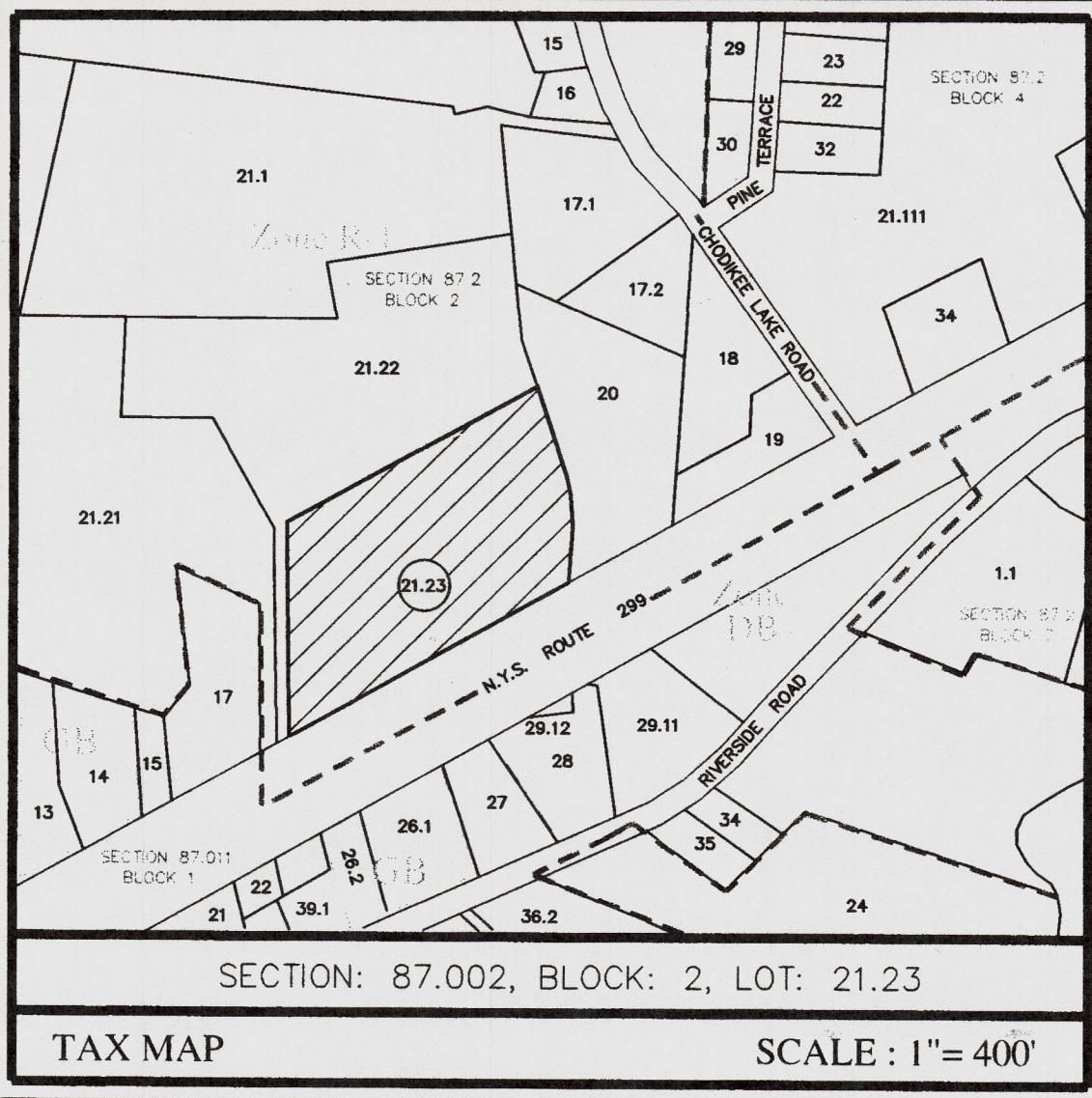
