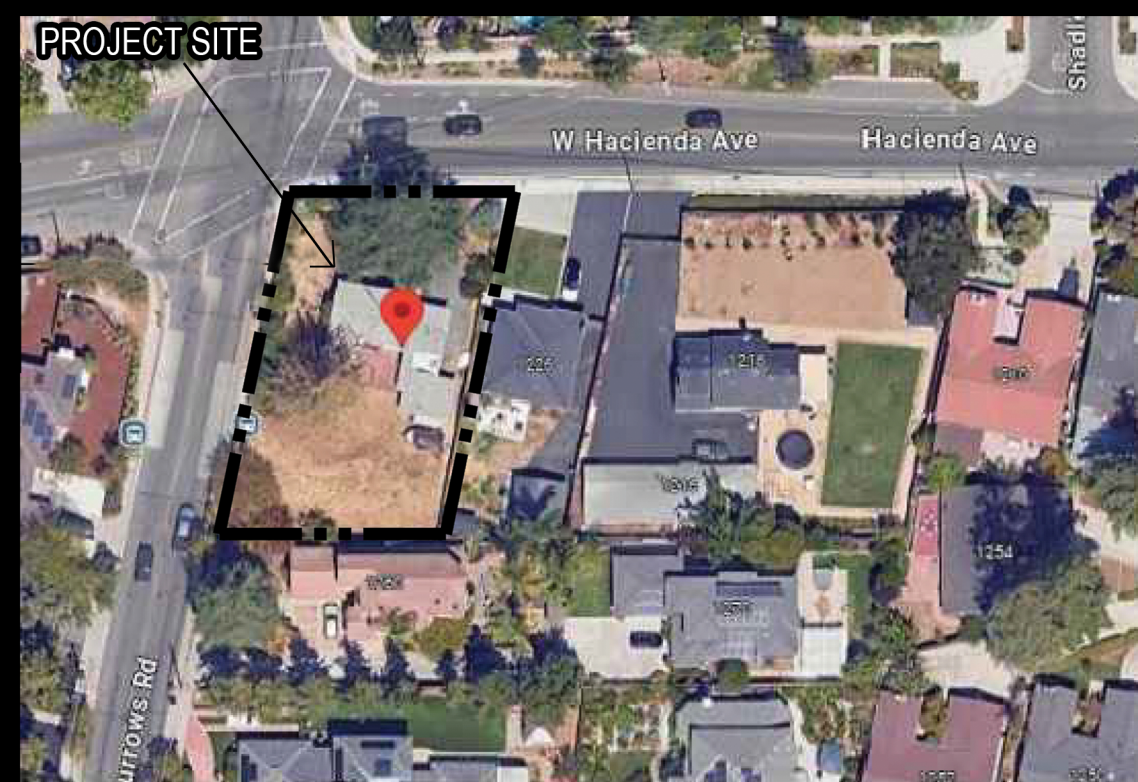
TYPE OF CONSTRUCTION TYPE V-B

PROPOSED USE RESIDENTIAL

DESCRIPTION OF WORK DEMOLITION OF AN EXISTING SINGLE FAMILY RESIDENTIAL STRUCTURE AND CONSTRUCTION OF 8 UNITS - 3-STORY CONDOMINIUMS. ALL UNITS TO HAVE SHARED VEHICULAR ACCESS VIA A CENTRAL FIRE TRUCK AERIAL ACCESS ROAD.

FIRE DEPARTMENT NOTES

1. AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED
2. FIRE SPRINKLER PLANS WILL BE DEFERRED SUBMITTAL



VICINITY MAP



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 Brentwood, CA 94513
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VIEW 1



VIEW 2



VIEW 3



KEY MAP

VIEW 2

VIEW 1 and 6

VIEW 3

VIEW 5

VIEW 4



VIEW 4



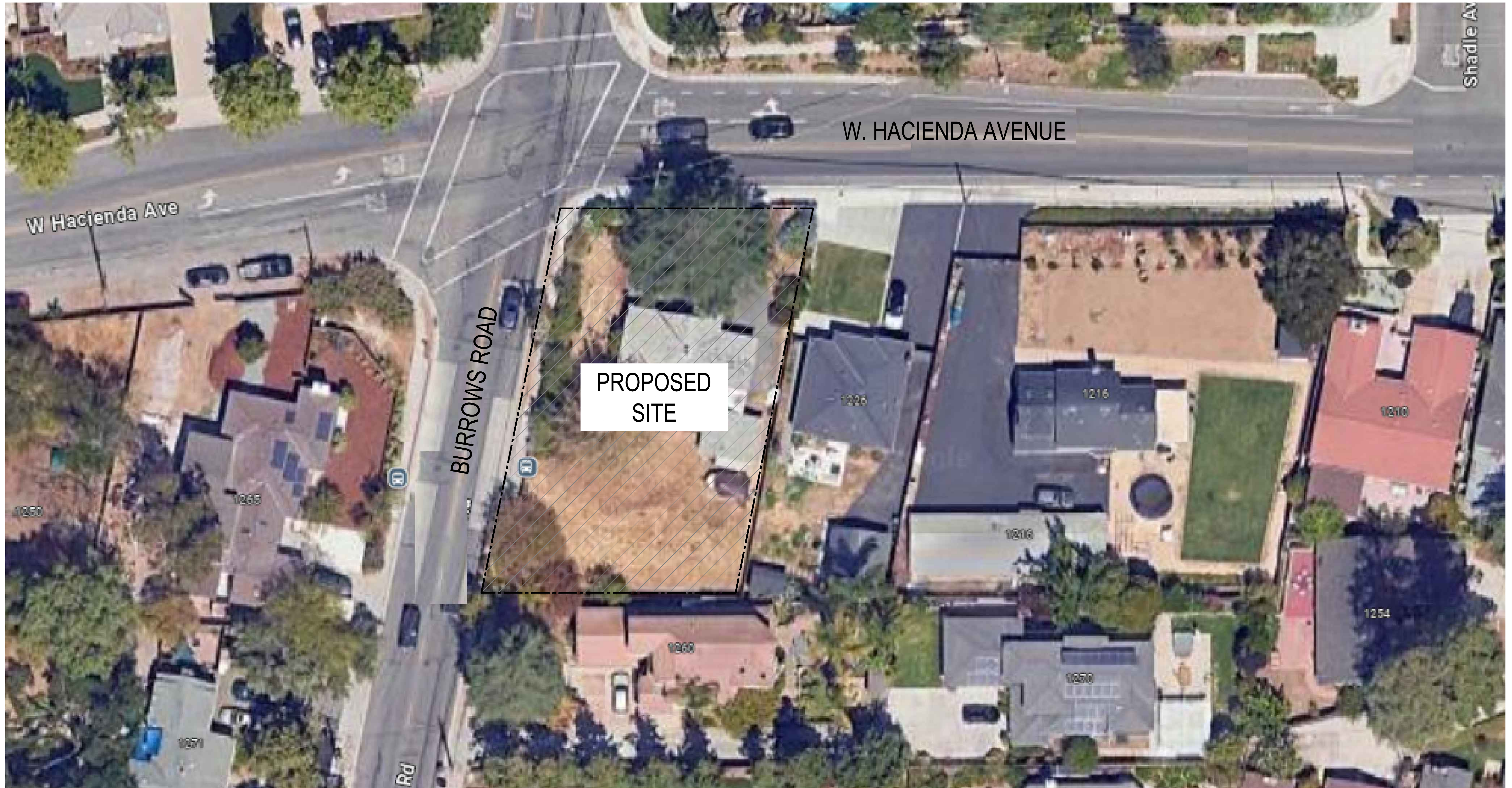
VIEW 5



VIEW 6

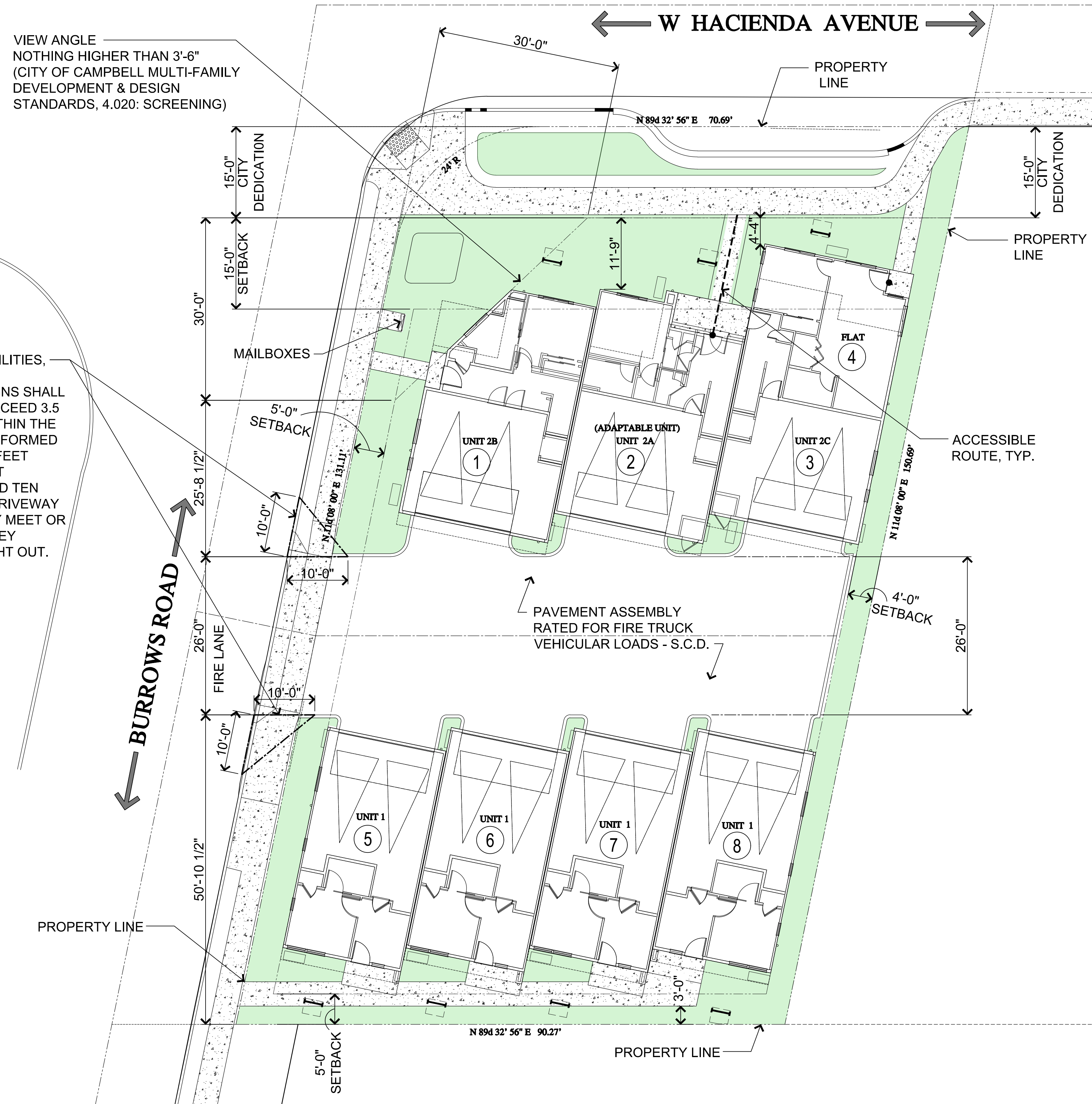


CONCEPTUAL STREETSCAPE FROM BURROWS ROAD LOOKING EAST



VIEW ANGLE
NOTHING HIGHER THAN 3'-6"
(CITY OF CAMPBELL MULTI-FAMILY
DEVELOPMENT & DESIGN
STANDARDS, 4.020: SCREENING)

NO SCREENING, UTILITIES,
LANDSCAPING, OR
FREESTANDING SIGNS SHALL
BE ALLOWED TO EXCEED 3.5
FEET IN HEIGHT WITHIN THE
TRIANGULAR AREA FORMED
BY MEASURING 10 FEET
ALONG THE STREET
PROPERTY LINE AND TEN
FEET ALONG THE DRIVEWAY
FROM WHERE THEY MEET OR
WOULD MEET IF THEY
EXTENDED STRAIGHT OUT.



PROJECT DATA

PROJECT ADDRESS: 1236 W. HACIENDA AVE., CAMPBELL CA
 APN: 406-16-083
 ZONING: NC-MU NEIGHBORHOOD COMMERCIAL
 SITE AREA: 13,504 SQ. FT. / 0.31 AC
 PROPOSED USE: RESIDENTIAL
 1 ADAPTABLE UNIT WILL BE PROVIDED
 SPRINKLERS: NFPA 13D

DEVELOPMENT STANDARDS

SETBACKS:	CITY STANDARD	PROPOSED**
FRONT:	15'-0"	4'-4", 11'-9" (WAIVER REQUEST)
REAR:	HALF THE OVERALL BUILDING HEIGHT	5'-0" (WAIVER REQUEST)
SIDE:	5'-0" MIN.	5'-0", 4'-0" (WAIVER REQUEST)
HEIGHT:	30'	
MAX. STORIES	3 STORIES	3 STORIES

PLAN TYPES AND SIZES

Plan Type	Description	Garage Type	Total Living*	Garage SF	Porch SF	Deck SF
UNIT 1	3 Bedrooms + 3.5 Baths	2-Car Garage	1,712	463	N/A	N/A
UNIT 2A	4 Bedrooms + 3.5 Baths	2-Car Garage	2,276	503	71	102
UNIT 2B	4 Bedrooms + 3.5 Baths	2-Car Garage	2,262	505	15	81
UNIT 2C	3 Bedrooms + 2.5 Baths	2-Car Garage	1,987	504	N/A	81
Flat	1 Bedroom + 1 Bath	N/A	499	N/A	16	N/A

*Total Living : Measured to outside face of stud, excludes garage area, deck and porches.
 **Based on application SB 684 to this project site.

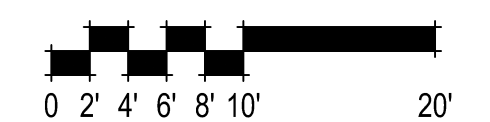
From Unit 1 to Unit 8
 Total Area is 13,872 SQ. FT.
 Average Area is 1,734 SQ. FT., which is less than 1,750 SQ. FT.

SITE CIRCULATION

- VEHICLES, PEDESTRIANS, AND CYCLISTS TRAFFIC PASSES BY PROJECT SITE ON BURROWS ROAD
- RESIDENTS PARK IN THEIR RESPECTIVE GARAGES

= (1) PARKING SPACE
 14 PARKING SPACES PROVIDED

NOTE
 FOR REFERENCE ONLY, SEE CIVIL
 PLANS FOR MORE INFORMATION

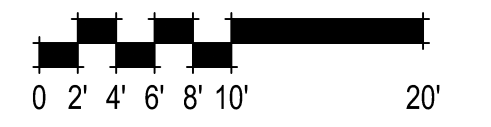
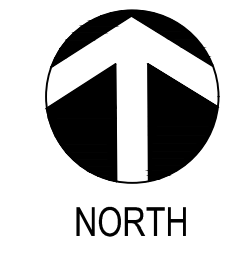




LEGEND

- DRIVE AISLE
- LANDSCAPE AREA
- BUILDING AREA
- A/C UNIT
- ELECTRICAL PANEL

NOTE
FOR REFERENCE ONLY, SEE
ARCHITECTURAL SITE PLAN FOR
ADDITIONAL INFORMATION

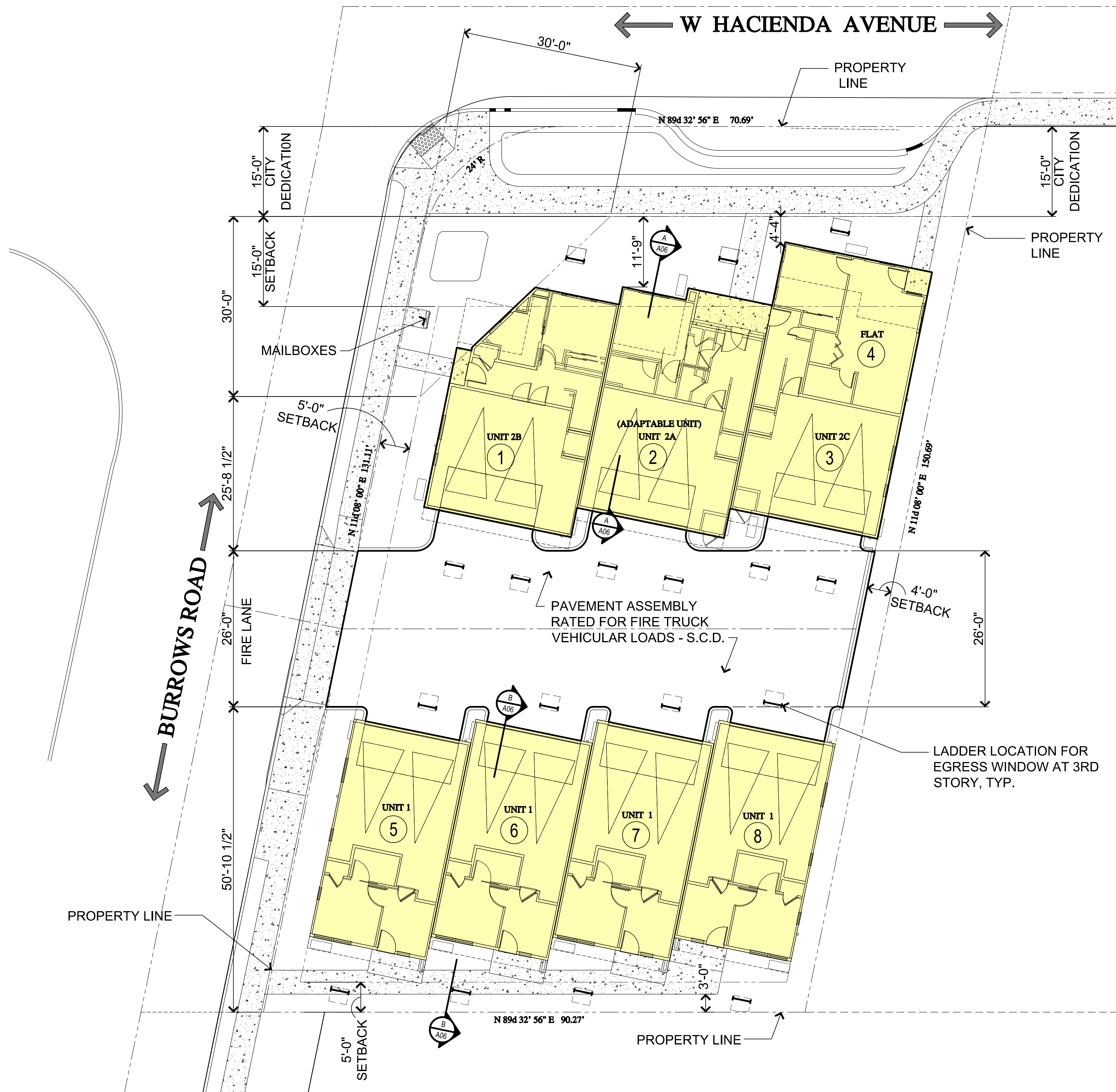


399.261 West Hacienda Townhomes
Campbell, CA
August 1, 2025

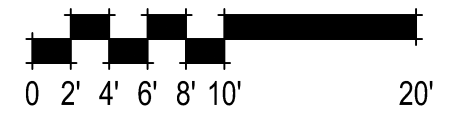
**FLOOR AREA DIAGRAM
A05.1**

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Brentwood, CA 94513
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NOTE
FOR REFERENCE ONLY, SEE
ARCHITECTURAL SITE PLAN AND
CIVIL PLANS FOR ADDITIONAL
INFORMATION



