

# GENERAL NOTES

THE ARCHITECT AND HIS AUTHORIZED REPRESENTATIVES AND AGENTS SHALL HAVE ACCESS TO AND BE PERMITTED TO INSPECT ALL WORK MATERIALS AND OTHER RELEVANT DATA AND RECORDS WHEREVER THEY ARE IN PREPARATION AND PROGRESS. WHEN REQUESTED, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF THE AFOREMENTIONED DATA.

THE GENERAL CONTRACTOR WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.

ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENT DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S / CONTRACTOR'S ATTENTION PRIOR TO COMMENCEMENT OF WORK OR CONSTRUCTION, SO THAT CORRECTIVE MEASURES MAY BE TAKEN.

ANY UNFORESEEN CONDITIONS IN FIELD AFFECTING THE DESIGN CONCEPT OF THE BUILDING OR THAT ARE IN CONFLICT WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 EDITION AND ALL APPLICABLE NATIONAL, STATE, AND LOCAL RULES, REGULATIONS AND ORDINANCES.

ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND SHALL COORDINATE WORK OR CONSTRUCTION BETWEEN TRADES.

THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT SIX (6) PRINTS OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION, SUCH DRAWINGS SHALL SHOW THE DESIGN, DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO INSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE CONTRACTOR WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DIMENSION, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS, AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO WEEKS FOR REVIEW TIME.

PROVIDE 3-1/2" BATT SOUND INSULATION AT INTERIOR WALLS - BATHROOMS, BEDROOMS, LAUNDRY ROOMS ETC.

THE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR A COMPLETE ELECTRICAL, MECHANICAL, PLUMBING AND TELEPHONE SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMANCE WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION.

DIMENSIONS INDICATED ON THE PLANS ARE FROM FACE OF FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM ONLY. DO NOT SCALE DRAWINGS. DO NOT DEVIATE FROM THE WRITTEN DIM. MORE THAN 1" WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DEVIATION IS NOT PERMITTED WHERE "CLEAR" OR "HOLD" DIMENSIONS ARE INDICATED. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR SPECS.

THE INTERPRETATION OF DRAWINGS, SPECIFICATIONS, OR OTHER BIDDING DOCUMENTS SHALL NOT BE VERBALLY TO THE ARCHITECT. IF THE BIDDER IS IN DOUBT AS TO THE MEANING OF ANY DISCREPANCY OR CONFLICT HERE IN, THE BIDDER SHALL TELEPHONE OR SUBMIT IN WRITING TO THE ARCHITECT A REQUEST FOR INTERPRETATION. IN THE EVENT THAT THE BIDDER IS DEMANDED TO HAVE ESTIMATED, THEN THE MOST EXPENSIVE WAY OF PERFORMING THE WORK SHALL TAKE PRECEDENCE.

THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES.

THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF ALL SYSTEMS SO THAT THEY ARE COMPLETE AND FULLY FUNCTIONING (EXCEPT AS NOTED HEREIN).

DO NOT SCALE THE DRAWINGS.

ALL AREA CALCULATIONS ARE APPROXIMATE.

FIELD VERIFY ALL DIMENSIONS.

ALL INTERIOR FINISHES TO BE SUPPLIED BY CONTRACTOR AND APPROVED BY OWNER, UNO.

THE CONTRACTOR SHALL PROVIDE THE OWNER/ARCHITECT WITH A WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT.

THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER/ARCHITECT FOR THE ACTS AND OMISSIONS OF ITS COMPLETION OF THE WORK.

NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

DETAILS MARKED AS TYPICAL APPLY TO SIMILAR CONDITIONS INCLUDING CONDITIONS NOT SHOWN AS TYPICAL UNLESS AS SHOWN. CONTRACTOR SHALL NECESSARY FOR CONFORMANCE WITH APPLICATION.

PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE, WATERPROOF ALL WEATHER-EXPOSED SURFACES AND INSTALL ALL THERMAL BARRIERS AS TO FORM A COMPLETE INSULATING BLANKET AROUND THE HEATED AREAS OF THE BUILDING. INSULATE ALL HEAT-BEARING PIPES, DUCTS, OR OTHER FIXTURES THAT PENETRATE THE INSULATED BLANKET. INSTALL ALL OTHER WATER PIPES IN A MANNER TO PREVENT FREEZING. (NOTE: ALL PIPES TO BE ANCHORED TO UNDERSIDE OF STRUCTURAL SLAB & HAVE CONT. SLEEVING / PROTECTION THROUGHOUT UNDERGROUND).

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL METAL FASTENERS, NAILS, AND BOLTS TO BE HOT DIPPED GALVANIZED.

FLASHING, CRICKETS, DRIPS, ETC. TO BE 16 OZ. COPPER, OR SIMILAR MATERIAL TO ROOFING SYSTEM.

PROVIDE FIRE STOPPING AT ROOF, WALLS, AND CEILING AS REQUIRED.

ELEVATIONS ARE TAKEN FROM AN ASSUMED DATUM OF 0'-0" TOP OF CONCRETE SLAB. (14.9' NAVD). FOR GROUND LEVEL.)

THESE PLANS AS DRAIN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY CODE REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY, AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES. - NOTE ALL CEILING PENETRATIONS (LIGHTS, VENTS, ETC.) TO BE SEALED & EDGES AS PER FLORIDA BUILDING CODE 2020 EDITION.

ALL CBS EXTERIOR BLOCK WALLS TO RECEIVE "COREFILL 500" BY TAILORED FOAM OF FLORIDA & AFFRATED R-71 (MIN) INSULATION, WOOD STUD, (METAL STUDS) WALLS TO RECEIVE R-11 BATT, R-19 FOR 6" AND 8" WALLS INSULATION.

INSTALL PVC PLASTER STOPS AROUND PERIMETER OF ALL AREAS WHERE PLASTER ABUTS OTHER MATERIAL. STOPS SHALL BE CAREFULLY MITERED AT CORNERS. ALL EXTERIOR CORNERS AND WINDOW AND DOOR OPENING TO RECEIVE PVC CORNER BEADS.

ALL GYPSUM WALLBOARD TO BE SCREW APPLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION.

HEPTACHLOR, TECHNICAL CHLORODANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH EPA REGULATIONS. (ALL PRODUCTS TO BE NON-VOC).