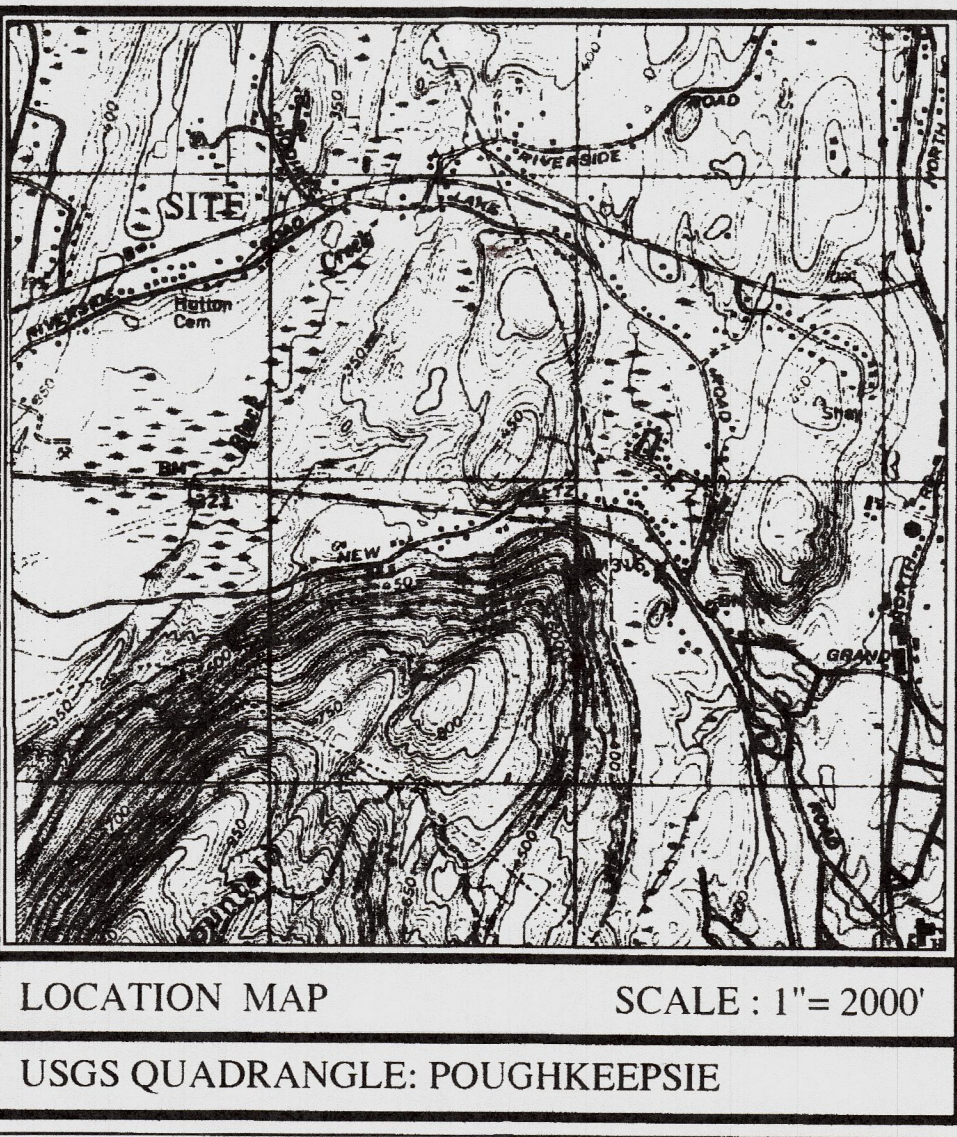