399.261 West Hacienda Townhomes
Campbell, CA
August 1, 2025

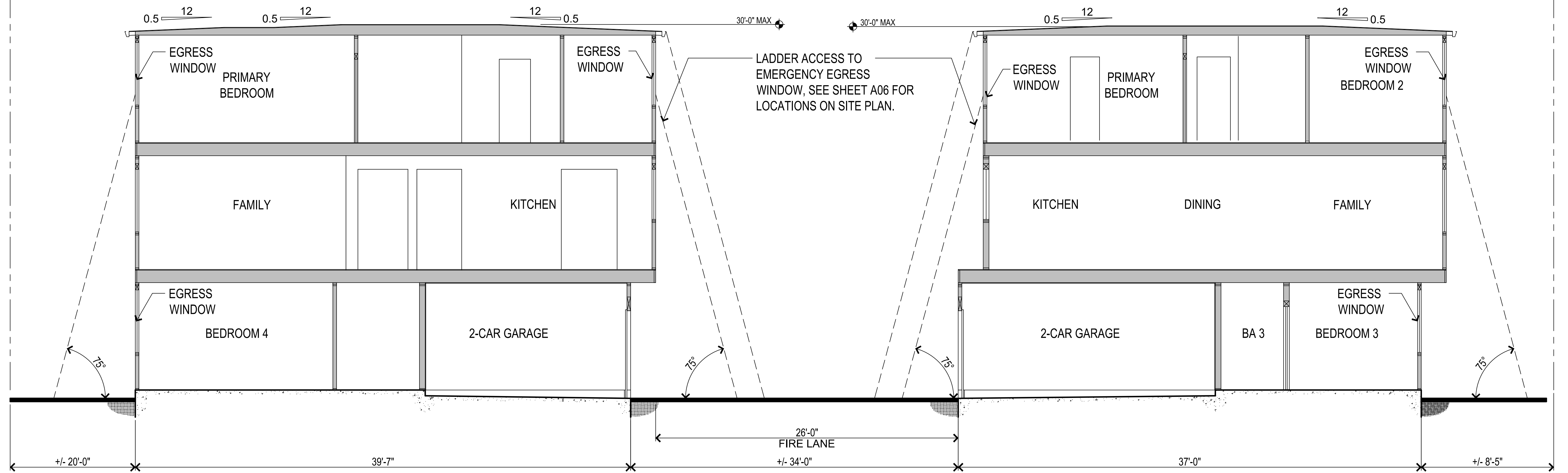
EMERGENCY ACCESS PLAN
A05.2

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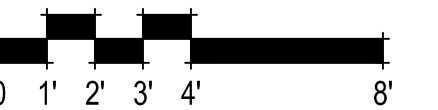
PROPERTY LINE

PROPERTY LINE



SECTION A
3 UNIT BUILDING

SECTION B
4 UNIT BUILDING



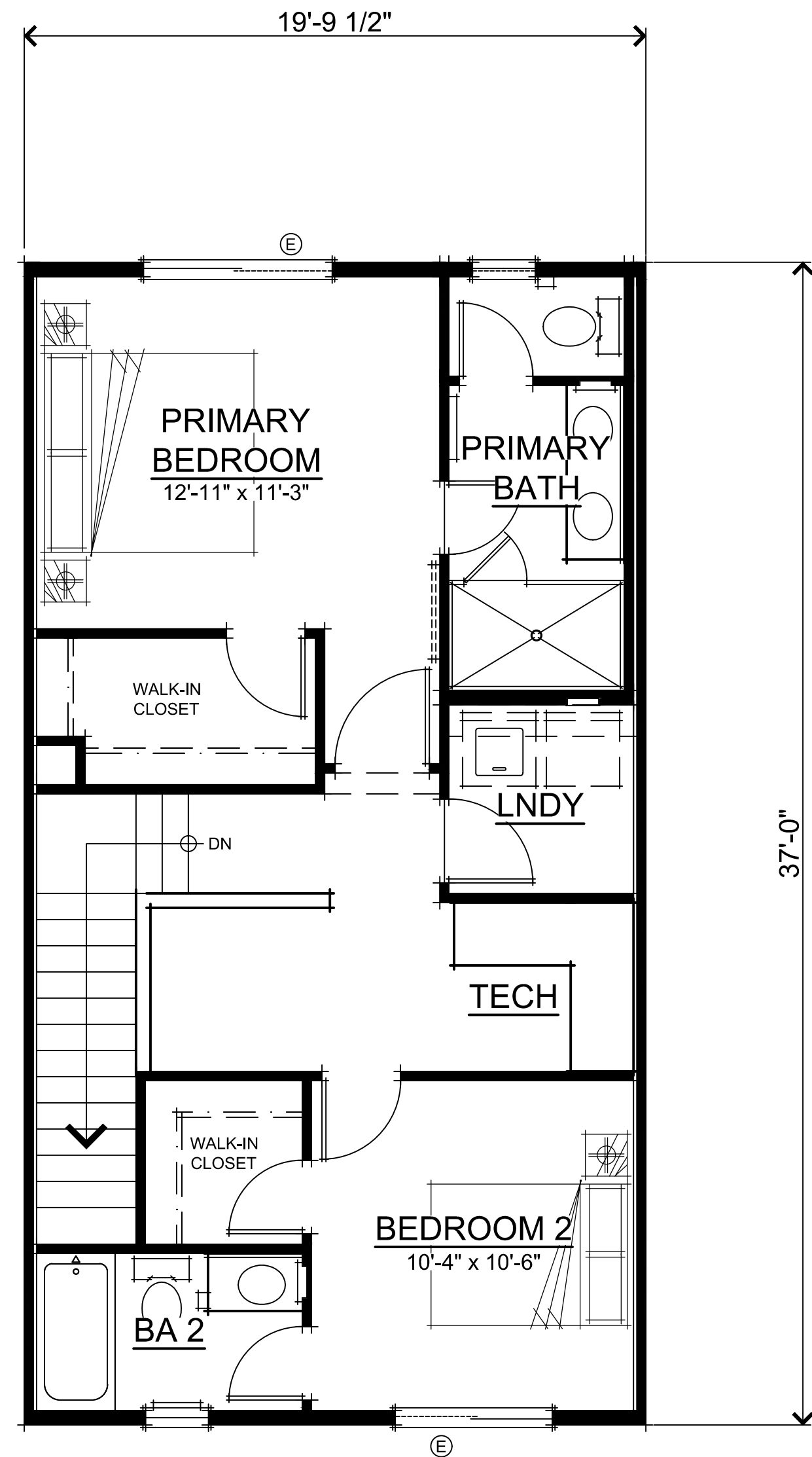
399.261 West Hacienda Townhomes
 Campbell, CA
 August 1, 2025

BUILDING SECTIONS

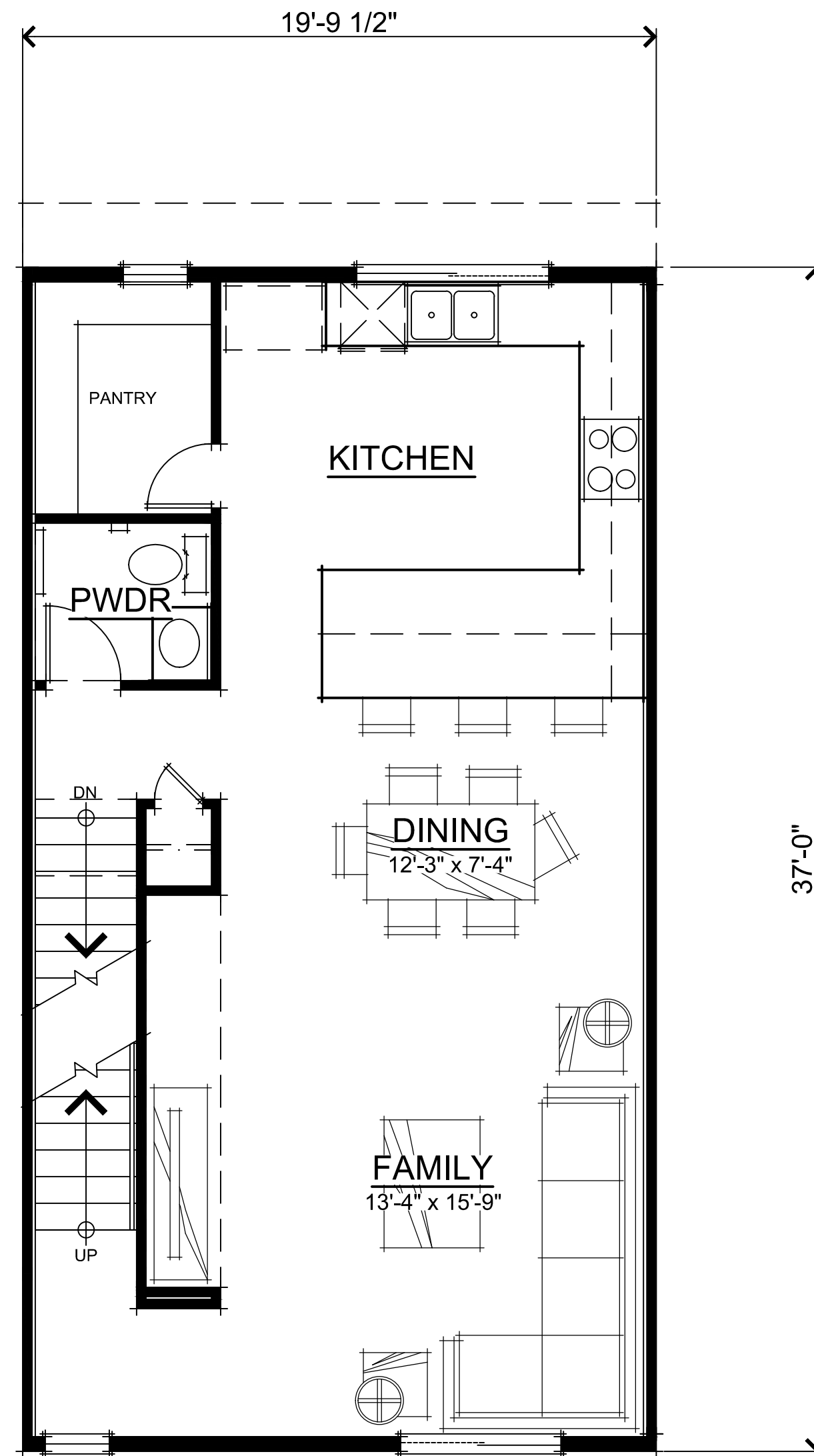
A06

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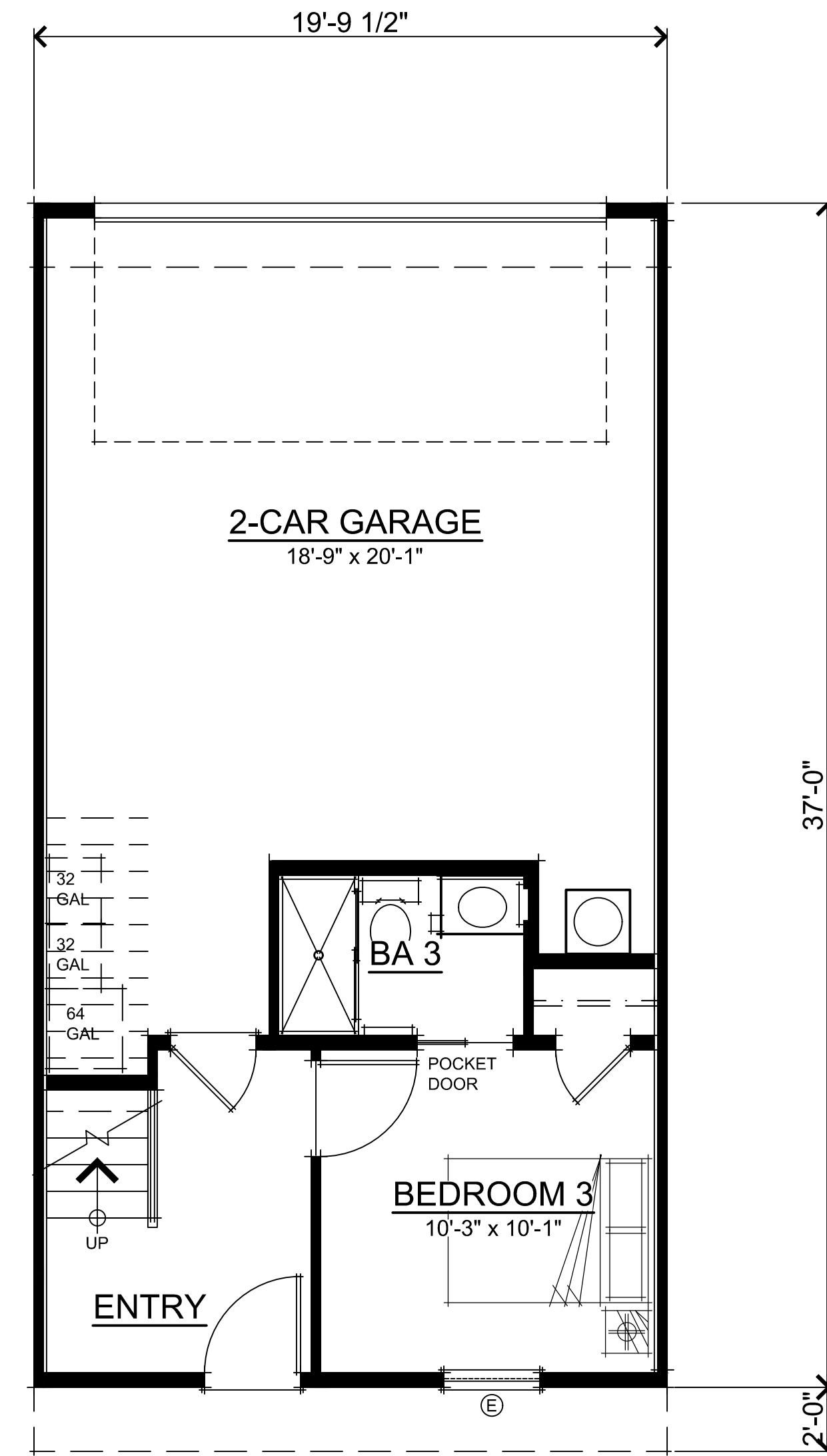