DRYWALL PRODUCTS BY GOLD BOND, USG, CELOTEX, GEORGIA PACIFIC, MILCOR PRODUCTS ARE ACCEPTABLE.

ALL EXTERIOR DEPICATED PAINT COLORS TO BE SELECTED BY ARCHITECT AND OWNER. COLORS ON PLANS FOR PRICING PURPOSES ONLY. (PAINTING SUBCONTRACTOR TO PROVIDE PAINT SAMPLES).

ALL WORK MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE CLOSING DATE.

TRAFFIC, CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND DAILY OPERATIONS.

DISPOSAL, CONTRACTOR IS RESPONSIBLE FOR REMOVAL FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF ARCHITECT FOR SUBSTITUTIONS MADE IN SPECIFIED EQUIPMENT, MATERIALS AND COLORS.

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER.

CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL BE IN THE FORM OF REPAIRS OR REPLACEMENT OF THE WORK WHICH HAS BEEN DAMAGED OR REPLACED. ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS, CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.

ALL INTERIOR DEPICATED PAINT COLORS TO BE SELECTED BY ARCHITECT AND OWNER. COLORS ON PLANS FOR PRICING PURPOSES ONLY. (NOTE: ALL PRODUCTS TO BE NON-VOC).



3-D RENDERING NOTE: TREES AND VEGETATION ARE FOR CONCEPTUAL PURPOSES ONLY. SEE LANDSCAPE PLAN FOR ACTUAL PROPOSED LANDSCAPE.

## THE NORTH EDGE 1405 NORTH FEDERAL HIGHWAY APPLICABLE CODES DELRAY BEACH PALM BEACH COUNTY, FL OCCUPANCY CLASSIFICATION

### APPLICABLE CODES

- 2020 FLORIDA BUILDING CODE
- 2020 FLORIDA PLUMBING CODE
- 2020 FLORIDA ELECTRICAL CODE
- 2020 FLORIDA MECHANICAL CODE
- 2020 FLORIDA FIRE PREVENTION CODE 5TH EDITION-FLORIDA SPECIFIC NFPA-1
- 2020 NFPA-101 LIFE SAFETY CODE- FLORIDA SPECIFIC-NFPA-1
- 2017 NATIONAL ELECTRIC CODE (NFPA 70)
- 1991 FAIR HOUSING ACT

### OCCUPANCY CLASSIFICATION

GROUP 'R2' - RESIDENTIAL  
GROUP S-1/25,500 S.F.

### TYPE OF CONSTRUCTION

TYPE IV - UNPROTECTED / SPRINKLERED  
THREE STORY CONDOMINIUM  
GROUP 'S-1' (SPECIAL STORAGE) PARKING GARAGE

### SHEET SCHEDULE

SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE
S-1	SURVEY SCALE: 1" = 10'-0"	A5-00	AMENITY BUILDING FLOOR PLAN/ ROOF PLAN/ ELEV. SCALE: 3/16" = 1'-0"	TR-2	TREE DISPOSITION CHART NOT TO SCALE
ARCHITECTURAL		A1-00	BUILDING SECTIONS SCALE: 1/8" = 1'-0"	LF-1	LANDSCAPE PLAN SCALE: 1" = 10'-0"
A1-00	EXISTING SITE PLAN SCALE: 1" = 10'-0"	CIVIL		LF-2	PLANT LIST AND CALCULATIONS NOT TO SCALE
A1-01	PROPOSED SITE PLAN SCALE: 1" = 10'-0"	1 OF 3	SITE IMPROVEMENTS PLAN SCALE: 1" = 20'-0"	LF-3	SPECIFICATION AND DETAILS NOT TO SCALE
A1-02	SITE DETAILS SCALE: VARIES	2 OF 3	SITE IMPROVEMENTS PLAN SCALE: 1" = 10'-0"	IR-1	IRRIGATION HEAD LAYOUT PLAN SCALE: 1" = 10'-0"
A1-03	SITE DETAILS SCALE: VARIES	3 OF 3	PAVING & DRAINAGE DETAILS SCALE: N.T.S.	IR-2	IRRIGATION DETAILS AND SPECIFICATION NOT TO SCALE
A2-00	PROPOSED GROUND FLOOR PLAN SCALE: 1/8" = 1'-0"	4 OF 3	PAVING & DRAINAGE DETAILS SCALE: N.T.S.	PHOTOMETRIC	
A2-01	PROPOSED SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"	5 OF 3	GENERAL NOTES SCALE: N.T.S.	PS-1	PHOTOMETRIC SITE PLAN NIGHT MODE SCALE: 1/8" = 1'-0"
A2-02	PROPOSED THIRD FLOOR PLAN SCALE: 1/8" = 1'-0"	6 OF 3	WATER & WASTEWATER DETAILS SCALE: N.T.S.	PS-2	PHOTOMETRIC SITE PLAN DAY MODE SCALE: 1/8" = 1'-0"
A2-03	PROPOSED ROOF PLAN SCALE: 1/8" = 1'-0"	7 OF 3	WATER & WASTEWATER DETAILS SCALE: N.T.S.	PS-3	PHOTOMETRIC SITE PLAN EMERGENCY MODE SCALE: 1/8" = 1'-0"
A3-00	PROPOSED EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0"	8 OF 3	DEMOLITION PLAN SCALE: 1" = 10'-0"	PS-4	LUMINAIRE CUT-SHEETS SCALE: N.T.S.
A3-01	PROPOSED EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0"	9 OF 3	POLLUTION PREVENTION PLAN SCALE: 1" = 20'-0"		
A4-00	ENLARGED UNIT PLANS SCALE: 3/16" = 1'-0"	1 OF 1	COMPOSITE UTILITY PLAN SCALE: 1" = 20'-0"		
LANDSCAPE					
A4-01	ENLARGED UNIT PLANS SCALE: 3/16" = 1'-0"	TR-1	TREE DISPOSITION PLAN SCALE: 1" = 10'-0"		

CONTRACTOR SHALL FIELD MEASURE LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL BUILT-IN MILLWORK TO THE OWNER PRIOR TO FABRICATION. ENTIRE BUILDING SHALL BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.

EXIT AISLES SHALL BE MAINTAINED AT A 36" MIN. CLEAR.

ALL INTERIOR FINISHES SHALL COMPLY W/ F.B.C. 2020 FOR FLAME SPREAD RESTRICTIONS & LIFE SAFETY 101 2020 EDITION (CLASS AB & C).