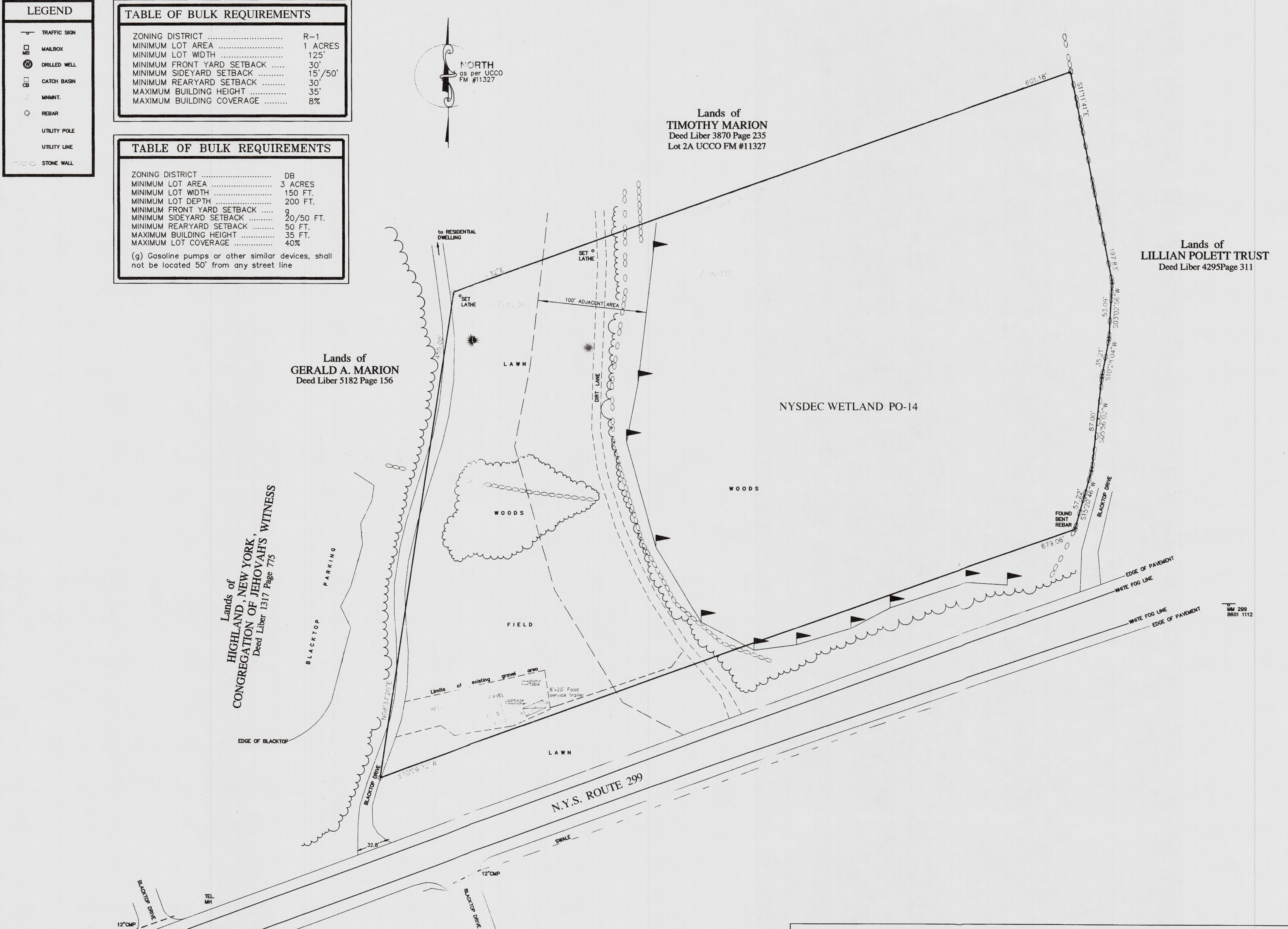