THIRD FLOOR

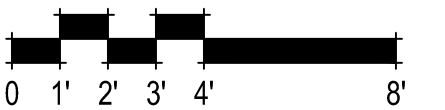


SECOND FLOOR

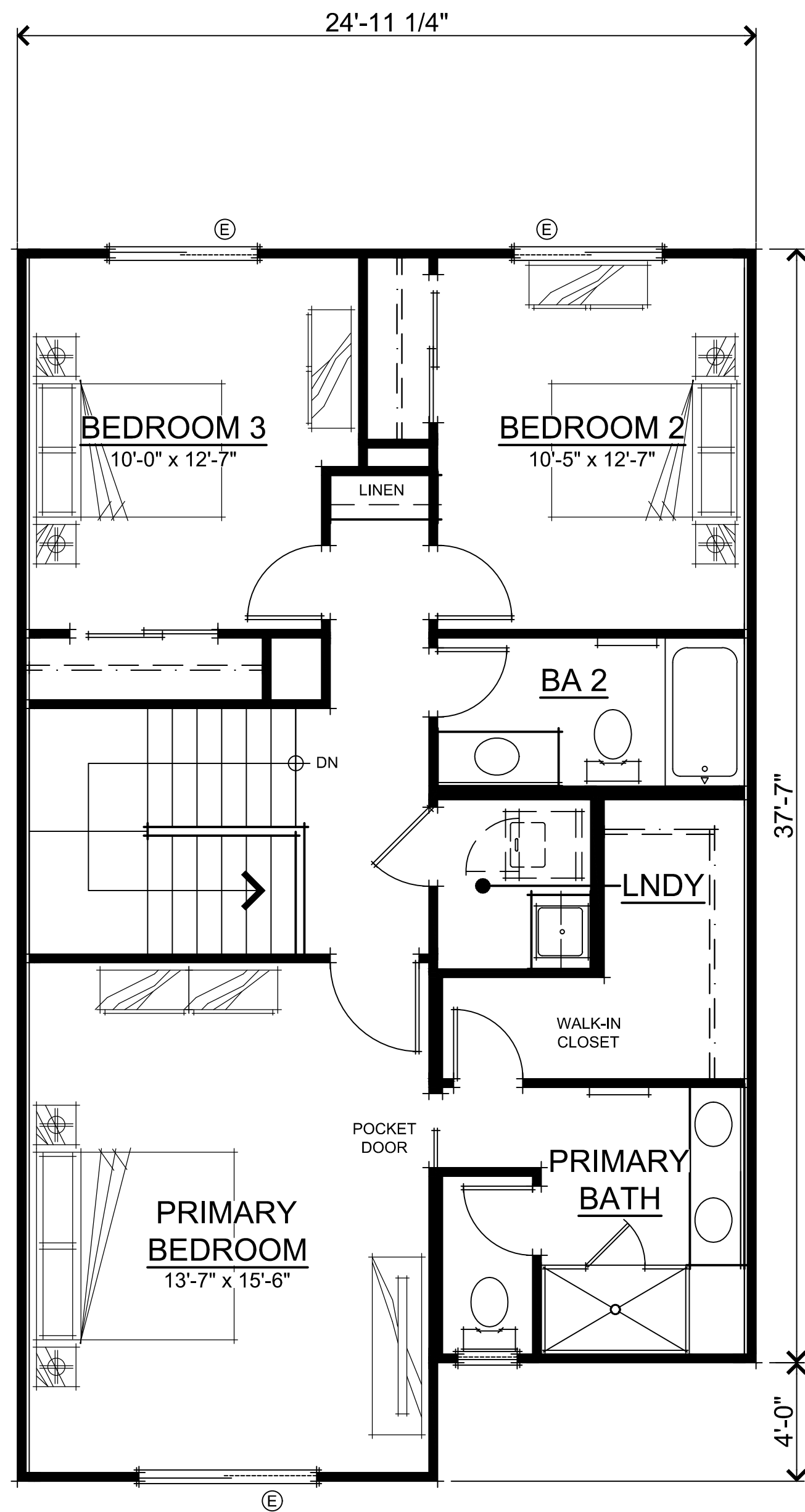


FIRST FLOOR

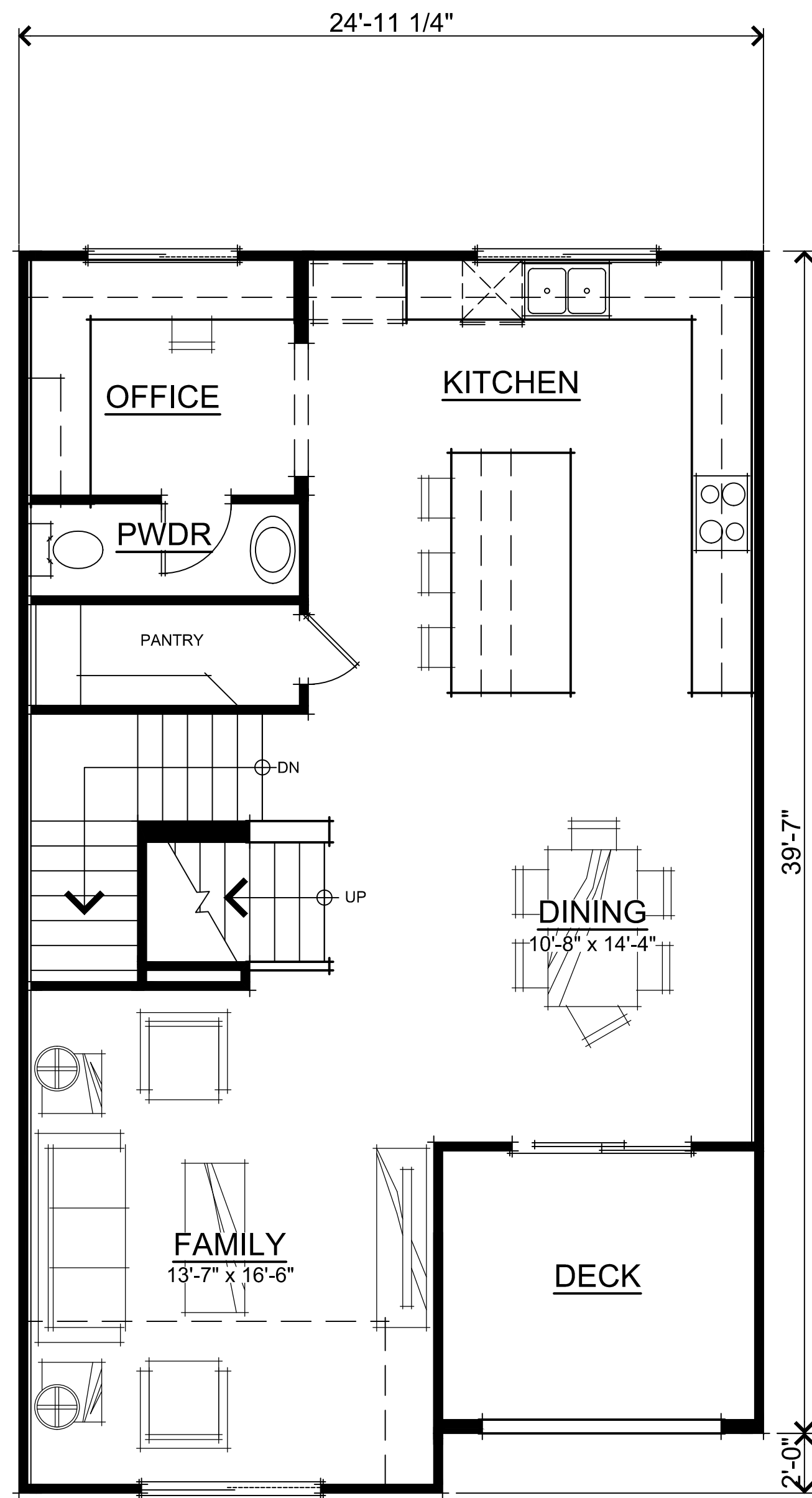
UNIT 1 SQUARE FOOTAGES	
FIRST FLOOR	269 SQ. FT.
SECOND FLOOR	732 SQ. FT.
THIRD FLOOR	711 SQ. FT.
TOTAL LIVING	1712 SQ. FT.
2-CAR GARAGE	463 SQ. FT.



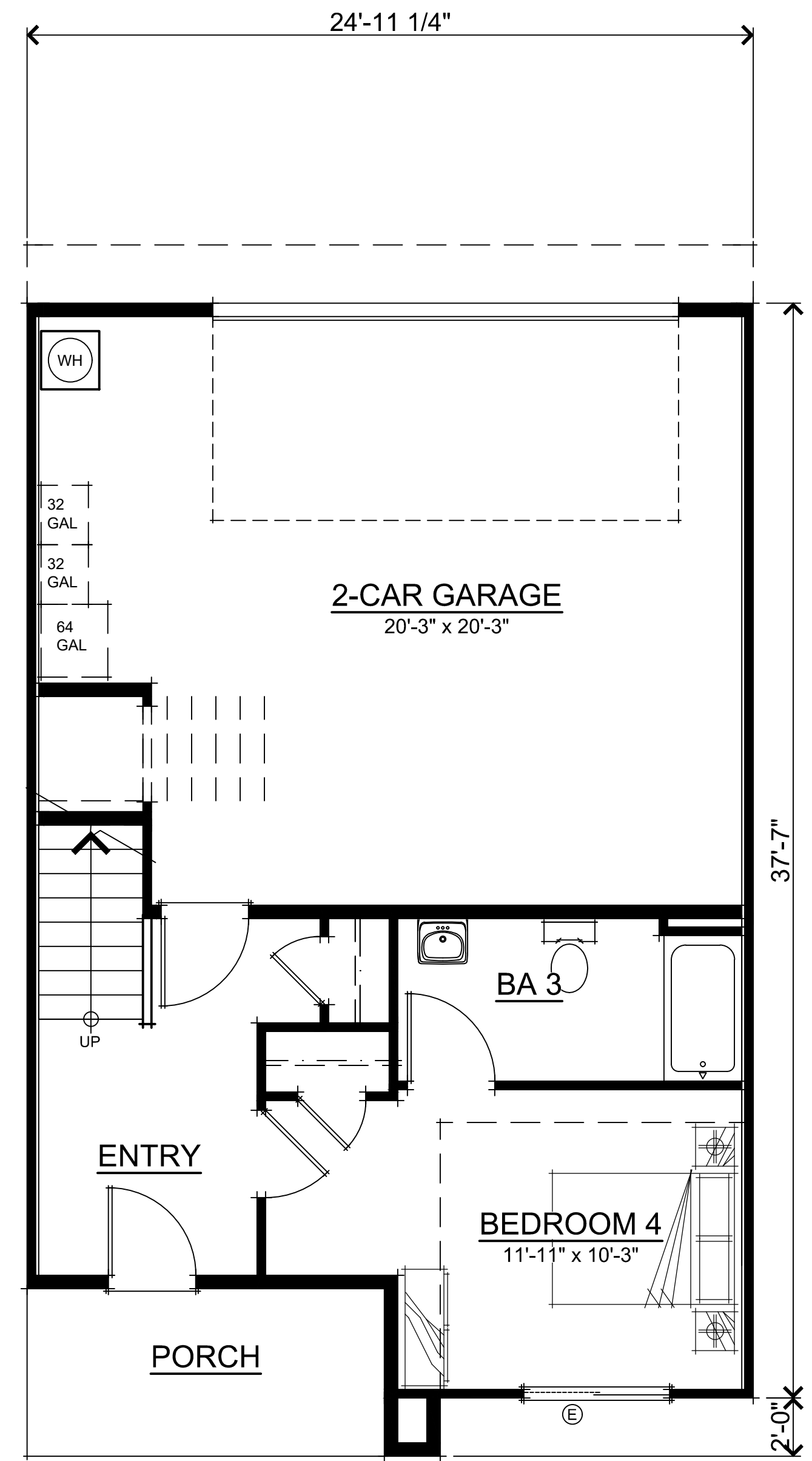
UNIT 1 FLOOR PLANS
A07



THIRD FLOOR PLAN

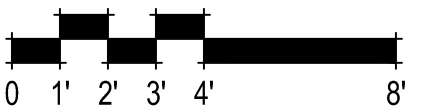


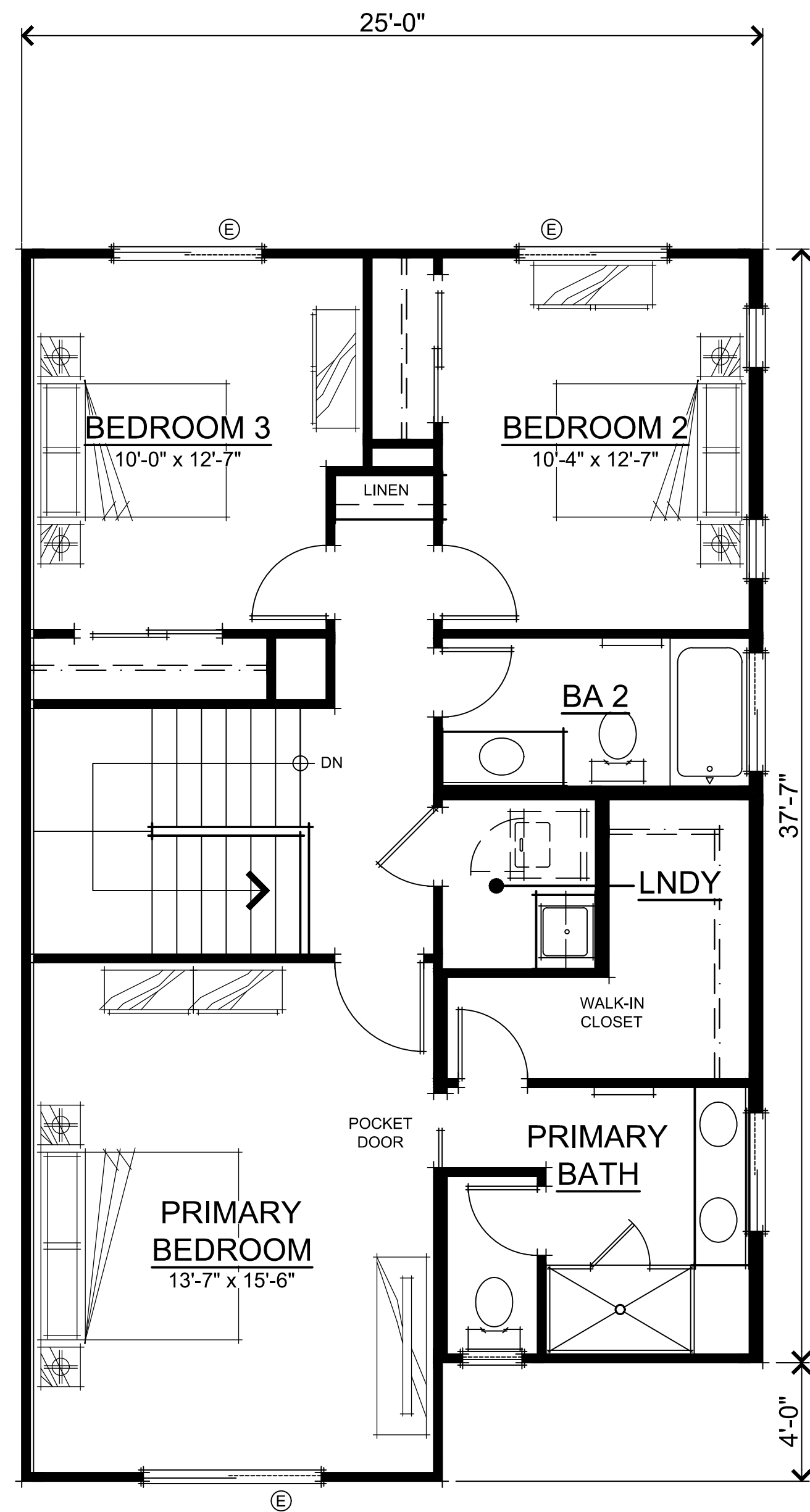
SECOND FLOOR PLAN



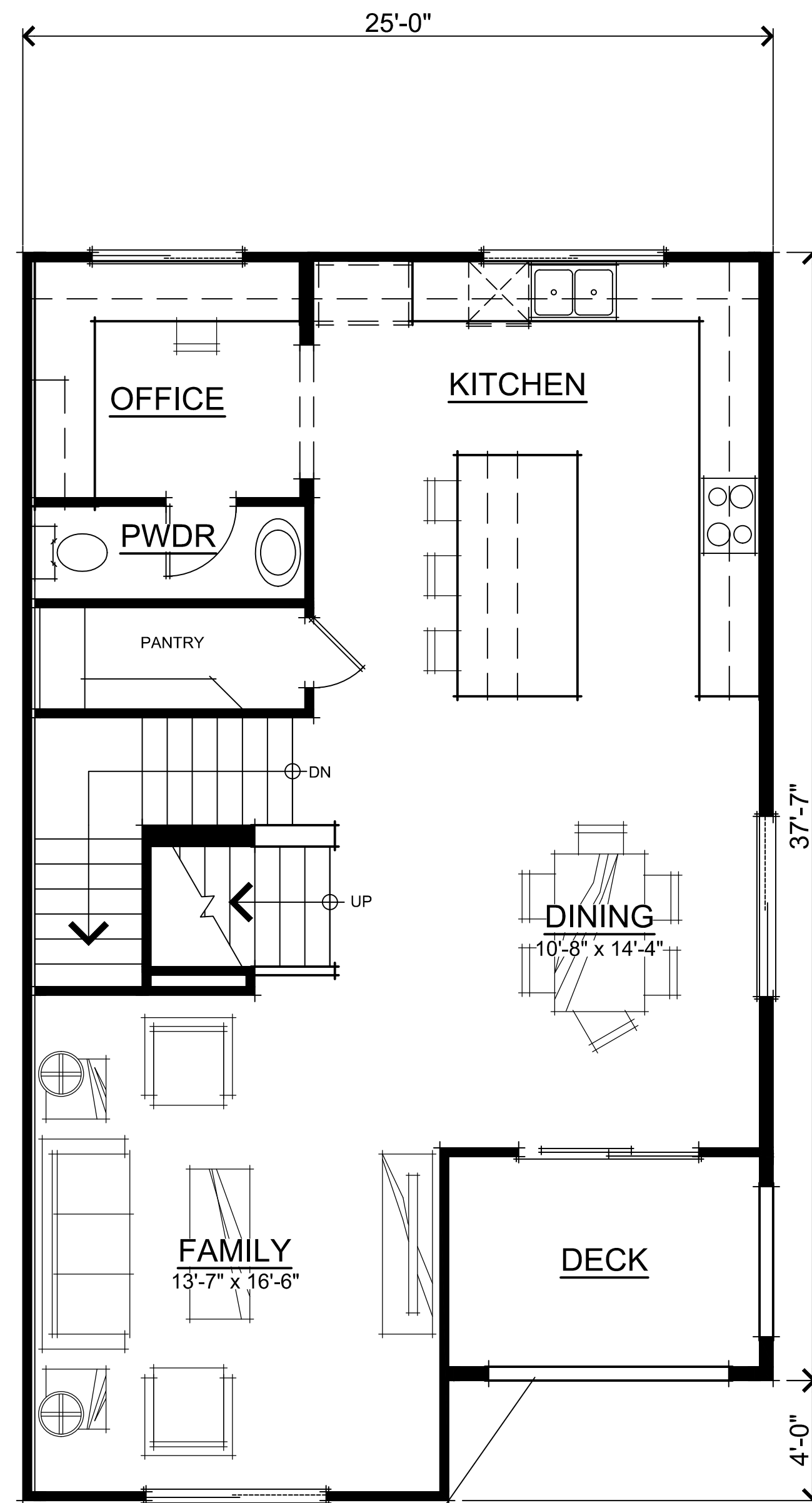
FIRST FLOOR PLAN

UNIT 2A SQUARE FOOTAGES	
FIRST FLOOR	391 SQ. FT.
SECOND FLOOR	917 SQ. FT.
THIRD FLOOR	968 SQ. FT.
TOTAL LIVING	2276 SQ. FT.
2-CAR GARAGE	503 SQ. FT.
PORCH	71 SQ. FT.
DECK	102 SQ. FT.