NOTE: PRODUCTS BY ANY OF THE MANUFACTURERS ARE ACCEPTABLE COATINGS: BENJAMIN MOORE, SHERWIN WILLIAMS, PITTSBURGH, DUPOIN, & PORTER ARE CONSIDERED EQUAL. (ALL ARE TO BE NON-VOC).

CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE WARRANTIES, WARRANTIES AND OPERATING MANUALS.

THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH EACH OTHER TO PREVENT OVERTAPPING EACH OTHER. THE CONTRACTOR SHALL PROVIDE LABOR & MATERIALS NECESSARY TO MAINTAIN CONSTRUCTION SCHEDULING. THE SUB CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE SCHEDULE AS PROVIDED AND AGREED TO WITH THE CONTRACTOR PRIOR TO CONSTRUCTION.

ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE WORK MUST BE NEW AND UNUSED (UNO.) FIRST QUALITY, FREE FROM DEFECTS AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS FOR THE APPLICATION AT HAND. ALL WORKMANSHIP SHALL BE OF FIRST CLASS QUALITY.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS. VERIFY EXIST'G CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY. NO EXTRAS WILL BE GIVEN. REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSAL. - NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY AND ALL ABANDEN UNDER GROUND UTILITIES, PIPES, WIRES, TREE ROOTS, SEPTIC TANK ETC - PRIOR TO CONSTRUCTING SITE.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND OBTAIN ACCESS TO THE SITE WITH OWNER.

THE CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE COMPLETION OF THE WORK.

ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY THE ENGINEER/ARCHITECT MUST BE A CONDITION OF THE CONTRACT BETWEEN THE GEN. CONTRACTOR AND OWNER.

MAINTAIN FIRE RATINGS AT ALL PENETRATIONS OF RATED WALL AND FLOOR ASSEMBLIES I.E. MECHANICAL AND ELECTRICAL SERVICE RUNS.

ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION OF OWNER AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING WORK: MAKE-WAY/HOOK UP SCHEDULING OF ALL TRADES AND WORK (INCLUDING WORK OF OTHERS WHERE NO CONTRACTUAL RELATIONSHIP EXISTS).

PROVIDING BARRICADES, TEMPORARY POWER, LIGHTING, TELEPHONE SERVICES, ETC. AS REQ'D. TO COMPLETE WORK.

TEMPORARY UTILITIES, CONNECTIONS AND PAYMENT OF ALL UTILITY CHARGES DURING CONSTRUCTION.

COORDINATION WITH OWNER OR AGENT OF DELIVERY AND REMOVAL IF MATERIALS, EQUIPMENT, AND OTHER ITEMS TO / FROM SITE.

ISSUE ALL APPENDUMS, REVISIONS AND UPDATES TO SUBCONTRACTORS IN A TIMELY MANNER.

ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE ARCHITECT'S PROPERTY. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOBSITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNER'S RECORD COPY.

ALL WORK SHALL BE LAID OUT TRUE, SQUARE AND PLUMB TO EXACT AND CORRECT DIMENSIONS. IF DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER/ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT DIMENSIONAL ERRORS.

REMOVAL OF TRASH AND DEBRIS. PLACE IN DESIGNATED CONTAINERS AS DIRECTED BY OWNER/AGENT. REMOVE ALL TRASH FROM PREMISES.

CONTRACTOR SHALL PROVIDE CUT-SHEETS AND SPECIFICATIONS OF ALL ITEMS FOR SUBMISSION TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLING.

PRODUCT MANUFACTURERS INDICATED IN SCHEDULES AND/OR ON PLANS WERE SELECTED BASED UPON QUALITY, STYLE, SIZE, COLOR, ETC. AND ARE NOT INTENDED TO RESTRICT THE COMPETITIVE BIDDING. PRODUCTS EQUAL TO OR INTENDED TO BE USED AS SUBSTITUTES ARE SUBJECT TO ARCHITECT'S APPROVAL IN WRITING PRIOR TO PURCHASE OR INSTALLATION.

ALL DRYWALL PARTITIONS WILL BE TAPED, SPARKLED, SANDED, PRIMED AND PAINTED W/ LEVEL V FINISH.

CONCEAL ALL FASTENERS AND ATTACHMENTS FROM VIEW.

OWNER SHALL REVIEW THESE CONSTRUCTION DOCUMENTS AND VERIFY THAT THEY ARE CORRECT AND COMPLETE PRIOR TO BIDDING AND START OF CONSTRUCTION. OWNER SHALL APPROVE ALL MATERIAL AND FINISH SAMPLES ALONG WITH ALL EQUIPMENT SPECIFICATIONS PRIOR TO ORDERING AND INSTALLATION.

ALL DOORS & WINDOWS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLE TESTING REQUIREMENTS. - CONTRACTOR TO PROVIDE OWNER WITH CERTIFICATE OF ACCEPTANCE.

ALL INTERIOR WALLS THAT RECEIVE TILE MARBLE - TO BE BACKED W/ 5/8" 'DENS-SHIELD' OR EQUAL.

ALL WALKWAYS TO BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE. (MIN. 2% - SEE CIVIL DRAWINGS.)

PROVIDE ACCESS AS PER CODE TO A/C UNITS/DUCT WORK IN CEILING STRUCTURE/SPACE. (POST-TENSION SLABS) BAR JOIST MANUFACTURER & MECHANICAL SUB-CONTRACTOR TO COORDINATE ALL REQUIRED AC-DUCT WORK PENETRATIONS THROUGH THE ENTIRE STRUCTURE.

ALL INTERIOR PARTITIONS ARE TO BE 4" UNO.

ALL DOOR FRAMES TO BE LOCATED 6" FROM ADJACENT PARTITIONS, UNO.

ALL DRYWALL PARTITIONS WILL BE TAPED, SPARKLED, SANDED, PRIMED AND PAINTED (NOTE: PROVIDE WATER RESISTANT FIBREGLASS BOARD IN ALL BATHROOMS, KITCHENS, LAUNDRY RM / CLOSETS & TRASH CHUTE ROOMS/CLOSETS).

CONCEAL ALL FASTENINGS AND ATTACHMENTS FROM VIEW. ALL EXTERIOR EXPOSED WOOD WORK TO HAVE ALL FASTENERS AND ATTACHMENTS TO BE HIDDEN-SEE STRUCTURAL DRAWINGS.