| LEGEND | |
|--------|--------------|
| | TRAFFIC SIGN |
| | MAILBOX |
| | DRILLED WELL |
| | CATCH BASIN |
| | MANHOLE |
| | REBAR |
| | UTILITY POLE |
| | UTILITY LINE |
| | STONE WALL |

| TABLE OF BULK REQUIREMENTS | |
|----------------------------------|-----------|
| ZONING DISTRICT | R-1 |
| MINIMUM LOT AREA | 1 ACRES |
| MINIMUM LOT WIDTH | 125' |
| MINIMUM FRONT YARD SETBACK | 30' |
| MINIMUM SIDEYARD SETBACK | 15' / 50' |
| MINIMUM REARYARD SETBACK | 30' |
| MAXIMUM BUILDING HEIGHT | 35' |
| MAXIMUM BUILDING COVERAGE | 8% |

| TABLE OF BULK REQUIREMENTS | |
|----------------------------------|-----------|
| ZONING DISTRICT | DB |
| MINIMUM LOT AREA | 3 ACRES |
| MINIMUM LOT WIDTH | 150 FT. |
| MINIMUM LOT DEPTH | 200 FT. |
| MINIMUM FRONT YARD SETBACK | 9 |
| MINIMUM SIDEYARD SETBACK | 20/50 FT. |
| MINIMUM REARYARD SETBACK | 50 FT. |
| MAXIMUM BUILDING HEIGHT | 35 FT. |
| MAXIMUM LOT COVERAGE | 40% |

(g) Gasoline pumps or other similar devices, shall not be located 50' from any street line



TOTAL AREA : 6.07 ACRES

FOUND NY CONC. MINANT.

PROPOSED USE:
 xxx-xx A (x) (x) Restaurant – Food Vending Stand
 NUMBER OF EMPLOYEES: one
 HOURS OF OPERATION: 9AM to 5PM
 7 days/week

No exterior lighting proposed.
 Refuse to be removed from site daily.
 Trailer to be serviced with electric, self contained water supply and gray water storage.
 No septic system proposed.

| PARKING SCHEDULE | | |
|--------------------|-----------------|-----------------|
| | SPACES REQUIRED | SPACES PROVIDED |
| FOOD VENDING | 1 / 3 seats | 5 |

- NOTES :**
- 1) Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's Seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.
 - 2) Only copies from the original of this survey marked with an original of the Land Surveyor's inked seal or his/her embossed seal shall be considered to be valid true copies.
 - 3) Subject to all rights of ways and easements of record.
 - 4) Subject to whatever state of facts a complete Search of Title may reveal.
 - 5) Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Professional Land Surveyors as adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person so noted. Certifications are not transferable to additional institutions, their successors and/or assigns, or subsequent owners.
 - 6) Sub-surface structures not visible or readily apparent are not shown and their location and extent are not certified.
 - 7) Subject to covenants, easements, restrictions, conditions and agreements of record.
 - 8) Road line based on NYSDOT Highway Taking Maps.
 - 9) Contours based on field survey. Elevations based on approximate USGS Poughkeepsie Quadrangle.
 - 10) Parcel contains NYS DEC Regulated Wetland PO-14 as delineated by Lance Kolts in May 1998.

MAP REFERENCE :
 Parcel bring "Parcel 2B" as shown on a map entitled "Subdivision of Parcel 2, Filed Map No. 10860, Lands of Casper Marion and Dennis H. & Gary L. Marion" filed with the Ulster County Clerk's Office on April 20, 1999 as Filed Map No. 11327 and is subject to all provisions noted thereon.

DEED REFERENCE :
 Dennis H. Marion
 – to –
 Timothy M. Marion
 Deed Liber 3870 Page 238
 Dated 26 April, 2009

RECORD OWNER :
 Timothy M. Marion
 520 North Chadkee Lake Rd.
 Highland, NY 12528

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BROOKS & BROOKS
Land Surveyors , P.C.