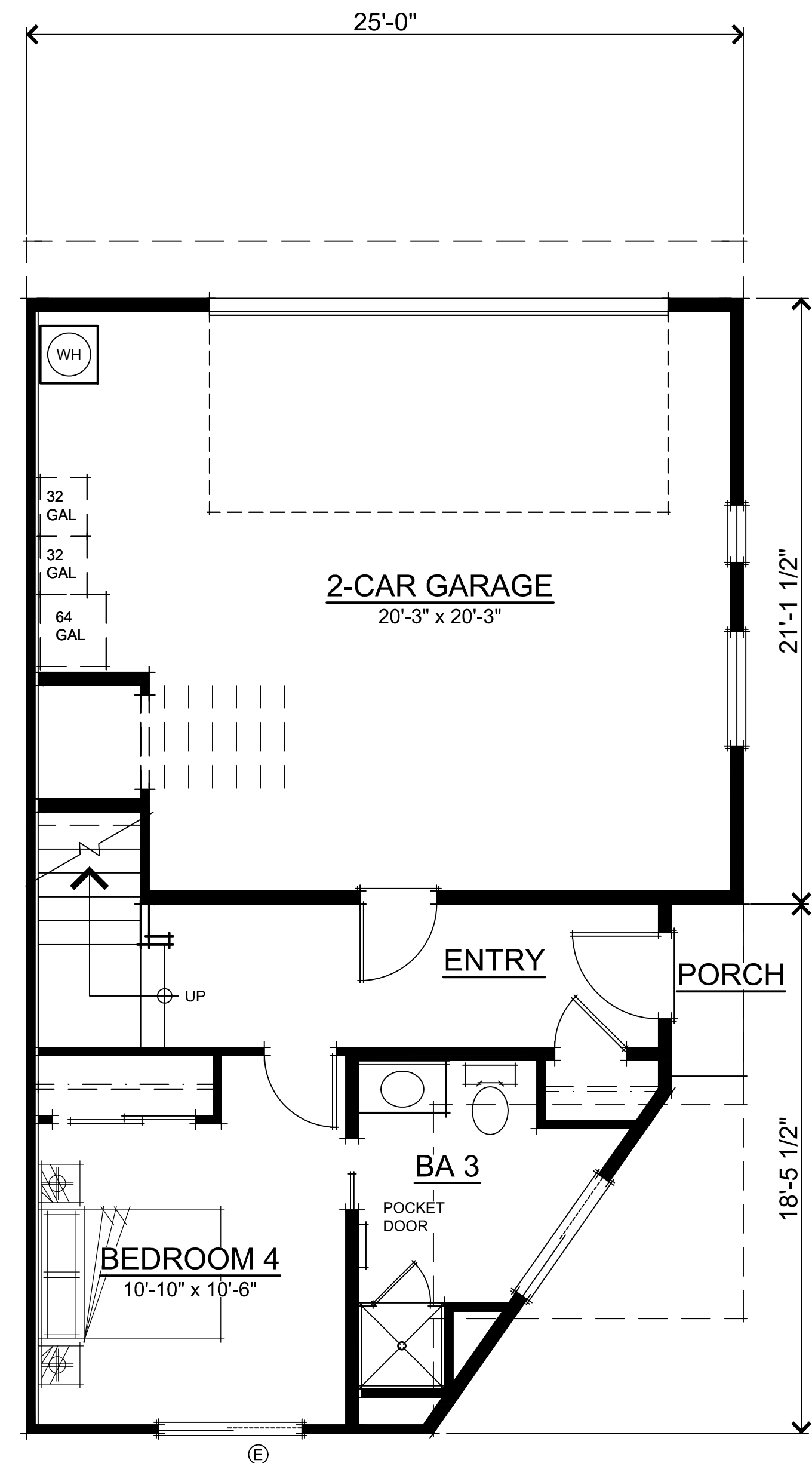




THIRD FLOOR PLAN

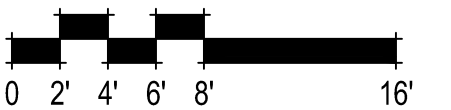


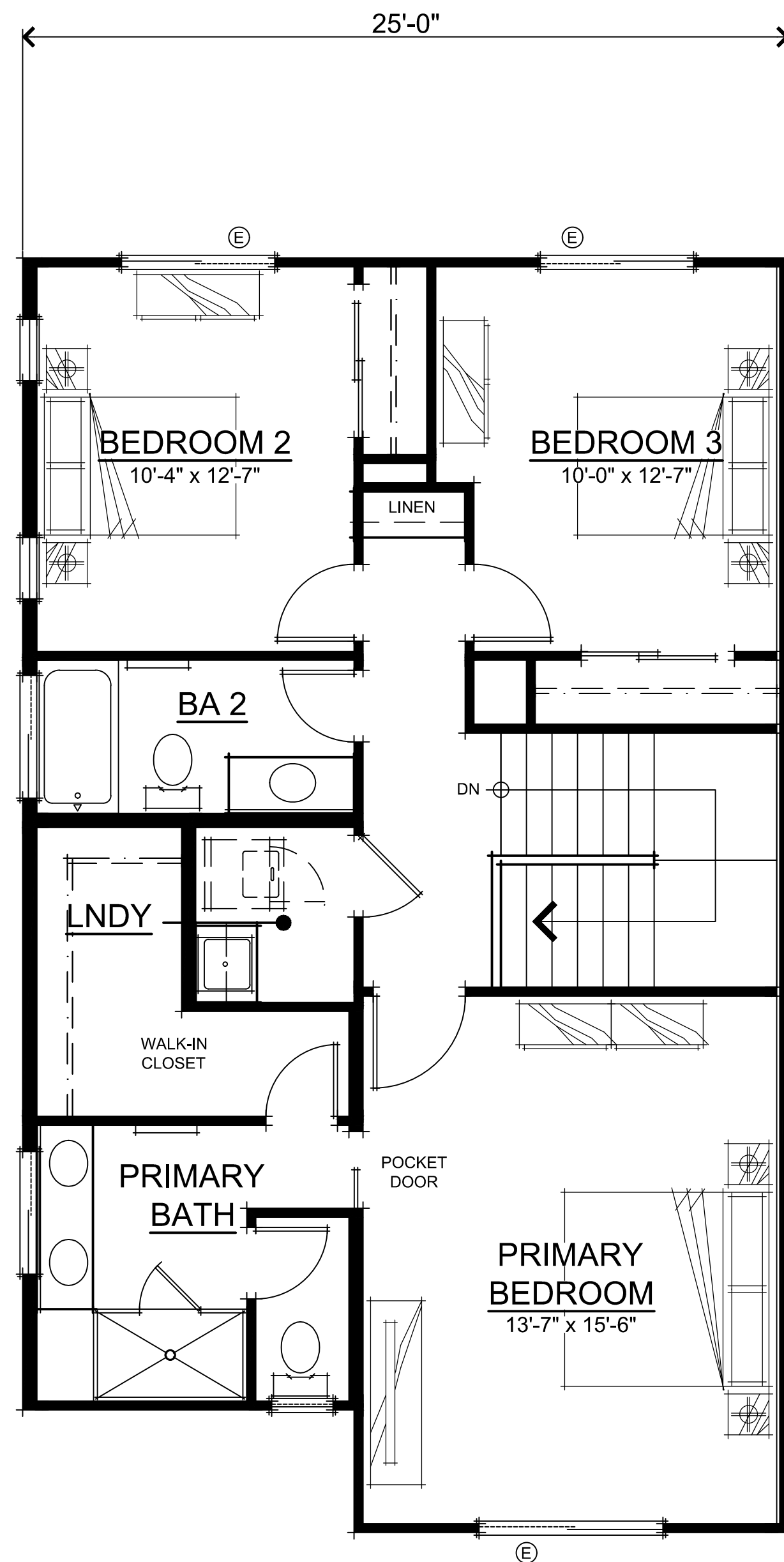
SECOND FLOOR PLAN



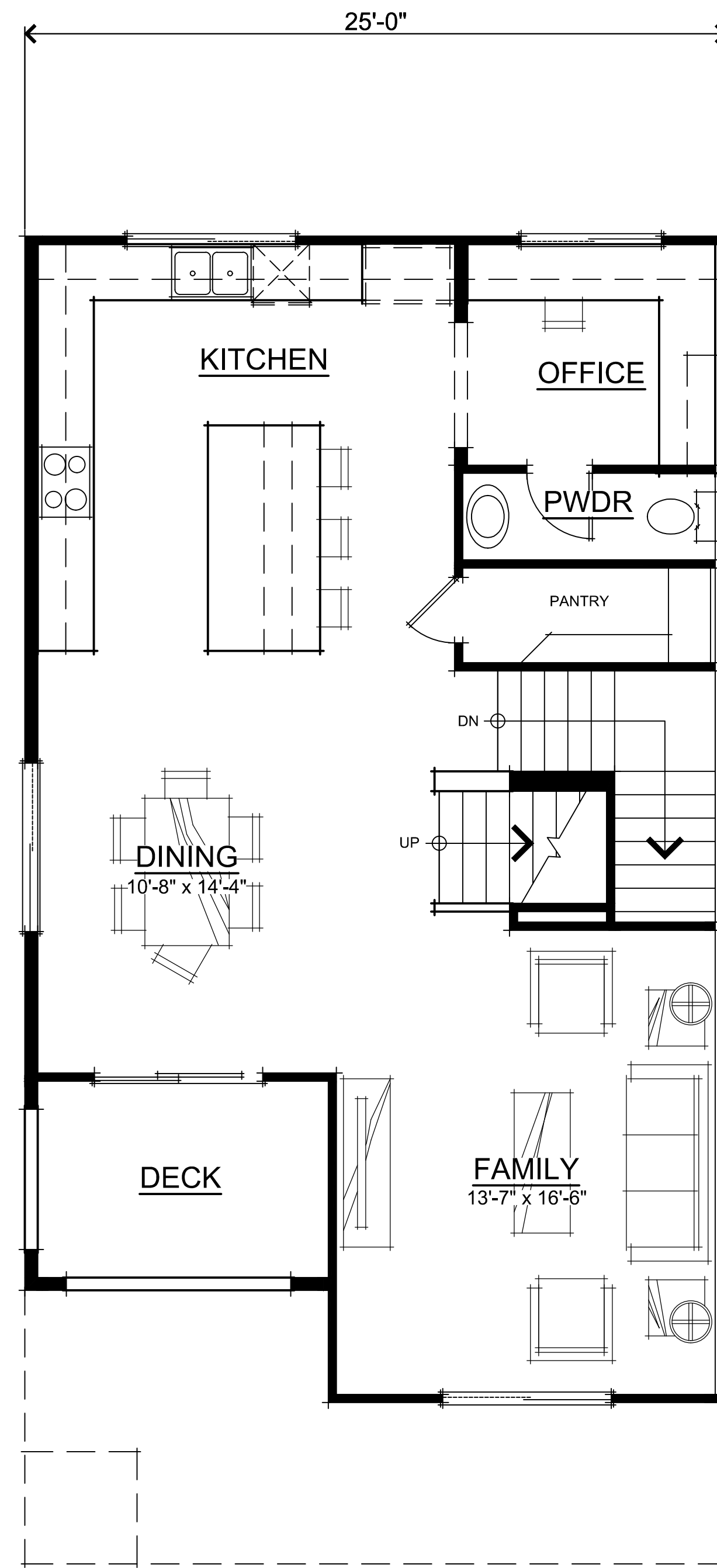
FIRST FLOOR PLAN

UNIT 2B SQUARE FOOTAGES	
FIRST FLOOR	391 SQ. FT.
SECOND FLOOR	917 SQ. FT.
THIRD FLOOR	954 SQ. FT.
TOTAL LIVING	2262 SQ. FT.
2-CAR GARAGE	505 SQ. FT.
PORCH	15 SQ. FT.
DECK	81 SQ. FT.

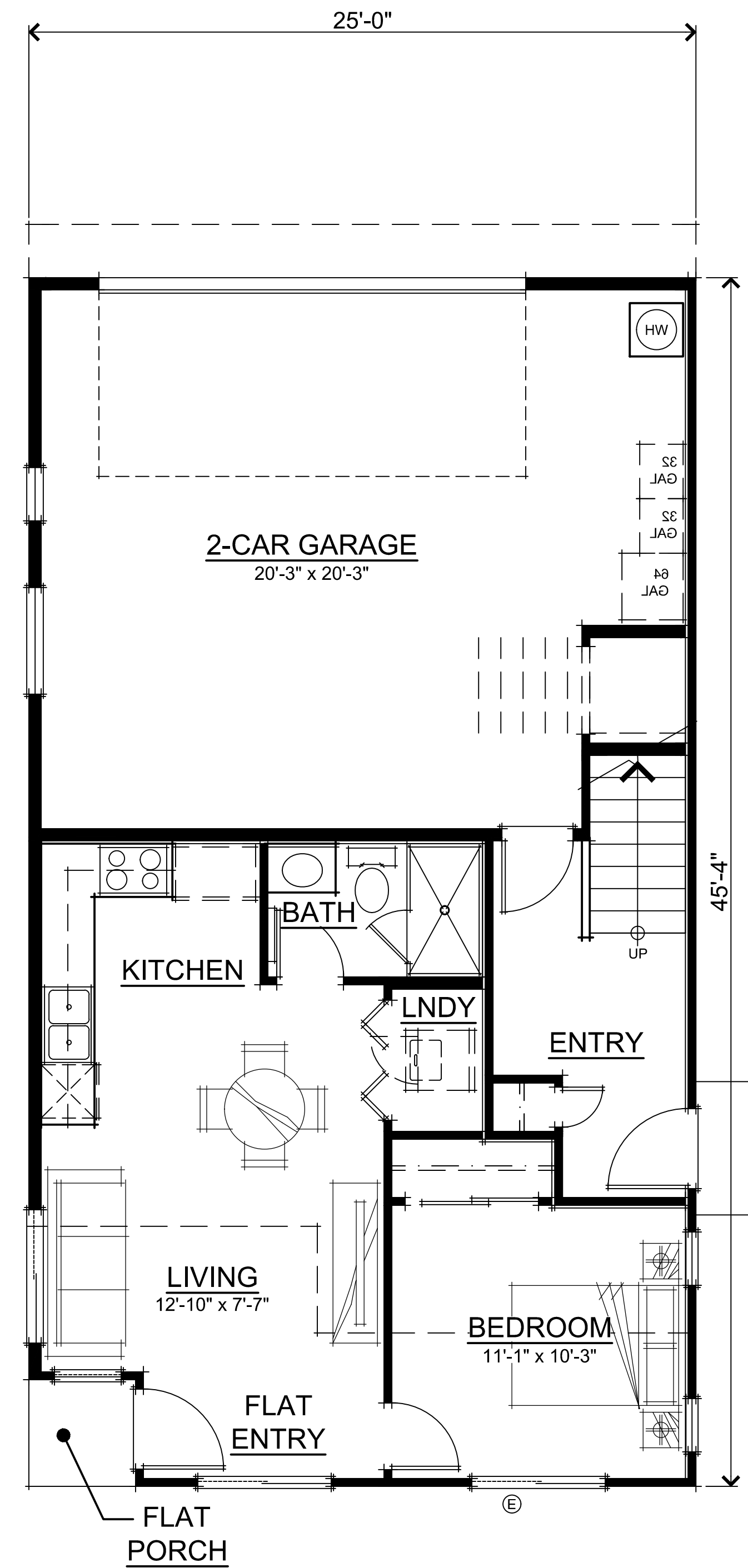




THIRD FLOOR PLAN

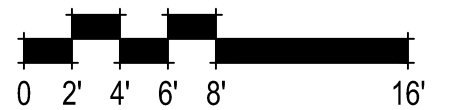


SECOND FLOOR PLAN



FIRST FLOOR PLAN

UNIT 2C SQUARE FOOTAGES		FLAT SQUARE FOOTAGES	
FIRST FLOOR	116 SQ. FT.	FLAT	499 SQ. FT.
SECOND FLOOR	917 SQ. FT.	FLAT PORCH	16 SQ. FT.
THIRD FLOOR	954 SQ. FT.		
TOTAL LIVING	1987 SQ. FT.		
2-CAR GARAGE	504 SQ. FT.		
DECK	81 SQ. FT.		