CONTRACTOR TO PROVIDE DRAWINGS TO POST-TENSION SHELL CONTRACTOR, MECHANICAL SUBCONTRACTOR AND PLUMBING SUBCONTRACTOR TO COORDINATE ALL REQUIRED AC-DUCT & PLUMBING WORK PENETRATIONS THROUGH THE ENTIRE STRUCTURE.

ALL CEILING PENETRATIONS \* GROUND FLOOR THRU THE THIRD FLOOR TO BE PROTECTED W/ MIN. 1HR FIRE SEPARATION. - (NOTE: ALL SANITARY LINES TO BE CAST-IRON).

ALL 1HR RATED COMMON WALLS & 2HR SHAFT WALLS TO HAVE 1 7/8" METAL FURRING TO ALLOW FOR ELECTRICAL OUTLETS. CONTRACTOR TO COORDINATE W/TRADES.

CONTRACTOR TO PROVIDE BACKING IN ALL BATHROOM WALLS AS PER FLAIR HOUSING ACT & COMPLY W/ UNIT TYPE 'B' USABILITY. SEE FLOOR UNIT FLOOR PLANS AND TYPICAL DETAILS.

ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED 1/2" THICK FIBERGLASS PIPE INSULATION (SEE PLUMBING DRAWINGS).

WATER TEST TO BE CONDUCTED AT RANDOMLY SELECTED EXTERIOR WINDOW AND DOOR ASSEMBLIES AT INITIAL CONSTRUCTION PHASE TO CONFIRM WATER INFILTRATION ISSUES. IF WINDOWS OR DOORS FAIL, CONTRACTOR WILL BE RESPONSIBLE FOR COST OF TESTS & CORRECTION OF DOORS & WINDOWS.

ALL REQUIRED EXTERIOR ATTACHEMENTS FOR BALCONY RAILING POST, DECORATIVE BRACKETS, ETC. WHICH REQUIRE CORE DRILLING INTO CONCRETE SLAB FLOOR SYSTEM (POST-TENSION) SHALL RECEIVE WATERPROOF SEALANT PRIOR TO INSERTION OF POST/STRUCTURE.

THE CONTRACTOR SHALL COORDINATE WITH FP&L AND ALL OTHER UTILITY COMPANIES WITH REGARD TO THE RELOCATION OF POWER POLES AROUND THE ENTIRE PROPERTY (IF APPLICABLE).

THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR A COMPLETE ELECTRICAL, MECHANICAL AND PLUMBING SYSTEMS TO MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMANCE WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION. DIMENSIONS INDICATED ON THE PLANS ARE FROM FACE OF FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM. ONLY. DO NOT SCALE DRAWINGS. DO NOT DEVIATE FROM THE WRITTEN DIM. MORE THAN 1" WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DEVIATION IS NOT PERMITTED WHERE "CLEAR" OR "HOLD" DIMENSIONS ARE INDICATED. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR SPECS.

PRIOR TO PLACEMENT OF ANY STUCCO OVER CONCRETE SURFACES, SUCH SURFACES SHALL BE TREATED WITH BONDING AGENT APPLIED IN FULL CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS.

CURE ALL APPLIED STUCCO WITH FOG SPRAYED WATER FOR SEVERAL DAYS AFTER APPLICATION. PRIOR TO PAINTING EXTERIOR: ALL HAIRLINE CRACKS SHALL BE FILLED & CAULKED. (STUCCO SUBCONTRACTOR TO PROVIDE 4'-0" x 4'-0" SAMPLE FOR APPROVAL FOR TEXTURE).

### FIRE DEPARTMENT REQUIREMENT

ENTIRE BUILDING TO BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM. CONTRACTOR TO PROVIDE SIGNED & SEALED SHOP DRAWINGS ON AUTOMATIC FIRE SPRINKLER SYSTEM.

ALL INTERIOR FINISHES SHALL COMPLY W/ F.B.C. 2020 FOR FLAME SPREAD RESTRICTIONS & NFPA 101 2020 EDITION (CLASS AB & C).

MAINTAIN FIRE RATING AT ALL PENETRATIONS OF RATED WALL AND FLOOR ASSEMBLIES I.E. MECHANICAL AND ELECTRICAL SERVICE RUNS.

SEE FLOOR PLAN FOR LOCATION OF 5 LB. (ABC) RATING FIRE EXTINGUISHER. TOP OF EXTINGUISHERS MAX. 40" ABOVE TOP OF FLOOR. THERE SHALL BE MIN. (2) PER FLOOR LOCATED NEAR EACH STAIRWELL - FOR PRICING PURPOSES USE RECESSED CABINETS- 'LARSEN'S' SOLID DOOR W/BLACK TYPE A- DIECUT LETTERING (ALUMINUM) #80-2409 OR EQUAL.

EXIT AISLES SHALL BE MAINTAINED AT A 36" MIN. CLEAR.

EGRESS DOORS AND PATH OF EGRESS NOTES

REQUIRED DOORS SHALL SWING IN THE DIRECTION OF TRAVEL TO THE EXIT DISCHARGE. ALL REQUIRED EXIT DOORS SHALL BE CLEARLY MARKED AND SHALL NOT BE CAPABLE OF BEING LOCKED AGAINST EGRESS. ALL ELECTRONIC LOCKING DEVICES SHALL RELEASE UPON ACTIVATION OF THE BUILDING FIRE ALARM OR SMOKE/HEAT DETECTION DEVICES OR OTHER MEANS THAT DO NOT REQUIRE AN HUMAN ACTION IF ALARM OR SMOKE DETECTOR IS NOT INSTALLED IN THIS OCCUPANCY. OWNER FAILURE SHALL ALSO RELEASE LOCKS. ALL REQUIRED EXIT DOOR THRESHOLDS SHALL BE LEVEL ON BOTH SIDES OF THE DOOR FOR AT LEAST THE WIDTH OF THE DOOR THAT SERVES THE EXIT. THE EXIT DISCHARGE SHALL LEAD DIRECTLY TO A PUBLIC WAY ALONG A LEVEL, STABLE PATH. NFPA 101, 2020.