11 Main Street,
Highland, NY 12528
845-691-7339

Patricia Pauli Brooks , L.S.
Registration No. 49795

Richard C. Brooks , L.S.
Registration No. 49600

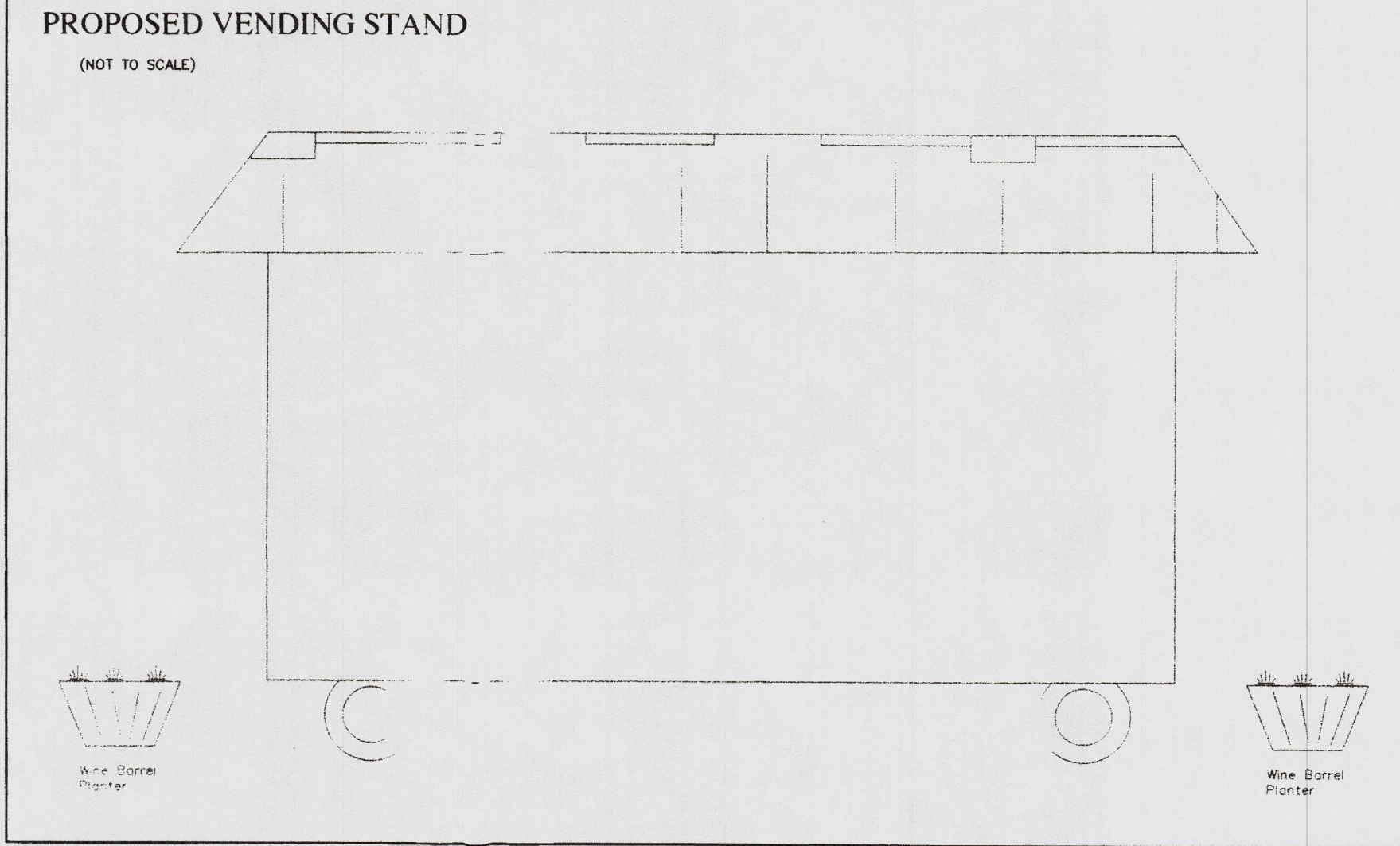
I HEREBY CERTIFY that this map is a true representation of a survey performed by this office in the field on 31 July, 2012 in accordance with the existing codes of practice as adopted by the New York State Association of Professional Land Surveyors .

BY: Patricia Pauli Brooks, L.S.

map check
planning check
survey check

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03 August, 2012

058#6855, DRAWING 6855.09a.te.DWG



OWNER'S ENDORSEMENT
 I hereby grant my approval to this plat and the plans shown hereon.

Owner's Signature _____ Date _____

Town Officials Approvals

Building Dept. _____ Date _____

Fire Chief _____ Date _____

Highway Super _____ Date _____

Police Chief _____ Date _____

Town Engineer _____ Date _____

Water/Sewer Admin. _____ Date _____

PLANNING BOARD ENDORSEMENT
 Approved by resolution of the Town of Lloyd Planning Board, subject to all conditions and requirements of said resolution. Any change, erasure, modification, or revision of this plat as approved shall void this approval.

Chairperson – Town of Lloyd Planning Board _____ Date _____