UNIT 2C

UNIT 2A

UNIT 2B

THIRD FLOOR PLAN

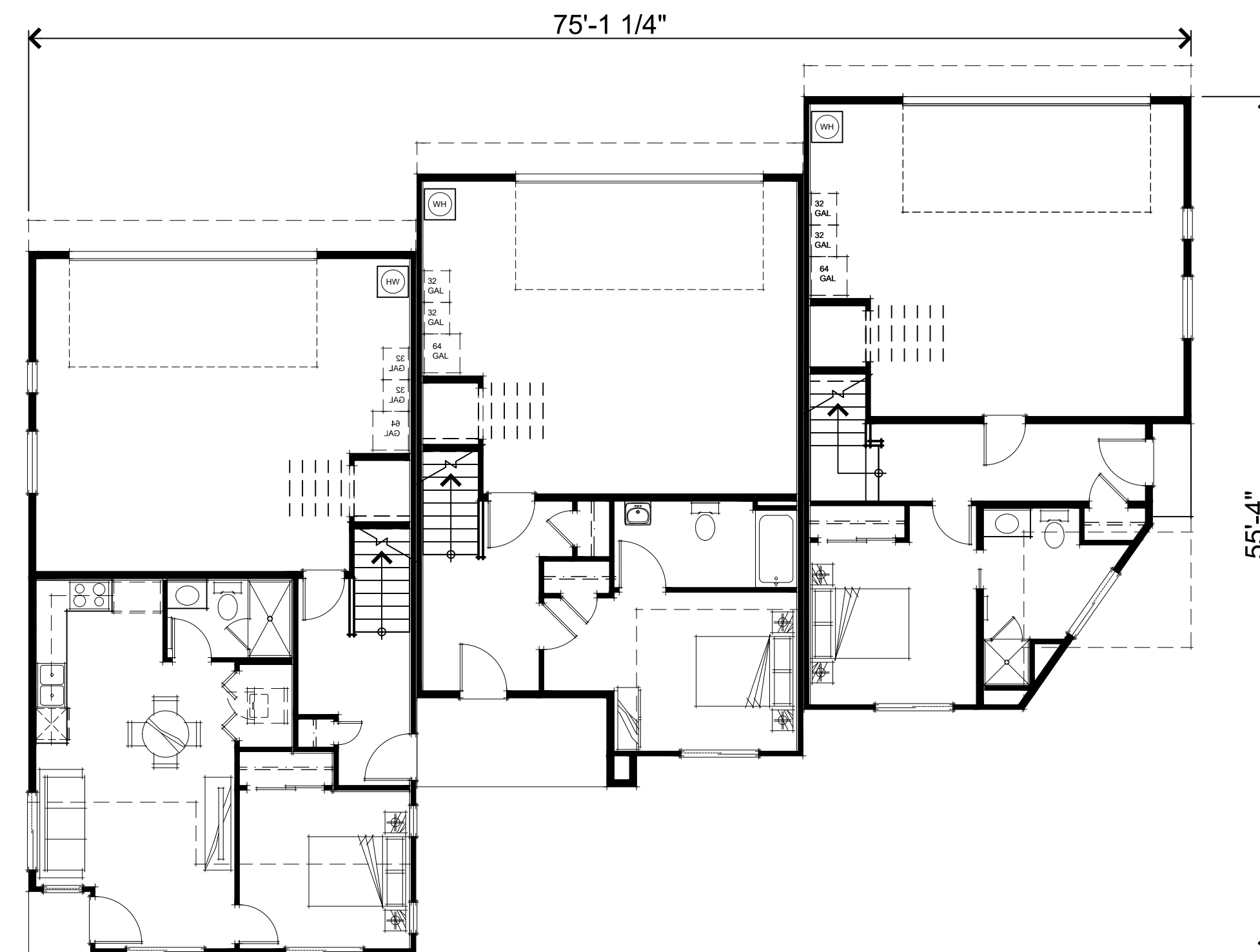


UNIT 2C

UNIT 2A

UNIT 2B

SECOND FLOOR PLAN

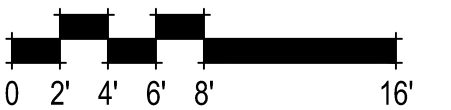


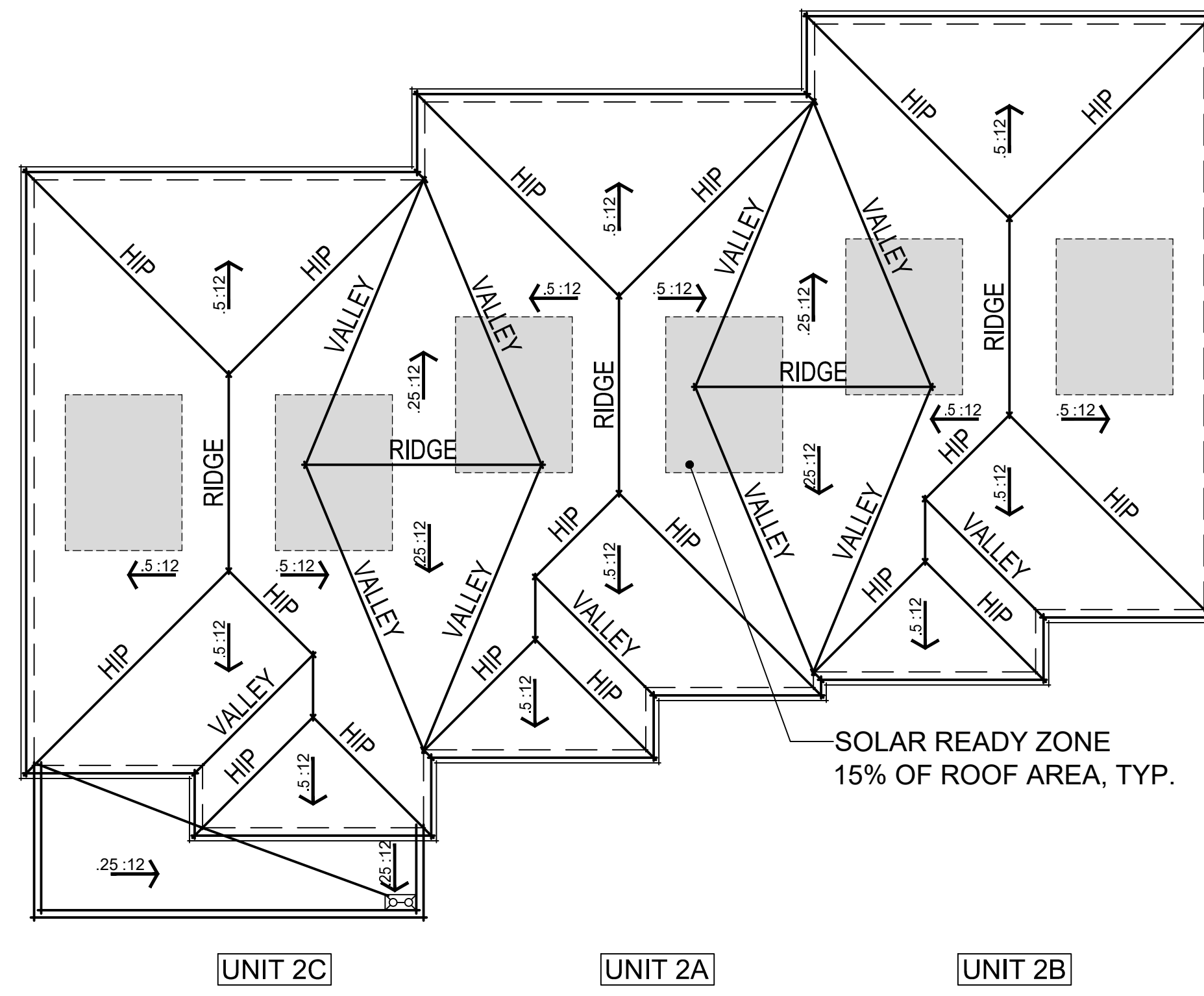
UNIT 2C

UNIT 2A

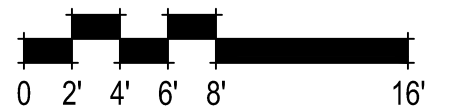
UNIT 2B

FIRST FLOOR PLAN





ROOF PLAN





REAR ELEVATIONS



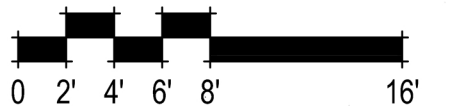
RIGHT ELEVATION

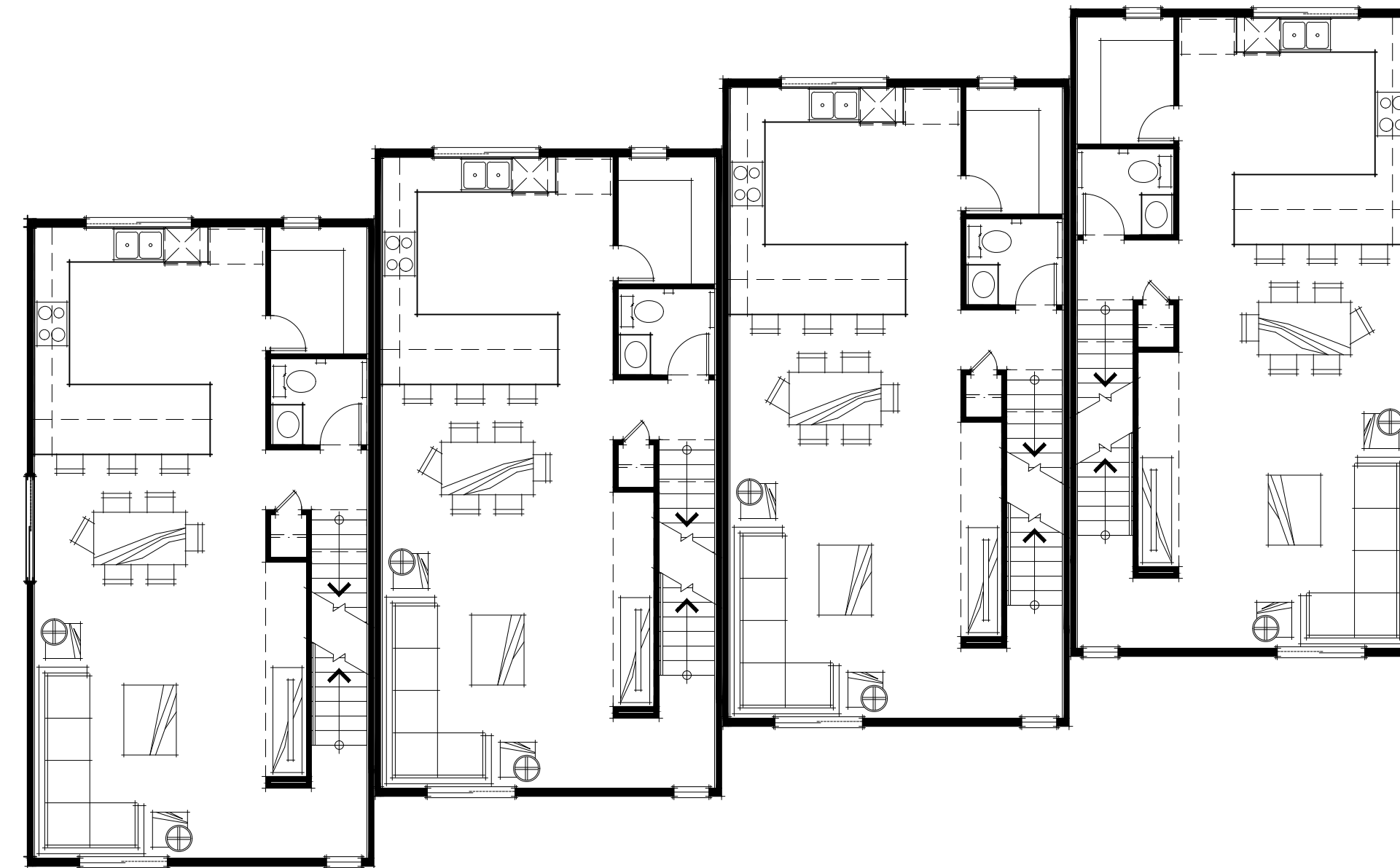


LEFT ELEVATION



FRONT ELEVATION





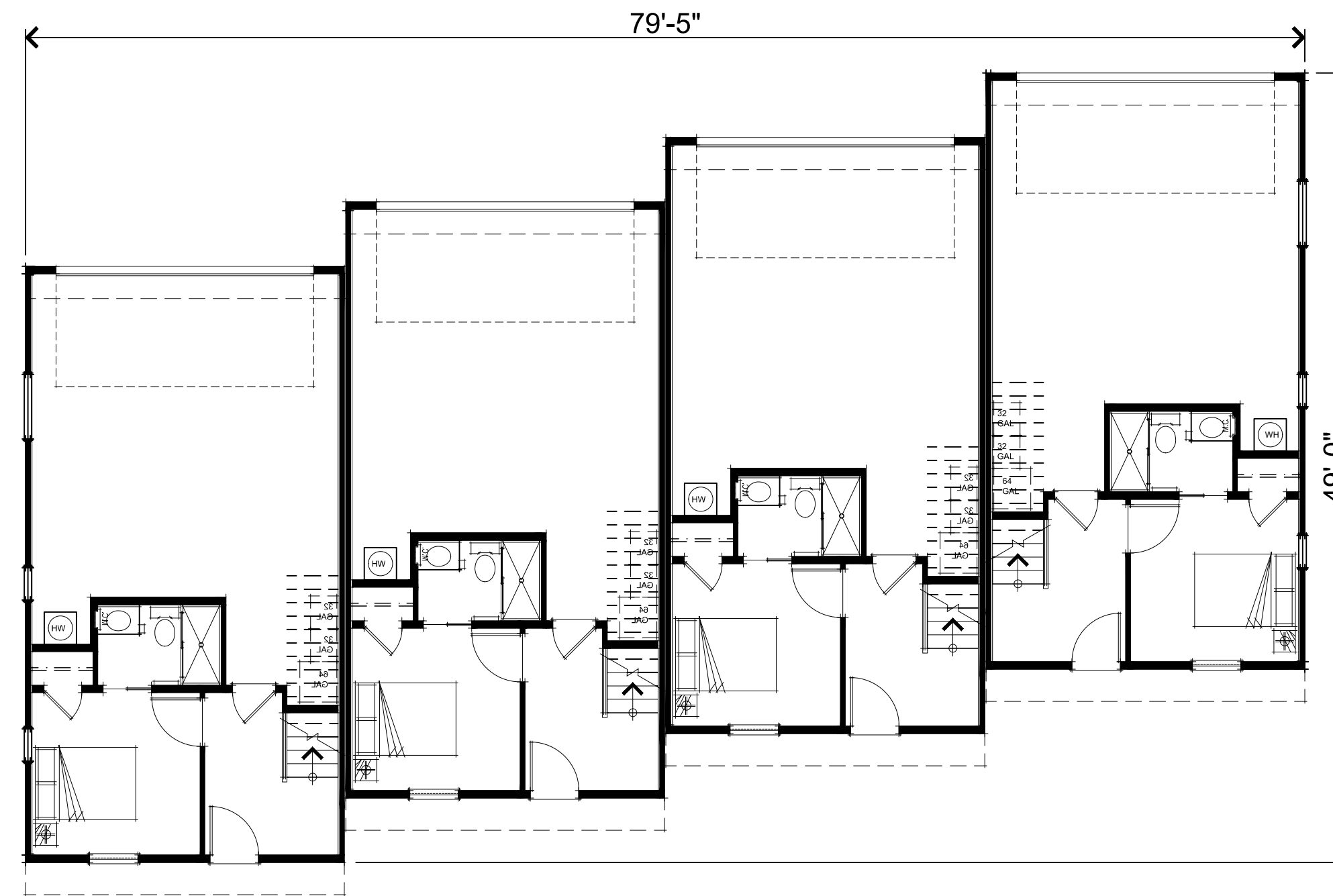
UNIT 1R UNIT 1R UNIT 1R UNIT 1

SECOND FLOOR PLAN



UNIT 1R UNIT 1R UNIT 1R UNIT 1

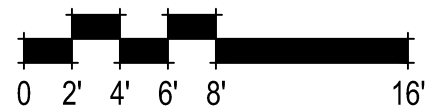
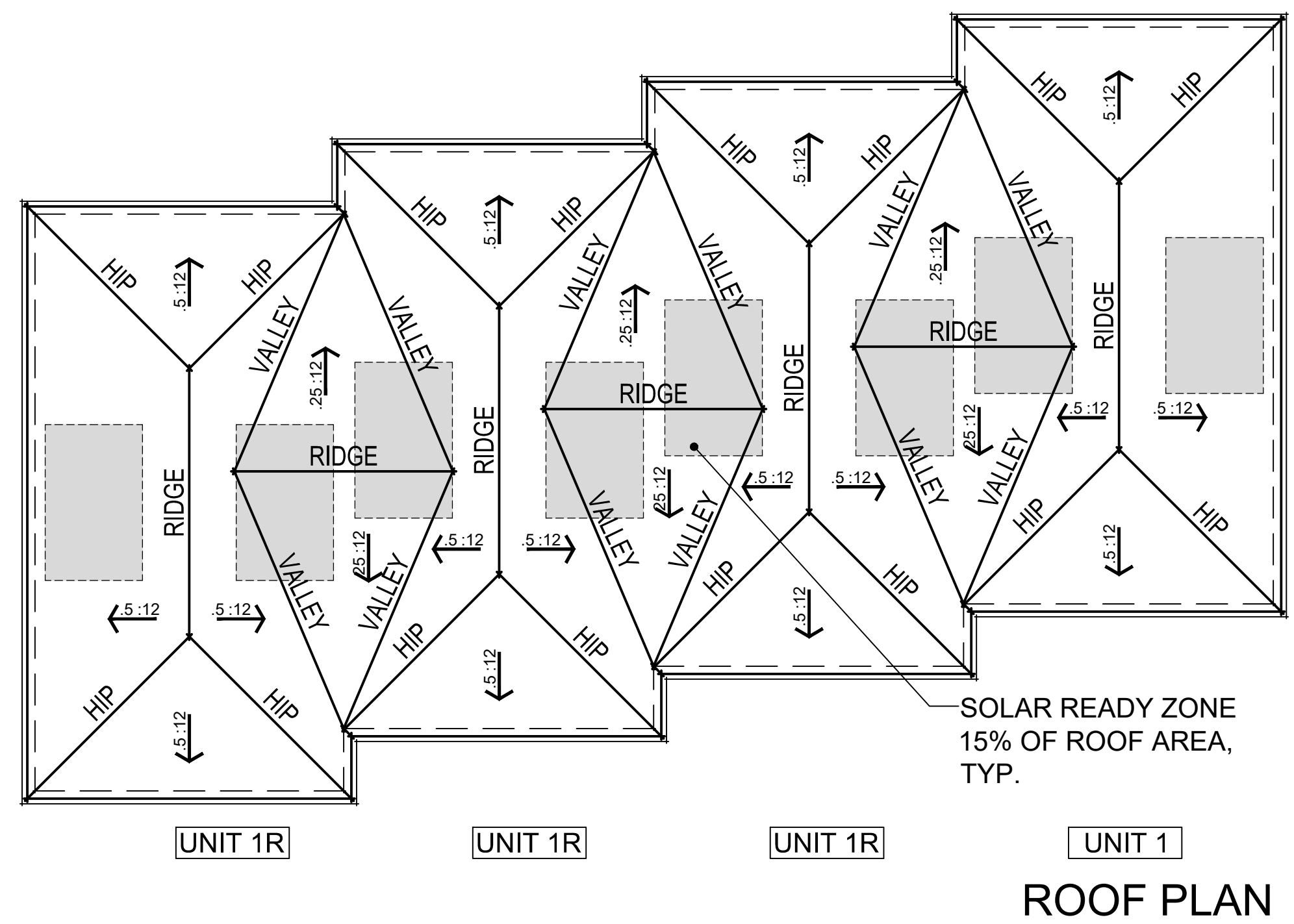
THIRD FLOOR PLAN



UNIT 1R UNIT 1R UNIT 1R UNIT 1

FIRST FLOOR PLAN







REAR ELEVATIONS



RIGHT ELEVATION



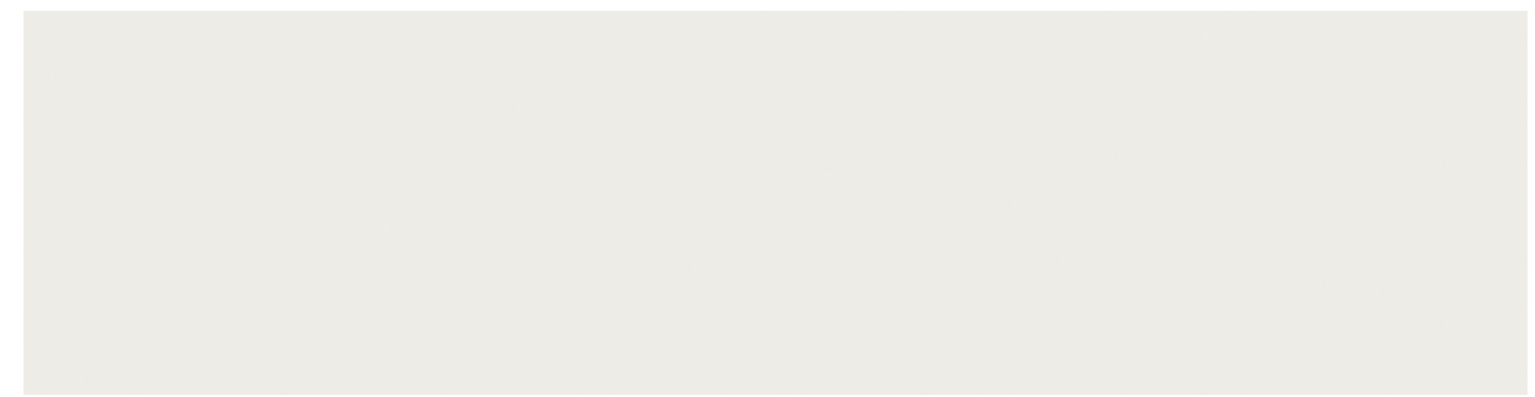
LEFT ELEVATION



FRONT ELEVATION



Metal Roof
Dark Charcoal



Stucco 1
SW 7005 (255-C1)
Pure White



Stucco 2
SW 7074 (235-C5)
Software



Stucco 3, Garage Door, Entry Door
SW 0055 (305)
Light French Gray

Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.

← W HACIENDA AVENUE →



PROJECT DATA

PROJECT ADDRESS: 1236 W. HACIENDA AVE., CAMPBELL CA
 SITE AREA: 13,504 SQ. FT. / 0.31 AC

PLAN TYPES AND SIZES						
Plan Type	Description	Garage Type	Total Living*	Garage SF	Porch SF	Deck SF
UNIT 1	3 Bedrooms + 3.5 Baths	2-Car Garage	1,712	463	N/A	N/A
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UNIT 2B	4 Bedrooms + 3.5 Baths	2-Car Garage	2,262	505	15	81
UNIT 2C	3 Bedrooms + 2.5 Baths	2-Car Garage	1,987	504	N/A	81
Flat	1 Bedroom + 1 Bath	N/A	499	N/A	16	N/A

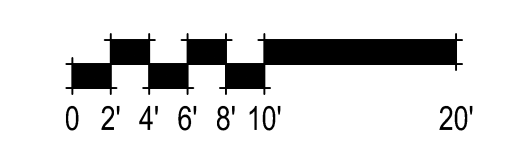
*Total Living : Measured to outside face of stud, excludes garage area, deck and porches.
 **Based on application SB 684 to this project site.

From Unit 1 to Unit 8
 Total Area is 13,872 SQ. FT.
 Average Area is 1,734 SQ. FT., which is less than 1,750 SQ. FT.



35 GALLON LANDFILL, RECYCLE, AND ORGANIC BINS

TRASH, RECYCLABLES, AND ORGANIC BINS ARE STORED INSIDE THE GARAGE, AND STAGED IN FRONT OF HOUSE ON WEEKLY COLLECTION DAY, TYPICAL FOR ALL UNITS. RECYCLE AND YARD WASTE PICKED UP ON ALTERNATING WEEKS





Note: Unless otherwise specified - the lamp lumen depreciation (LLD) for legacy sources used in these calculations is based on published mean lumen ratings by major lamp manufacturers; 0.80 LLD for pulse start metal halide; 0.90 LLD for high pressure sodium; 0.95 LLD for linear T8 and T5 fluorescent; 0.86 LLD for compact fluorescent and induction; 0.88 LLD for Cosmo and Etile lamps; 0.94 LLD for all LED sources. Unless otherwise noted - 0.90 luminaire dirt depreciation (LDD) is commonly applied. In cases where appropriate - ballast factor (BF) is applied. Additional user defined factors (UDF) may be applied if necessary to represent luminaire performance to a higher degree of accuracy. Total light loss factor (LLF) is the product of all multiplied loss factors.

LIGHTING PLAN - PHOTOMETRIC ANALYSIS - LAYOUT VERIFICATION
(ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES ON GRADE, U.O.N.)