NEW FIRE DEPARTMENT CONNECTION AND HYDRANTS

ALL FIRE DEPARTMENT CONNECTIONS, HYDRANTS AND ACCESS POINT SHALL BE FREE OF DEBRIS OR OTHER OBSTRUCTIONS FOR EASY ACCESS AT ALL TIMES. ROADWAYS SHALL HAVE A 12'-0" WIDE LANE AT ALL TIMES. FAILURE TO COMPLY WILL RESULT IN THE SITE SHUT DOWN UNTIL COMPLIANCE IS OBTAINED, AND POSSIBLE FINES. FIRE LANES SHALL BE MARKED IN FRONT OF ALL EXITS FOR A DISTANCE OF AT LEAST 20'-0" ON EITHER SIDE OF THE CONNECTION. ALL FDC'S SHALL HAVE A PLACARD THAT DESIGNATES WHAT PORTION OF THE SYSTEM THEY SERVE. THEY SHALL BE PAINTED RED AND HAVE ALL PERTINENT HYDRAULIC INFORMATION PERMANENTLY AFFIXED TO THEM. BUILDINGS WITH MULTIPLE RISERS, SYSTEM SHALL BE INTERCONNECTED SO THAT ANY CONNECTION FEEDS ALL SPRINKLERS AND/OR STANDPIPES.

EXIT LIGHTS

PROVIDE EXIT LIGHTS ALONG THE PATH OF EGRESS SO THAT FROM ANY PLACE IN THE ROOM OR BUILDING, THE WAY TO AN EXIT IS ALWAYS VISIBLE. THIS WILL BE TESTED AT TIME OF C.O. INSPECTION. ALL REQUIRED EXITS SHALL BE KEPT ACCESSIBLE AND CLEAR AT ALL TIMES. NUMBERS OF EXITS MUST BE SUFFICIENT FOR THE DESIGN OF THIS SPACE. EXIT SIGNS MUST BE OVER ALL REQUIRED EXIT DOORS, AND DOOR BANKS SERVING AS EXITS AND OVER CORRIDOR ENTRANCES THAT LEAD TO AN EXIT. ANY DOOR WITH AN EXIT SIGN WILL BE TREATED AS AN EXIT AND WILL BE HELD TO THE SAME STANDARDS AS A REQUIRED EXIT.

CONTRACTOR	SURVEYOR	CIVIL ENGINEER	LANDSCAPE ARCHITECT	PHOTOMETRICS	ARCHITECTS
SEASIDE BUILDERS 185 NORTHEAST 4TH AVE, SUITE 104 Delray Beach, FL. 33483	O'BRIEN, SUITER & O'BRIEN 955 NW 17 AVE, SUITE K-1 Delray Beach, FL. 33445	ENVIRODESIGN ASSOCIATES 298 PINEAPPLE GROVE WAY Delray Beach, FL. 33444	AGTLAND LANDSCAPE ARCHITECTURE 132 NORTH SWINTON AVE Delray Beach, FL. 33444	TYEC 9005 CLIENT MOORE ROAD, SUITE 142 Boca Raton, FL. 33487	ge architecture, inc. 1045 e. atlantic ave. delray beach, fl. 33483 fl. lic. AA-26002044
PH. (561) 272-9958 FAX (561) 272-8941	PH. (561) 276-4501 FAX (561) 276-2390	PH. (561) 274-8500 FAX (561) 274-8558	PH. (561) 276-5050	PH. (561) 274-0200	PH. (561) 276-6011 FAX (561) 276-6129



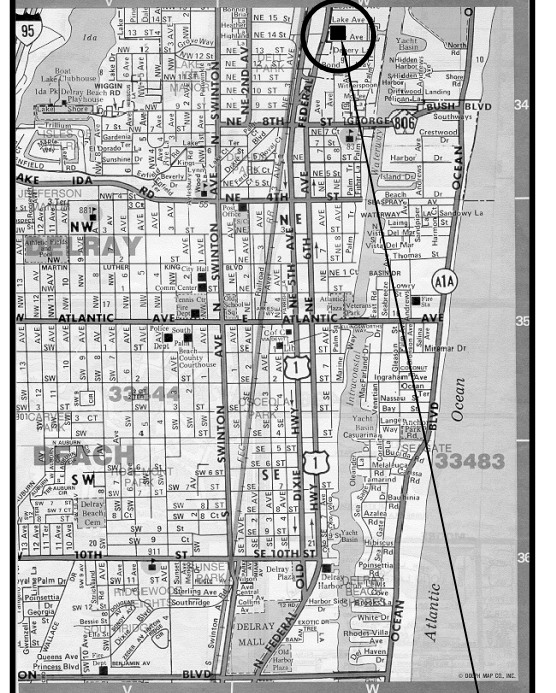
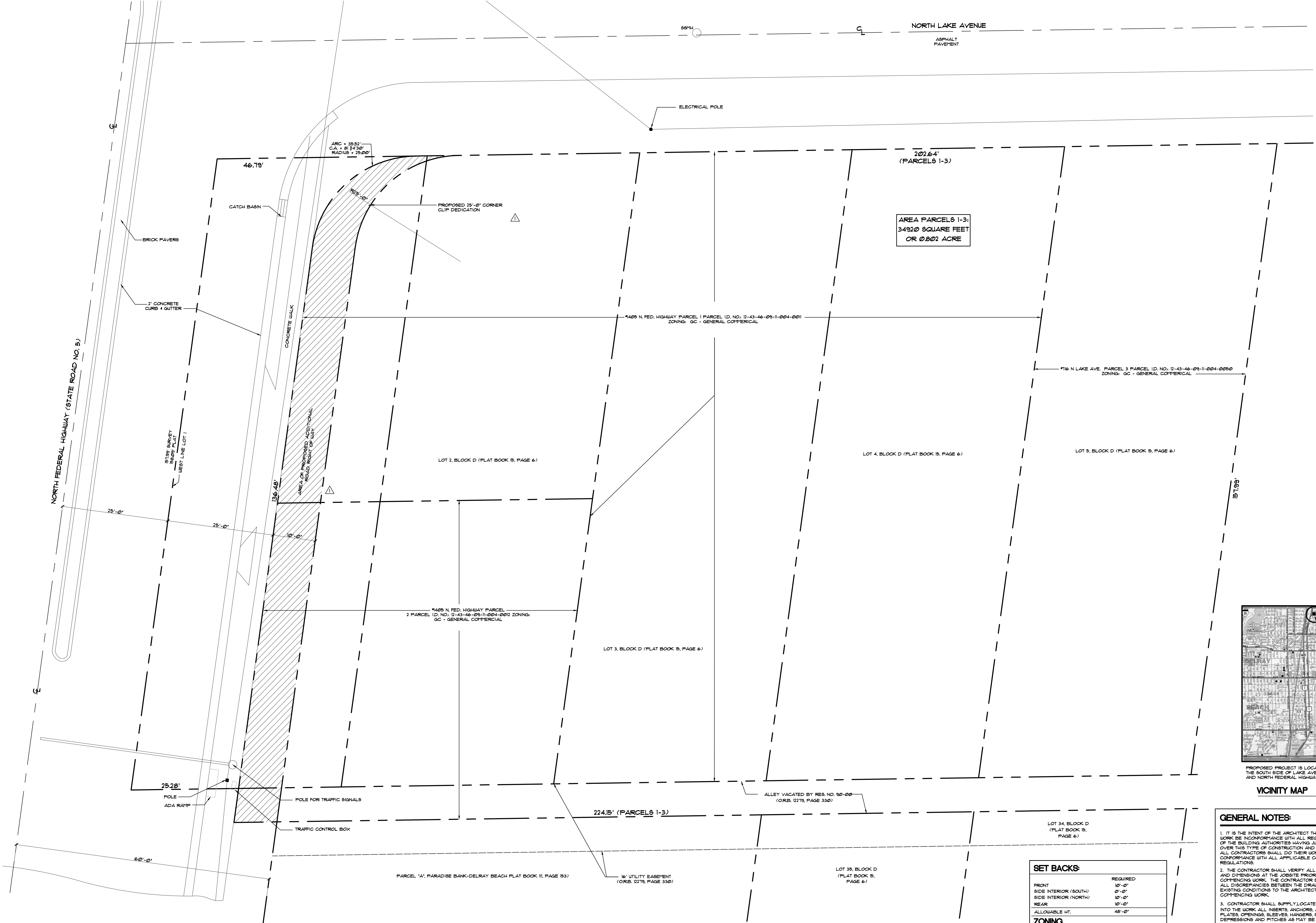
REVISED 12/01/22  
AS PER DEVELOPMENT SERVICES  
COMMENTS:  
1. UPDATED RENDERING AND  
ADDED RENDERING NOTE.

