

LEGEND	
	TRAFFIC SIGN
	MAILBOX
	DRILLED WELL
	CATCH BASIN
	MINNT.
	RADAR
	UTILITY POLE
	UTILITY LINE
	STONE WALL

TABLE OF BULK REQUIREMENTS	
ZONING DISTRICT	R-1
MINIMUM LOT AREA	1 ACRES
MINIMUM LOT WIDTH	125'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDEYARD SETBACK	15'/50'
MINIMUM REARYARD SETBACK	30'
MAXIMUM BUILDING HEIGHT	35'
MAXIMUM BUILDING COVERAGE	8%

TABLE OF BULK REQUIREMENTS	
ZONING DISTRICT	DB
MINIMUM LOT AREA	3 ACRES
MINIMUM LOT WIDTH	150 FT.
MINIMUM LOT DEPTH	200 FT.
MINIMUM FRONT YARD SETBACK	9'
MINIMUM SIDEYARD SETBACK	20/50 FT.
MINIMUM REARYARD SETBACK	50 FT.
MAXIMUM BUILDING HEIGHT	35 FT.
MAXIMUM LOT COVERAGE	40%

(g) Gasoline pumps or other similar devices, shall not be located 50' from any street line

Lands of
GERALD A. MARION
Deed Liber 5182 Page 156

Lands of
HIGHLAND, NEW YORK
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Lands of
CONGREGATION OF JEHOVAH'S WITNESS
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EDGE OF BLACKTOP

BLACKTOP

PARKING

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