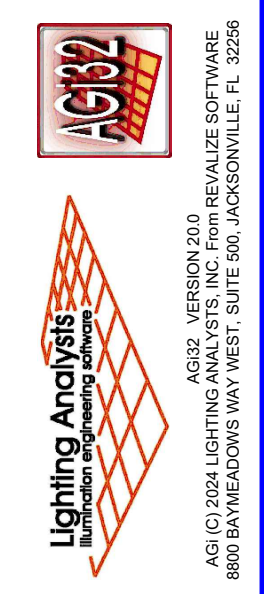
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	LLF	LLD	LDD	UDF	Description	Optical Height	Luminaire Watts	Filename
	14	F1	Single	1426	0.850	0.944	0.900	1.000	BEGA 33817	7.5	17	33817K4_BEGA_JES.JES
	7	F2	Single	772	0.850	0.944	0.900	1.000	ALPHABET NJ4-RD-SW-10LM-30K-80-HET70-WH-WH	9.1	9	NJ4-RD-SW-10LM-30K-80-HET70-WH-WH.jes
	7	F3	Single	424	0.850	0.944	0.900	1.000	AFX WTNW0506	11	11.15	WTNW0506_30D2x_JES.jes

Label	Description	Calculation Type	Units	Avg	Max	Min	Avg/Min	Max/Min	# Pts
Driveway	IES RP-8-14: Parking Driveway - 0.2fc Min, Max:Min < 20:1	Illuminance	Fc	4.1	20.1	0.4	10.1	50.3	729
Walkway	IES RP-8-21: Walkway - 1fc Avg, Avg:Min < 5:1	Illuminance	Fc	3.0	7.5	0.0	N.A.	N.A.	172



ASSOCIATED LIGHTING REPRESENTATIVES, INC.
10000 E. 15th Avenue
Denver, CO 80231
303.750.1500
www.alr.com

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AG32 LIGHTING ANALYSIS
8800 BAYVIEW DR. JACKSONVILLE, FL 32256

PROJECT: WEST HACIENDA TOWNHOMES
CAMPBELL, CA
DATE: 04/08/2025
SCALE: AS NOTED
SHEET: 1 OF 1
REV: 0

LEGEND

SYMBOL	DESCRIPTION
	HINGE LINE/TOP/TOE
	CONCRETE V-DITCH
	GRADED SWALE
	CONTOUR LINES
	DAYLIGHT LINE/LIMIT OF GRADING
	PROPERTY LINE/ BOUNDARY / RIGHT-OF-WAY
	EASEMENT LINE
	CENTERLINE (C)
	FENCE (CHAIN LINK)
	DRIVEWAY
	CURB, GUTTER & SIDEWALK
	RETAINING WALL (AS DESCRIBED) w/ SUB-DRAIN
	CITY STANDARD BARRICADE
	WATER LINE AND VALVE
	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
	STORM DRAIN LINE AND MANHOLE
	4" PERF/SOLID SUBDRAIN WITH CLEANOUTS
	WATER LATERAL / METER
	SANITARY SEWER CLEANOUT (SSCO)
	AREA DRAIN WITH SUMP BOTTOM (NDS 1212 OR APPROVED EQUAL)
	FLAT DRAIN INLET AS SPECIFIED
	FIRE HYDRANT
	STREETLIGHT STANDARD WITH MAST ARM AND LUMINAIRE (ELECTROLIER)
	PULL BOX (AS NOTED)
	ELECTRICAL CONDUIT
	GAS MAIN
	TELEPHONE CONDUIT
	STREET MONUMENT
	BOLLARD
	JOINT POLE w/ GUY ANCHOR
	PERCENT GRADE
	VERTICAL GRADE BREAK (PROFILE)
	BIO-RETENTION AREA NUMBER
	TREE

ABBREVIATIONS

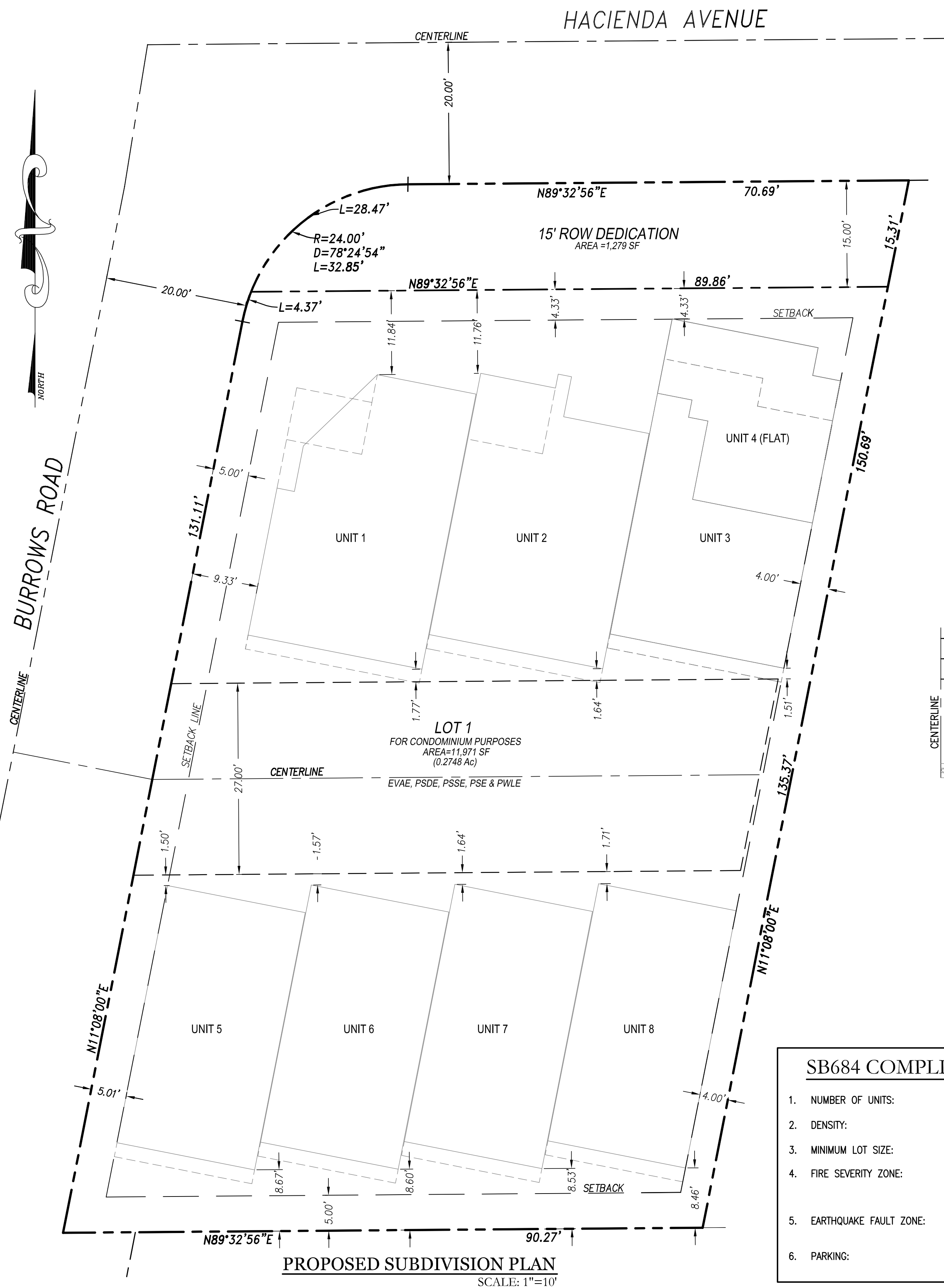
AB	AGGREGATE BASE	N/B	NORTH BOUND
AC	ASPHALT CONCRETE	P	PAD
AD	AREA DRAIN	PA	PLANTER AREA
BC	BEGIN CURVE	PL, P/L	PROPERTY LINE
BM	BENCHMARK	PCC	POINT OF COMPOUND CURVATURE
BMP	BEST MANAGEMENT PRACTICE	PERF.	PERFORATED
BOT.	BOTTOM	PIE	PRIVATE INGRESS & EGRESS EASEMENT
BSW	BACK OF SIDEWALK	PSE	PUBLIC SERVICE EASEMENT
BVC	BEGIN VERTICAL CURVE	PROJ.	PROJECTED
BW	BOTTOM OF WALL (EXPOSED)	PSDE	PRIVATE STORM DRAIN EASEMENT
CL	CENTER LINE	PUE	PUBLIC UTILITY EASEMENT
CB	CATCH BASIN	PSSE	PRIVATE SANITARY SEWER EASEMENT
CO	CLEAN OUT	PWLE	PRIVATE WATER LINE EASEMENT
CR	CURB RETURN	R=	RADIUS OF CURVE
DI	DRAIN INLET	Δ=	INCLUDED ANGLE OF CURVE
DS	ROOF DOWN SPOUT	L=	ARC LENGTH OF CURVE
EC	END CURVE	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	RIM	RIM ELEVATION
EP	EDGE OF PAVEMENT	ROW	RIGHT OF WAY
EVC	END VERTICAL CURVE	S	SLOPE
EX	EXISTING	S/B	SOUTH BOUND
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SD	STORM DRAIN
FC, F/C	FACE OF CURB	SDCO	STORM DRAIN CLEANOUT
FDC	FIRE DEPARTMENT CONNECTION	SDE	STORM DRAIN EASEMENT
FF	FINISHED FLOOR	SDMH	STORM DRAIN MANHOLE
FG	FINISHED GRADE	SE	SIDEWALK EASEMENT
FH	FIRE HYDRANT	SF	SQUARE FEET
FL	FLOW LINE	S.O.	SIDE OPENING
FOGLN	FOG LINE (WHITE STRIPE)	SS	SANITARY SEWER
GB	GRADE BREAK	SSE	SANITARY SEWER EASEMENT
GI	GREASE INTERCEPTOR	SSCO	SANITARY SEWER CLEANOUT
GM	GAS METER	SSMH	SANITARY SEWER MANHOLE
GR	GRATE ELEVATION	STD	STANDARD
HP	HIGH POINT	TB	TOP OF BERM
IRR	IRRIGATION	TC	TOP OF CURB
JT	JOINT TRENCH	TCM	TREATMENT CONTROL MEASURE
LF	LINAL FEET	TW	TOP OF WALL
LIP	LIP OF GUTTER	TYP	TYPICAL
LP	LOW POINT	VC	VERTICAL CURVE
MAX	MAXIMUM	W	WATER LINE
MH	MANHOLE	WM	WATER METER

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TENTATIVE TRACT MAP (SB684)

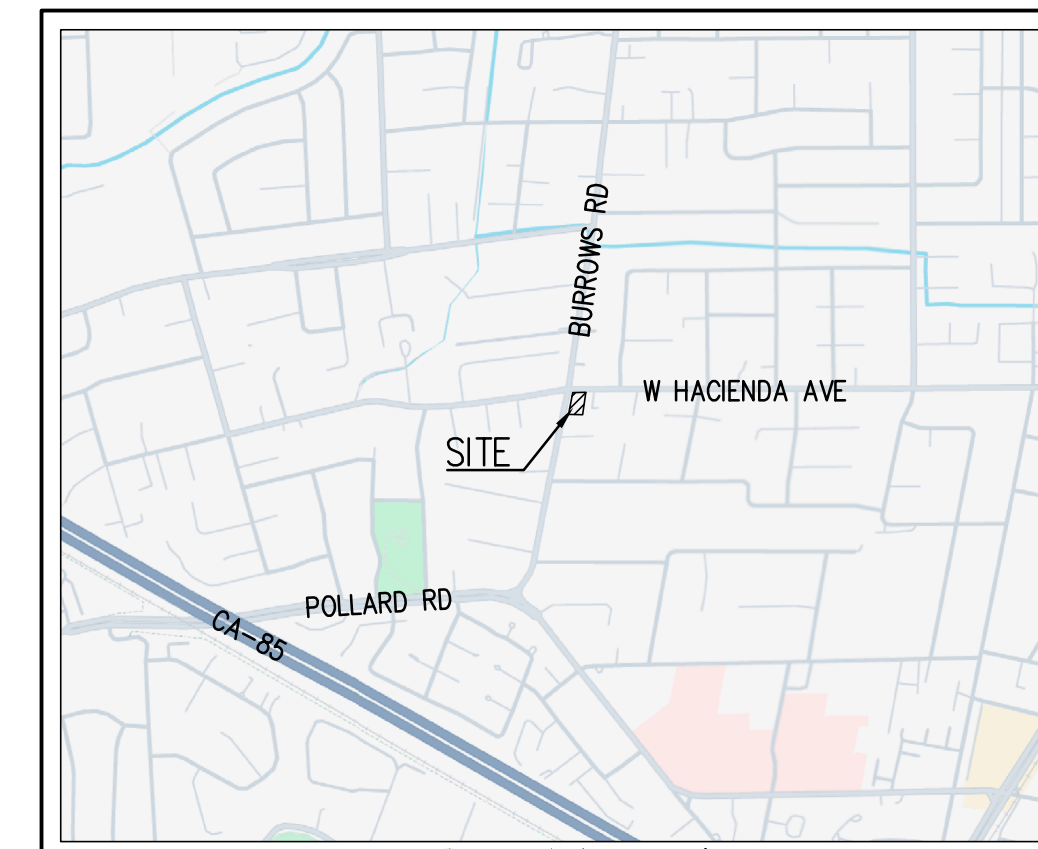
1236 WEST HACIENDA AVENUE

CITY OF CAMPBELL SANTA CLARA COUNTY CALIFORNIA



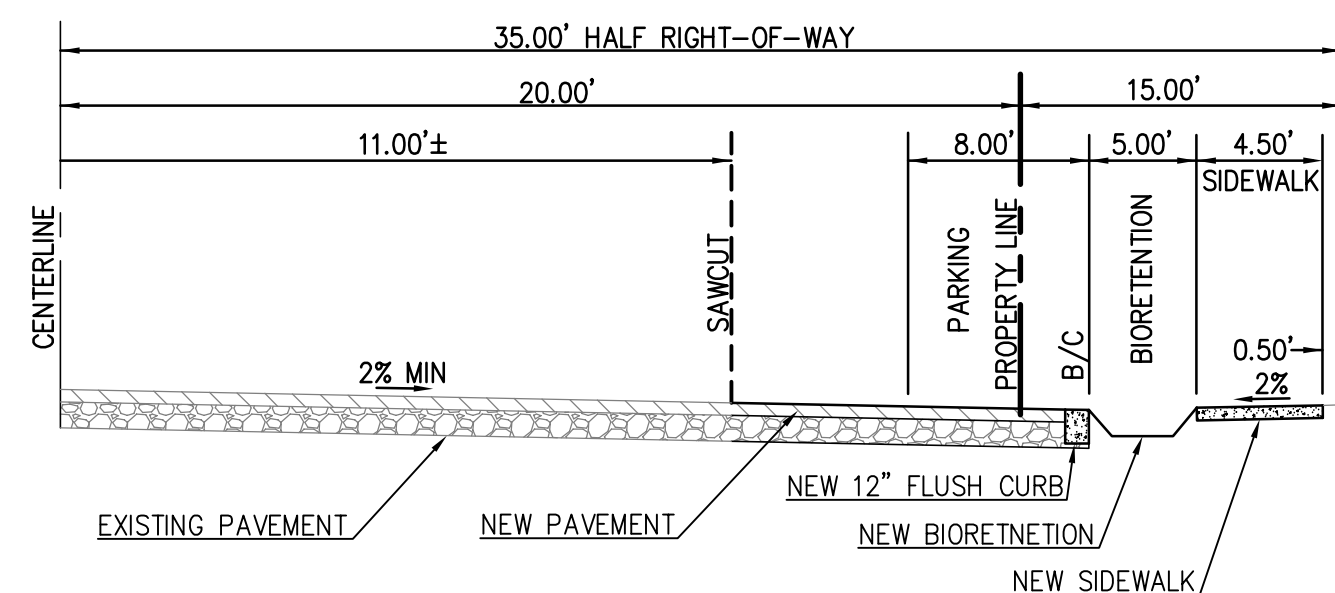
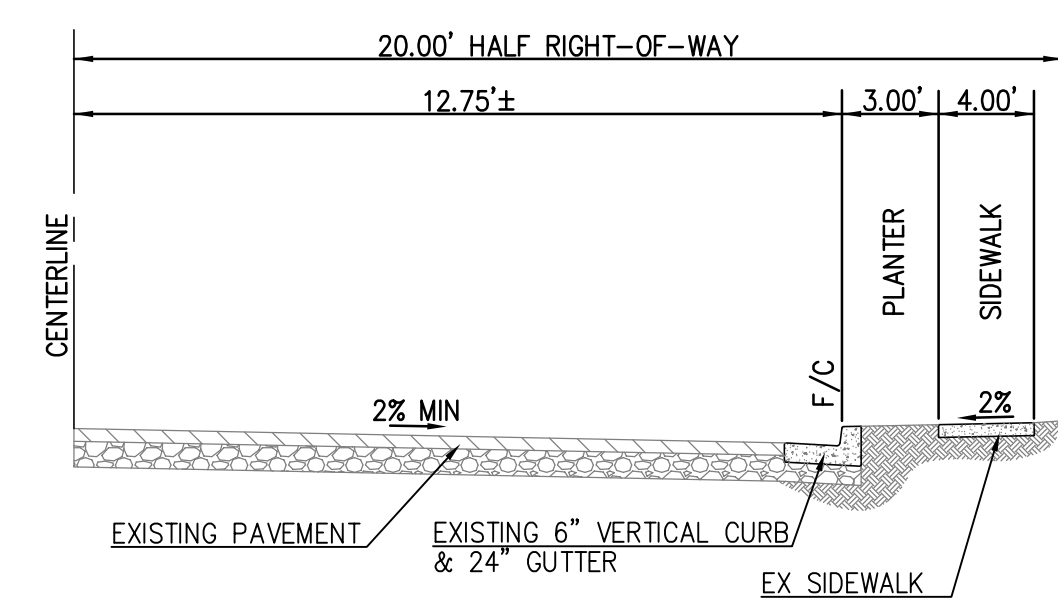
SHEET INDEX

SHEET NO.	DESCRIPTION
TM1	PROPOSED SUBDIVISION PLAN & NOTES
TM2	SITE PHOTOGRAPHY
TM3	EXISTING CONDITION MAP & PRELIMINARY DEMOLITION PLAN
TM4	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
TM5	PRELIMINARY STORMWATER PLAN
TM6	CONSTRUCTION STAGING PLAN



PROJECT GENERAL NOTES:

- OWNER: CITY CONNECT
1030 LINCOLN AVE
SAN JOSE, CA 95125
- APPLICANT/DEVELOPER: CITY CONNECT
1030 LINCOLN AVE
SAN JOSE, CA 95125
- CIVIL ENGINEER: STERLING CONSULTANTS
46560 FREMONT BLVD, SUITE 205
FREMONT, CA 94538
CONTACT: DILIP S. KISHNANI, P.E.
TEL: 925-705-3633
- LANDSCAPE ARCHITECT: THOMAS H PHELPS
PO BOX 170129
BOISE, ID 83717
TEL: 208-906-1300
- SOILS ENGINEER: TBD
- APNs: 406-16-083
- EXISTING LAND USE: MULTI FAMILY RESIDENTIAL
- PROPOSED LAND USE: MULTI FAMILY RESIDENTIAL
- SITE AREA: 13,250 SF (0.3042 ACRES)
- NUMBER OF LOTS: 1 LOT FOR 8 CONDOMINIUMS
- GENERAL PLAN: NC-MU (18-25)
- EXISTING ZONING: NC-MU
- PROPOSED ZONING: NC-MU
- WATER SYSTEM: SAN JOSE WATER COMPANY
- SEWER SYSTEM: WEST VALLEY SANITATION DISTRICT
- STORM DRAIN SYSTEM: CITY OF CAMPBELL
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC (P.G.&E.)
- CABLE: COMCAST CABLE
- TOPOGRAPHY: EXISTING TOPOGRAPHY IS BASED ON A FIELD SURVEY DONE BY STERLING CONSULTANTS IN SEPTEMBER 2024.
- BOUNDARY: BOUNDARY AS SHOWN IS BASED ON A FIELD SURVEY DONE BY STERLING CONSULTANTS IN SEPTEMBER 2024.
- STREETS: ACCESS TO THE PROPOSED LOTS IS THROUGH A PRIVATE STREET FROM BURROWS ROAD.
- FLOOD ZONE: ZONE X; PANEL NO. 06085C0238J
- GRADING: PRELIMINARY GRADES FOR THE PROPOSED SUBDIVISION ARE SHOWN ON SHEET TM4.
- DIMENSIONS: LOT DIMENSIONS (SHOWN TO NEAREST TENTH OF A FOOT) AND AREAS SHOWN HEREIN ARE APPROXIMATE AND SUBJECT TO MINOR CHANGES DURING FINAL DESIGN.
- CONTOURS: EXISTING CONTOURS ARE SHOWN.
- UTILITIES: ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. ALL STORM DRAINS, SANITARY SEWERS AND WATER MAINS SHALL ADHERE TO MINIMUM SIZES & SLOPES PER THE GOVERNING AGENCIES.
- STORMWATER: C.3 COMPLIANCE WILL BE MET THROUGH SELF-RETAINING AND AT-GRADE BIORETENTION AREAS.
- MONUMENTS: DEVELOPER SHALL INSTALL IRON PIPES AT PROPERTY CORNERS PER APPROVED FINAL MAP TO THE SATISFACTION OF THE CITY ENGINEER.
- FIRE SPRINKLERS: FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 EDITION STANDARD.