THIS DRAWING IS NOT FOR CONSTRUCTION,  
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REVIEW AND/OR PRELIMINARY PRICING.

12/01/2022 11:27:56 AM

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PROPOSED PROJECT IS LOCATED ON THE SOUTH SIDE OF LAKE AVE NORTH AND NORTH FEDERAL HIGHWAY.

VICINITY MAP

**SET BACKS:**

	REQUIRED
FRONT	10'-0"
SIDE INTERIOR (SOUTH)	0'-0"
SIDE INTERIOR (NORTH)	10'-0"
REAR	10'-0"
ALLOWABLE HT.	48'-0"

**ZONING (GC) DISTRICT**

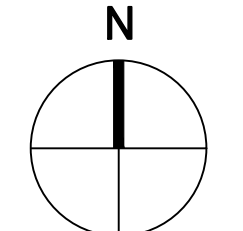
**DESCRIPTION:**  
 LOTS 1 THROUGH 5, INCLUSIVE, BLOCK D AND THAT PORTION OF THE NORTH HALF OF THE ABANDONED ALLEY RIGHT OF WAY LYING SOUTH OF AND ADJACENT THERETO LESS THE WEST 25.0 FEET THEREOF AND THE ADDITIONAL ROAD RIGHT OF WAY FOR NORTH FEDERAL HIGHWAY (STATE ROAD NO. 5), LAHAGUENDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 15, PAGE 6, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**GENERAL NOTES:**

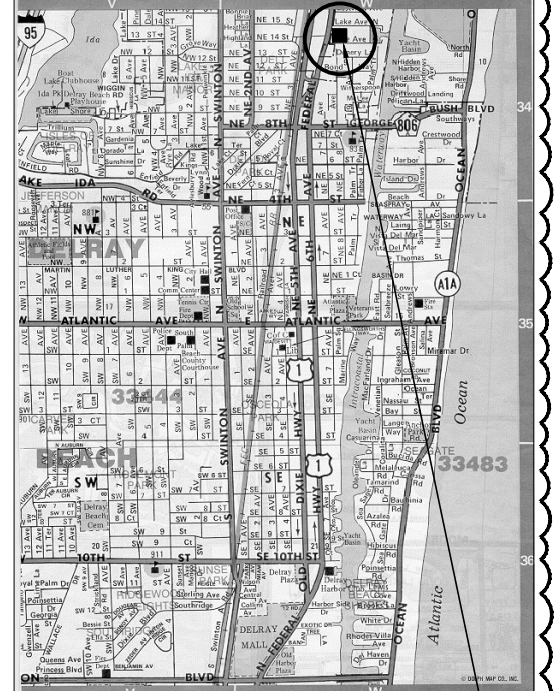
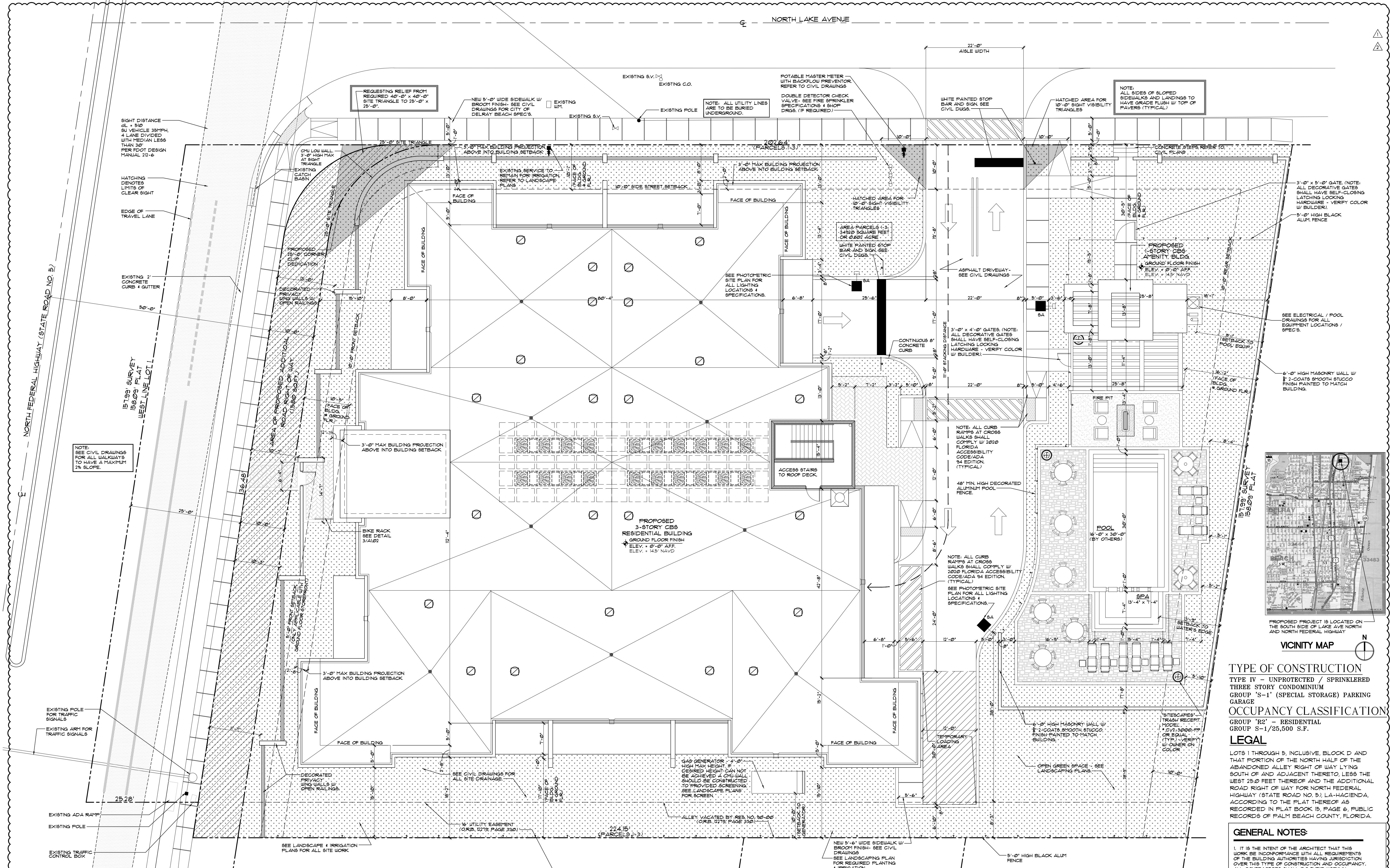
- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

**NOTES:**

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY IN DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.



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**TYPE OF CONSTRUCTION**  
 TYPE IV - UNPROTECTED / SPRINKLERED  
 THREE STORY CONDOMINIUM  
 GROUP 'S-1' (SPECIAL STORAGE) PARKING GARAGE

**OCCUPANCY CLASSIFICATION**  
 GROUP 'R2' - RESIDENTIAL  
 GROUP S-1/25,500 S.F.

**LEGAL**  
 LOTS 1 THROUGH 5, INCLUSIVE, BLOCK D AND THAT PORTION OF THE NORTH HALF OF THE ADJACENT ALLEY RIGHT OF WAY LYING SOUTH OF AND ADJACENT THERETO, LESS THE WEST 25.0 FEET THEREOF AND THE ADDITIONAL ROAD RIGHT OF WAY FOR NORTH FEDERAL HIGHWAY (STATE ROAD NO. 5), LA-HACIENDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 15, PAGE 6, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**GENERAL NOTES:**

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLABS, DEPRESSIONS AND FITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.
- A CCTV OR CAMERA SECURITY SYSTEM TO BE INSTALLED TO MONITOR MAIN AND APARTMENT BLDG. (PARKING GARAGES, LOBBIES, ENTRANCES, AND POOL DECKS). (NOTE: ENTIRE SYSTEM TO BE MONITORED BY ON SITE PROPERTY MANAGER AND OR SECURITY COMPANY).

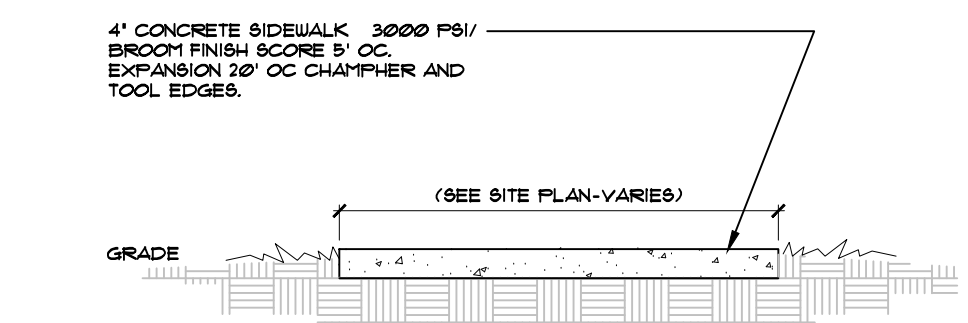
**PROPOSED SITE PLAN**

SCALE: 1" = 10'-0"