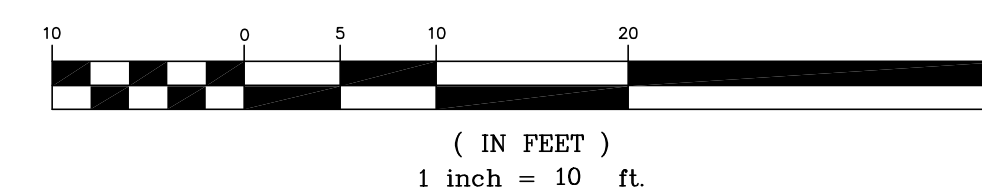
SB684 COMPLIANCE:

1. NUMBER OF UNITS:	8 CONDOMINIUMS
2. DENSITY:	29 DU/ACRE
3. MINIMUM LOT SIZE:	N/A
4. FIRE SEVERITY ZONE:	NOT LOCATED IN A HIGH OR VERY HIGH FIRE SEVERITY ZONE
5. EARTHQUAKE FAULT ZONE:	NOT LOCATED IN A EARTHQUAKE FAULT ZONE
6. PARKING:	2 GARAGE SPACE PROVIDED PER UNIT

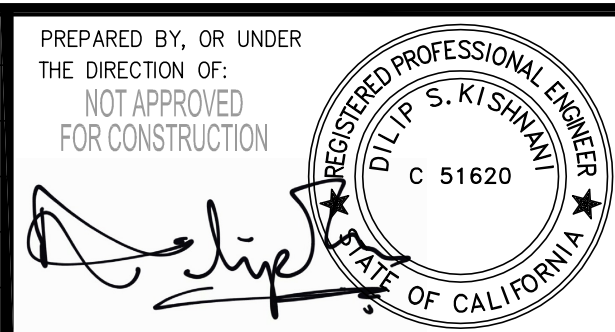
DEVELOPMENT STANDARDS

DENSITY	29 UNITS/GROSS ACRE
PARKING PER UNIT	1 SPACE
GUEST PARKING PER UNIT	0 SPACES
MINIMUM PARCEL SIZE	900 SF
BUILDING COVERAGE	100% MAXIMUM
FRONT YARD SETBACK	4.33 FEET MINIMUM
SIDE YARD SETBACK	4 OR 5 FEET MINIMUM
REAR YARD SETBACK	5 FEET MINIMUM

GRAPHIC SCALE



DATE: AUGUST 01, 2025					
SCALE: AS NOTED					
DRAWN: DSK, MTM					
DESIGNED: DSK, MTM					
ENGINEER: DSK					
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	



PREPARED BY:
 THE DIRECTION OF:
 NOT APPROVED
 FOR CONSTRUCTION

STERLING CONSULTANTS
 46560 FREMONT BOULEVARD, SUITE NO. 205
 FREMONT, CA 94538
 Isterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
 CITY CONNECT
 1030 LINCOLN AVE
 SAN JOSE, CA 95125

APN: 406-16-083

1236 WEST HACIENDA HOMES
 PROPOSED SUBDIVISION PLAN & NOTES

CITY OF CAMPBELL

COUNTY OF SANTA CLARA

CALIFORNIA

1236 WEST HACIENDA AVENUE

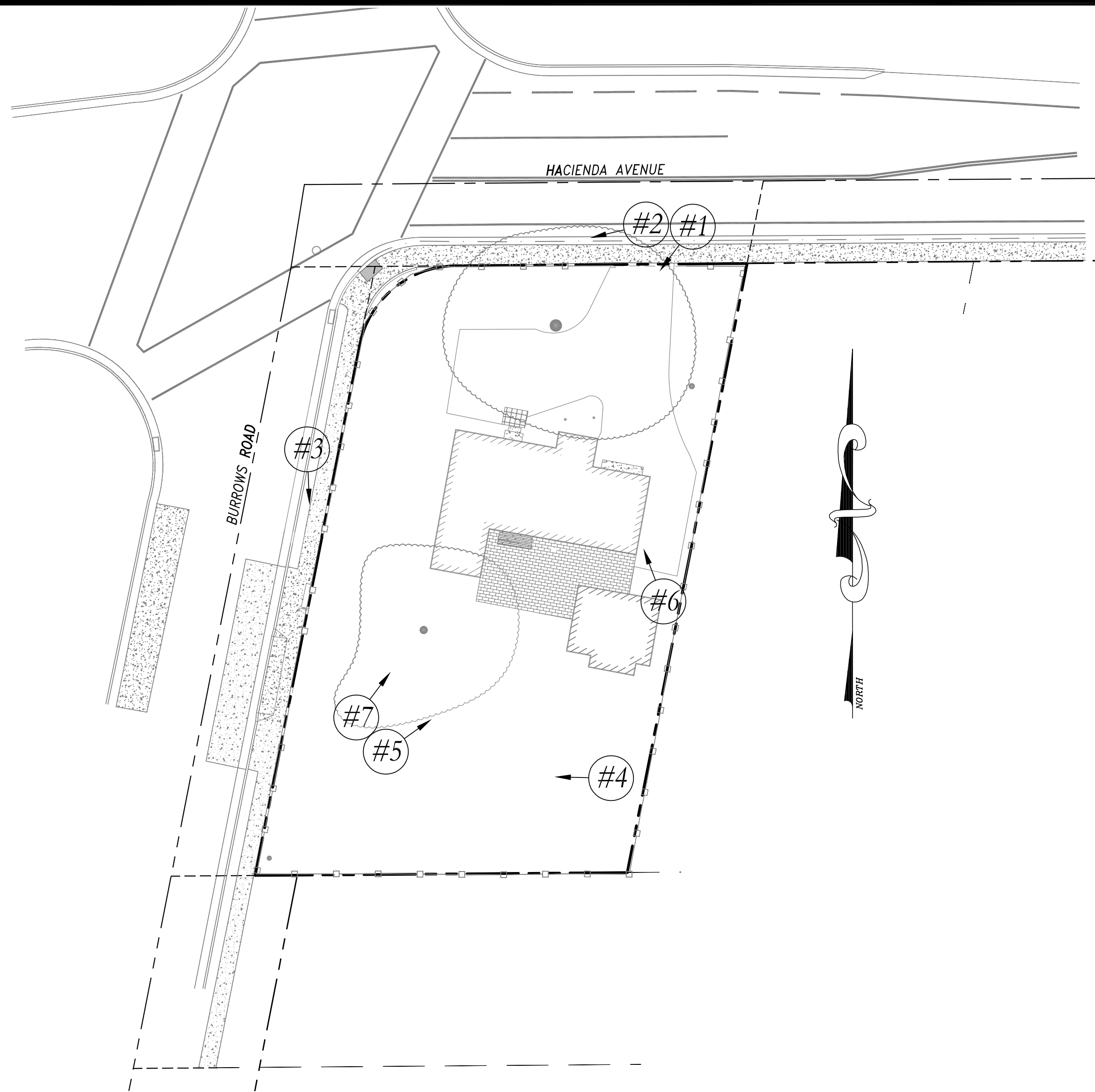
SHEET NO.

TM1

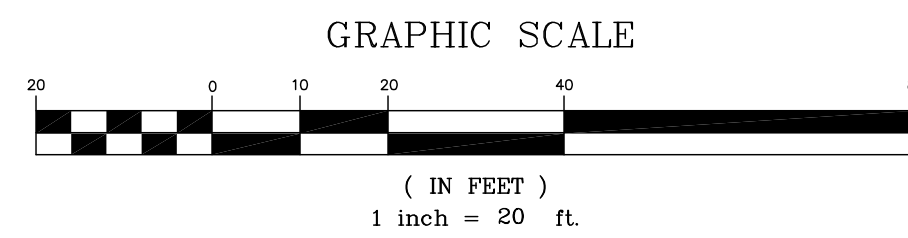
1 OF 6 SHEETS

JOB NO.

2024-289



SITE PHOTOGRAPHY INDEX MAP
SCALE: 1"=20'



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DATE: AUGUST 01, 2025					
SCALE: AS NOTED					
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DESIGNED: DSK, MTM					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR



PHOTOGRAPH #5



PHOTOGRAPH #6



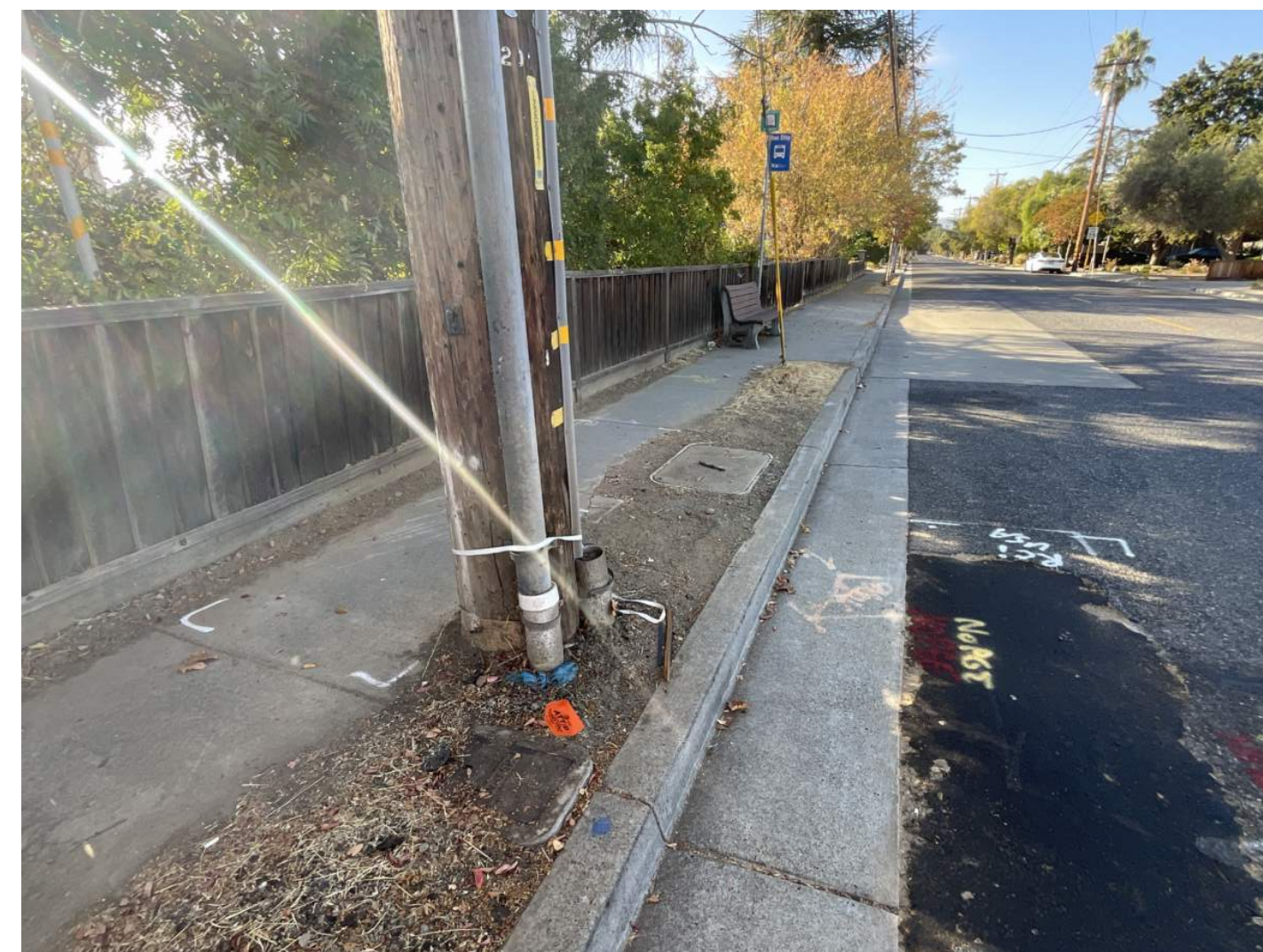
PHOTOGRAPH #7



PHOTOGRAPH #1



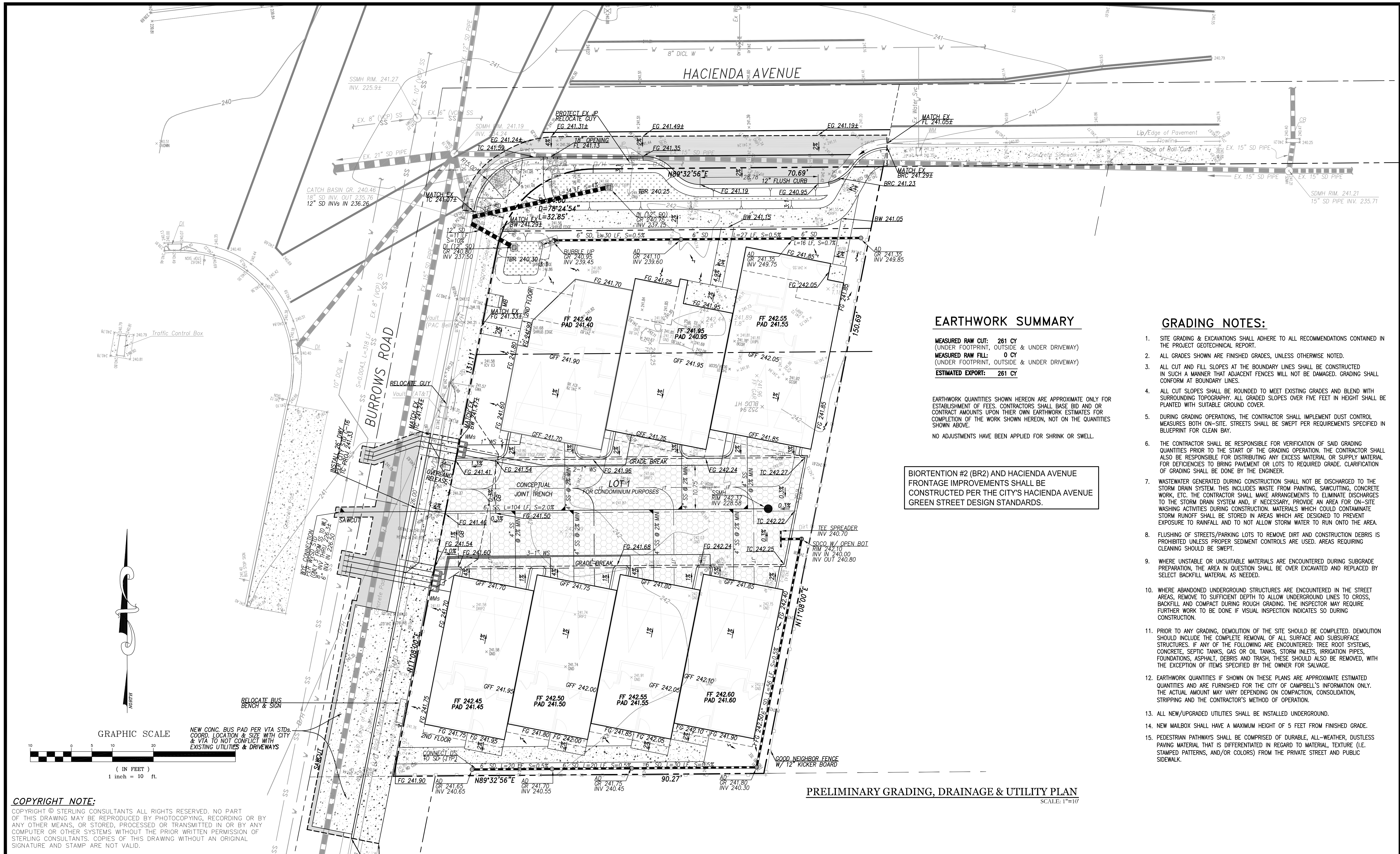
PHOTOGRAPH #2



PHOTOGRAPH #3



PHOTOGRAPH #4



EARTHWORK SUMMARY

MEASURED RAW CUT: 261 CY
 (UNDER FOOTPRINT, OUTSIDE & UNDER DRIVEWAY)
 MEASURED RAW FILL: 0 CY
 (UNDER FOOTPRINT, OUTSIDE & UNDER DRIVEWAY)
 ESTIMATED EXPORT: 261 CY

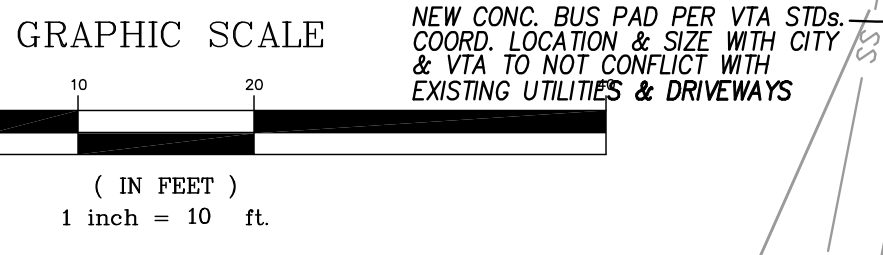
EARTHWORK QUANTITIES SHOWN HEREON ARE APPROXIMATE ONLY FOR ESTABLISHMENT OF FEES. CONTRACTORS SHALL BASE BID AND OR CONTRACT AMOUNTS UPON THEIR OWN EARTHWORK ESTIMATES FOR COMPLETION OF THE WORK SHOWN HEREON, NOT ON THE QUANTITIES SHOWN ABOVE.
 NO ADJUSTMENTS HAVE BEEN APPLIED FOR SHRINK OR SWELL.

BIORIENTATION #2 (BR2) AND HACIENDA AVENUE FRONTAGE IMPROVEMENTS SHALL BE CONSTRUCTED PER THE CITY'S HACIENDA AVENUE GREEN STREET DESIGN STANDARDS.

GRADING NOTES:

- SITE GRADING & EXCAVATIONS SHALL ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT.
- ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
- ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES BOTH ON-SITE. STREETS SHALL BE SWEEP PER REQUIREMENTS SPECIFIED IN BLUEPRINT FOR CLEAN BAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE ENGINEER.
- WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAWCUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
- FLUSHING OF STREETS/PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. AREAS REQUIRING CLEANING SHOULD BE SWEEP.
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS NEEDED.
- WHERE ABANDONED UNDERGROUND STRUCTURES ARE ENCOUNTERED IN THE STREET AREAS, REMOVE TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS, BACKFILL AND COMPACT DURING ROUGH GRADING. THE INSPECTOR MAY REQUIRE FURTHER WORK TO BE DONE IF VISUAL INSPECTION INDICATES SO DURING CONSTRUCTION.
- PRIOR TO ANY GRADING, DEMOLITION OF THE SITE SHOULD BE COMPLETED. DEMOLITION SHOULD INCLUDE THE COMPLETE REMOVAL OF ALL SURFACE AND SUBSURFACE STRUCTURES. IF ANY OF THE FOLLOWING ARE ENCOUNTERED: TREE ROOT SYSTEMS, CONCRETE, SEPTIC TANKS, GAS OR OIL TANKS, STORM INLETS, IRRIGATION PIPES, FOUNDATIONS, ASPHALT, DEBRIS AND TRASH, THESE SHOULD ALSO BE REMOVED, WITH THE EXCEPTION OF ITEMS SPECIFIED BY THE OWNER FOR SALVAGE.
- EARTHWORK QUANTITIES IF SHOWN ON THESE PLANS ARE APPROXIMATE ESTIMATED QUANTITIES AND ARE FURNISHED FOR THE CITY OF CAMPBELL'S INFORMATION ONLY. THE ACTUAL AMOUNT MAY VARY DEPENDING ON COMPACTION, CONSOLIDATION, STRIPPING AND THE CONTRACTOR'S METHOD OF OPERATION.
- ALL NEW/UPGRADED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- NEW MAILBOX SHALL HAVE A MAXIMUM HEIGHT OF 5 FEET FROM FINISHED GRADE.
- PEDESTRIAN PATHWAYS SHALL BE COMPRISED OF DURABLE, ALL-WEATHER, DUSTLESS PAVING MATERIAL THAT IS DIFFERENTIATED IN REGARD TO MATERIAL, TEXTURE (I.E. STAMPED PATTERNS, AND/OR COLORS) FROM THE PRIVATE STREET AND PUBLIC SIDEWALK.

PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
 SCALE: 1"=10'



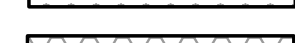



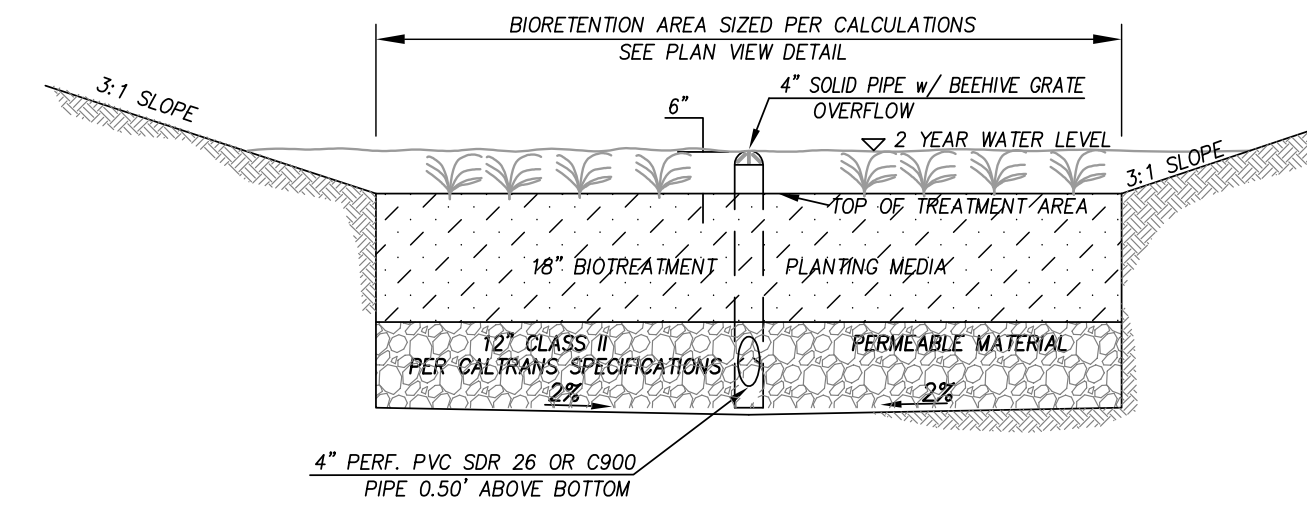
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SCALE: AS NOTED		46560 FREMONT BOULEVARD, SUITE NO. 205 FREMONT, CA 94538 1sterlingconsultants@gmail.com PHONE: 510.344.8955	1030 LINCON AVE SAN JOSE, CA 95125			
DRAWN: DSK, MTM					1236 WEST HACIENDA HOMES	TM4
DESIGNED: DSK, MTM					PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN	4 OF 6 SHEETS
ENGINEER: DSK						JOB NO.
MANAGER: DSK					CITY OF CAMPBELL	COUNTY OF SANTA CLARA
						CALIFORNIA
						2024-289

HACIENDA AVENUE

SURFACE LEGEND

-  IMPERVIOUS AREA BORDER
-  BIORETENTION AREA
-  SELF-RETAINING AREA
-  IN LIEU AREA

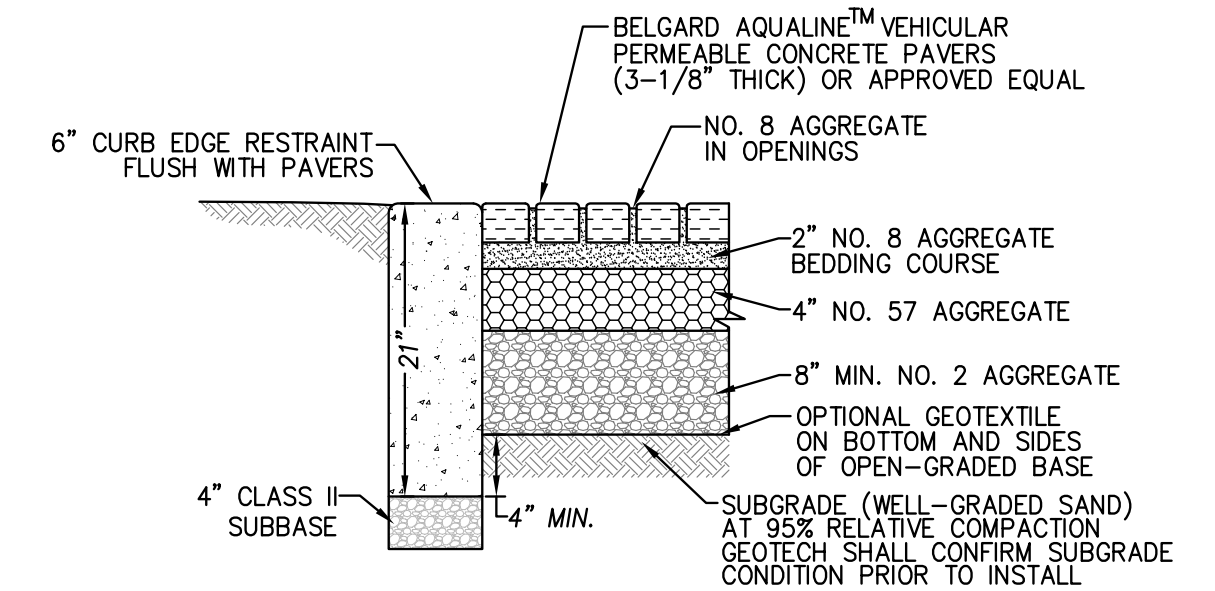


BIORETENTION PLANTER
NOT TO SCALE

BIORETENTION TREATMENT AREAS AND SIZING CHART

DMA#	TRIBUTARY SURFACE (IMPERVIOUS AREAS)	TRIB. AREA (Sq.Ft.)	IMP. AREA (Sq.Ft.)	TREATMENT	SIZING	TREATMENT AREA REQUIRED (Sq.Ft.)	TREATMENT AREA PROVIDED (Sq.Ft.)
1	LOT 3-7 - ROOF	2,939	2,939	SR A	2:1	2,450	2,726
2	WALKWAY	413	413				
3	LOT 1-3 - ROOF	1,548	1,548				
4	LOT 1-3 - ROOF	1,365	1,365	BR 1	4%	63	63
5	WALKWAY	55	55				
6	WALKWAY	113	113				
7	WALKWAY	43	43	BR 2	4%	132**	265
8	SIDEWALK & STREET	1,187	1,187				
9*	SIDEWALK & STREET	308	308*				
10*	SIDEWALK & STREET	1,811	1,811*				
TOTAL IMPERVIOUS AREA		9,782					

NOTE:
* NEW & REPLACED IMPERVIOUS AREA THAT REQUIRES TREATMENT THAT WILL BE TREATED BY IN LIEU AREA, TOTAL 3,306 SF.
** APPLICANT SHALL SHOW ON CONSTRUCTION PERMIT DRAWINGS THE OFFSITE IN LIEU DRAINAGE SWAP AREAS MEET THE MINIMUM TRIBUTARY AREA FOR DMAs #8 AND #9.



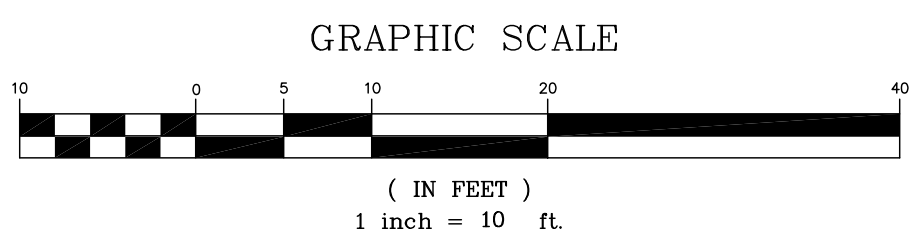
PERVIOUS PAVER SECTION PER RECOMMENDATION BY PROJECT GEOTECHNICAL ENGINEER TO WITHSTAND FIRE TRUCK LOADS. SEE SOILS REPORT FOR RECOMMENDATION.

TYPICAL PERVIOUS PAVER DETAIL
NOT TO SCALE

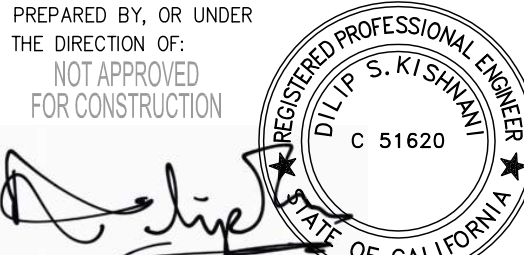
BIORETENTION #2 (BR2) AND HACIENDA AVENUE FRONTAGE IMPROVEMENTS SHALL BE CONSTRUCTED PER THE CITY'S HACIENDA AVENUE GREEN STREET DESIGN STANDARDS.



PRELIMINARY STORMWATER CONTROL PLAN
SCALE: 1"=10'



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DATE: AUGUST 01, 2025	PREPARED BY, OR UNDER THE DIRECTION OF: NOT APPROVED FOR CONSTRUCTION	PREPARED BY: STERLING CONSULTANTS 46560 FREMONT BOULEVARD, SUITE NO. 205 FREMONT, CA 94538 sterlingconsultants@gmail.com PHONE: 510.344.8955	PREPARED FOR: CITY CONNECT 1030 LINCON AVE SAN JOSE, CA 95125	APN: 406-16-083	1236 WEST HACIENDA AVENUE	SHEET NO.
SCALE: AS NOTED					1236 WEST HACIENDA HOMES PRELIMINARY STORMWATER CONTROL PLAN	TM5
DRAWN: DSK, MTM						5 OF 6 SHEETS
DESIGNED: DSK, MTM						JOB NO.
ENGINEER: DSK						2024-289
MANAGER: DSK					CITY OF CAMPBELL	COUNTY OF SANTA CLARA
						CALIFORNIA

HACIENDA AVENUE

TRUCK ROUTE:

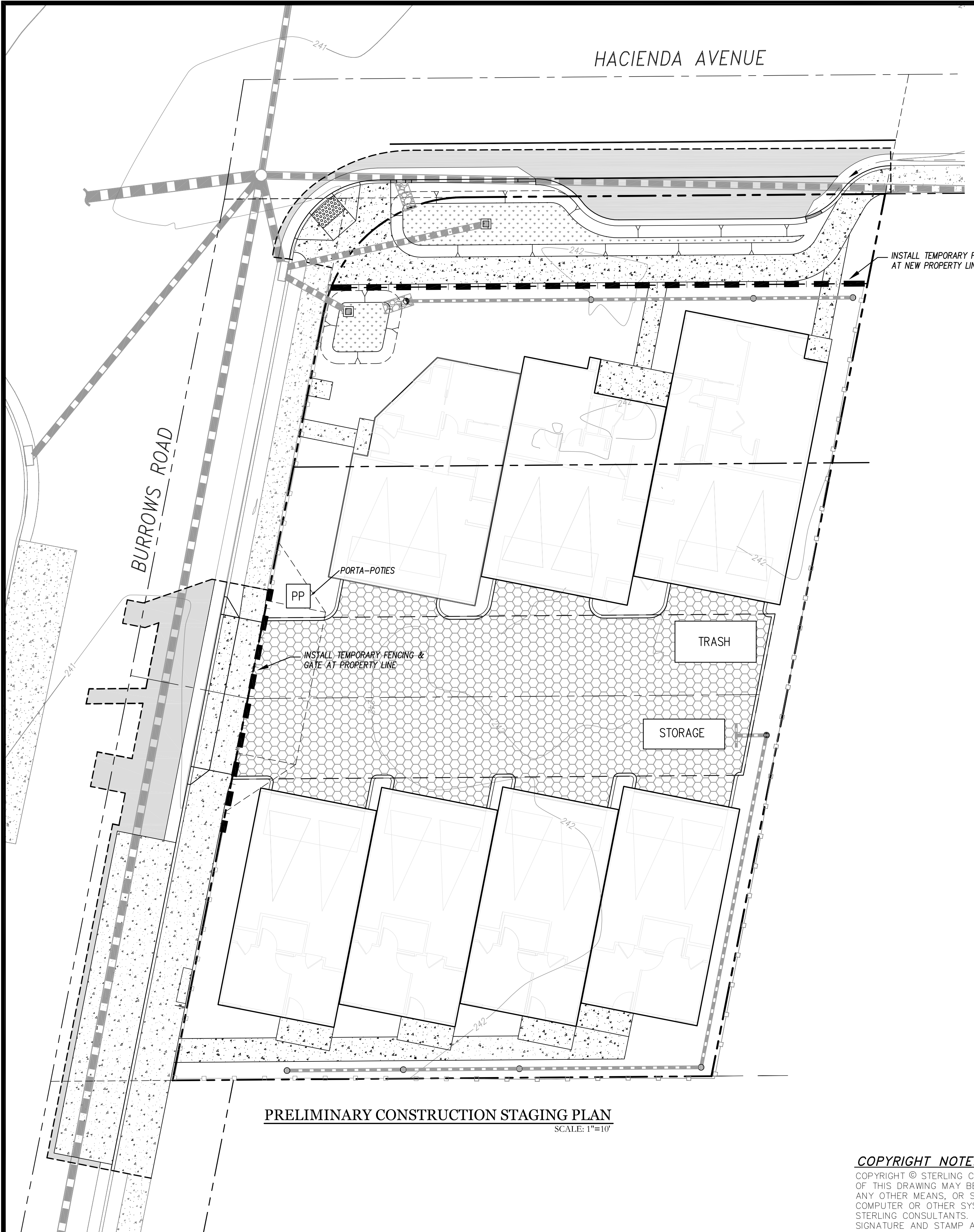
TRUCKS SHALL TRAVEL EAST ON W HACIENDA AVENUE TO WINCHESTER BOULEVARD OR SOUTH ON BURROWS ROAD AND EAST ON POLLARD ROAD AND KNOWLES DRIVE TO WINCHESTER BOULEVARD.

PARKING NOTE:

WORKERS MAY PARK IN PAD AREAS DURING GRADING AND DRIVEWAY CONSTRUCTION & ON NEW DRIVEWAY DURING VERTICAL CONSTRUCTION.

CONSTRUCTION STAGING LEGEND

CONSTRUCTION FENCING [Symbol]



INSTALL TEMPORARY FENCING AT NEW PROPERTY LINE

PORTA-POTIES

PP

INSTALL TEMPORARY FENCING & GATE AT PROPERTY LINE

TRASH

STORAGE

BURROWS ROAD

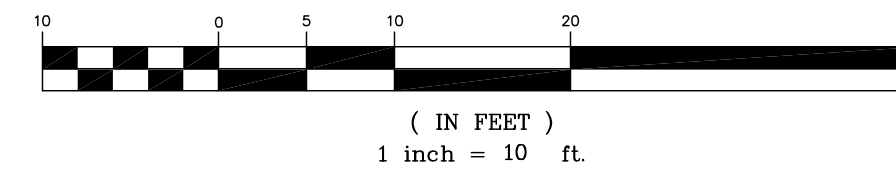
PRELIMINARY CONSTRUCTION STAGING PLAN

SCALE: 1"=10'

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GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

DATE: AUGUST 01, 2025					
SCALE: AS NOTED					
DRAWN: DSK, MTM					
DESIGNED: DSK, MTM					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR

PREPARED BY, OR UNDER THE DIRECTION OF:
NOT APPROVED FOR CONSTRUCTION

PREPARED BY:

46560 FREMONT BOULEVARD, SUITE NO. 205
FREMONT, CA 94538
1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:

CITY CONNECT
1030 LINCON AVE
SAN JOSE, CA 95125

APN: 406-16-083

**1236 WEST HACIENDA HOMES
PRELIMINARY CONSTRUCTION STAGING PLAN**

CITY OF CAMPBELL

COUNTY OF SANTA CLARA

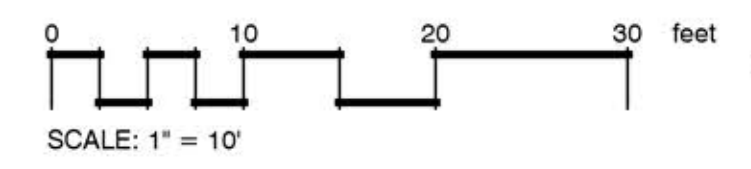
1236 WEST HACIENDA AVENUE

CALIFORNIA

SHEET NO. **TM6**
6 OF 6 SHEETS
JOB NO. 2024-289



FEBER
DOC No. 14576094
AREA = 13,250 SQFT
APN 406-16-040



PLANT SCHEDULE

PHOTO	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CANOPY
TREES					
		PYRUS CALLERYANA 'REDSPIRE'	REDSPIRE GALLERY PEAR	15 GAL	10'
SHRUBS					
		CEANOTHUS X 'JULIA PHELPS'	JULIA PHELPS WILD LILAC	5 GAL	
		LOROPETALUM CHINENSE 'MONRAZ'	RAZZLEBERRY FRINGE FLOWER	5 GAL	
		MAHONIA REPENS	CREEPING MAHONIA	5 GAL	
		NANDINA DOMESTICA 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO	5 GAL	
		PRUNUS CAROLINIANA 'COMPACTA'	COMPACT CAROLINA CHERRY LAUREL	15 GAL	
		RHAPHIOLEPIB INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	5 GAL	
PERENNIALS					
		DIETES VEGETA	AFRICAN IRIS	5 GAL	
		LIRIOPE SPICATA 'SILVER DRAGON'	SILVER DRAGON CREEPING LILYTURF	5 GAL	
		TULBAGHIA VIOLACEA	SOCIETY GARLIC	5 GAL	
GROUND COVERS					
		LANTANA MONTEVIDENSIS	PURPLE TRAILING LANTANA	5 GAL	48" O.C.
		MIXED SUCCULENTS	SUCCULENTS	5 GAL	12" O.C.
		ROSMARINUS OFFICINALIS 'PROSTRATUS'	DWARF ROSEMARY	5 GAL	36" O.C.
MATERIALS					
		2" DEPTH 1/2" DRAIN ROCK			
		PLACE OVER LANDSCAPE FABRIC WITH A 2X4 RECYCLED HEADER	ROCK		
		DECOMPOSED GRANITE	4" DEPTH		
STORM WATER MANAGEMENT PLANTINGS					
		CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	24" O.C.

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