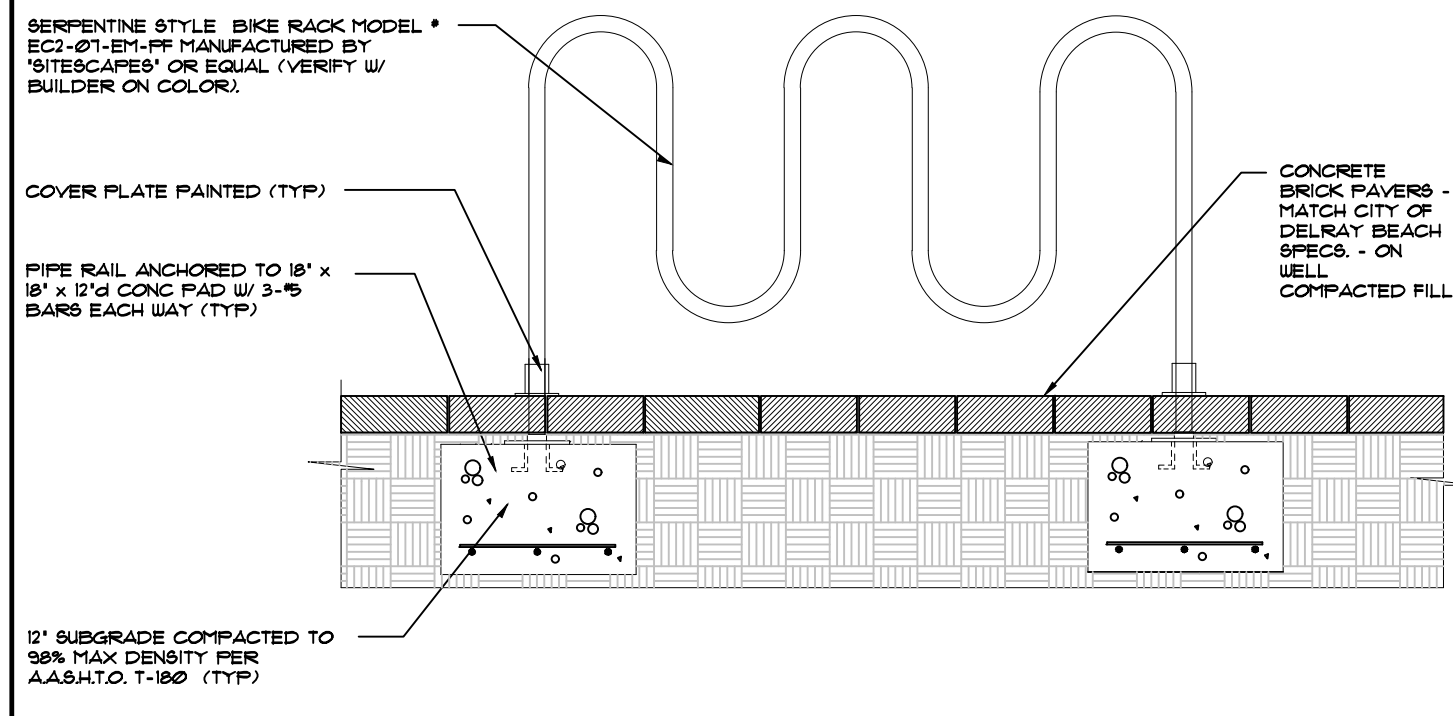
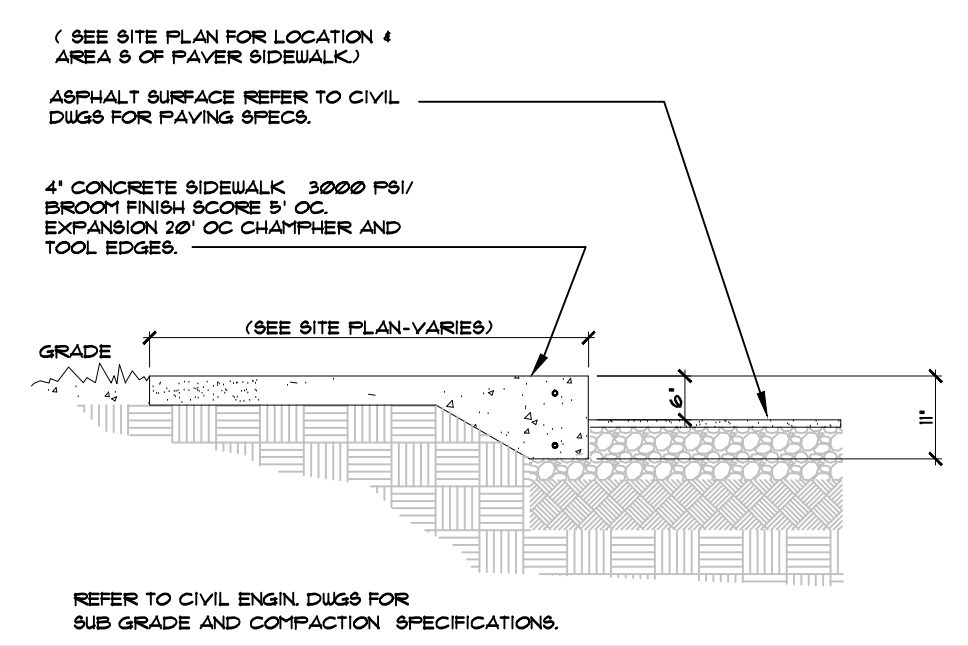
ZONING		GC - GENERAL COMMERCIAL	
<b>PARKING:</b>			
PROPOSED THREE STORY CONDO BUILDING			
2.0 SPACES PER UNIT (2 x 9 UNITS) = 18 SPACES			
GUEST PARKING FOR THE FIRST 20 UNITS AT 3 SPACES (3 x 3 UNITS) = 45 SPACES			
TOTAL SPACES REQUIRED: 22.5 SP - 23 SPACES			
TOTAL SPACES PROVIDED:			
STANDARD	18' x 9'	11	(71% OF SITE)
COMPACT	16' x 8'	1	(5% OF SITE)
H.C.	18' x 11'	2	
TOTAL SPACES PROVIDED: 26 SPACES			
LEGEND:		ZONING	
	GRASS / LANDSCAPING - SEE LANDSCAPING DRAWINGS	GC	PROPOSED SETBACK:
	CONCRETE WALKWAY - SEE CIVIL DRAWINGS	FRONT	10'-0"
	CONCRETE PAVERS (VERIFY W/ OWNER - SEE CIVIL DGS)	SIDE INT.	11'-10"
		SIDE STREET	10'-0"
		REAR	10'-0"
		REAR	16'-0"
		ALLOWABLE HT.	48'-0"
		HT.	35'-11 1/2" TOP OF ROOF ABOVE AVERAGE GROUND OR ROAD

RESIDENTIAL A/C AREA CALCULATIONS		OVERALL GROSS AREA CALCULATIONS	
SUITE 200	THREE BEDROOM	2,436 A/C SQ. FT.	13,348 SQ. FT.
SUITE 201	THREE BEDROOM	2,410 A/C SQ. FT.	13,932 SQ. FT.
SUITE 202	TWO BEDROOM	2,249 A/C SQ. FT.	13,892 SQ. FT.
SUITE 203	TWO BEDROOM	2,203 A/C SQ. FT.	18' SQ. FT.
SUITE 204	THREE BEDROOM	2,108 A/C SQ. FT.	41,233 SQ. FT.
APPROX. TOTAL A/C AREA:		11,663 SQ. FT.	81 SQ. FT.
			TOTAL GROSS BLDG AREA (MAIN BLDG + APARTMENT BUILDING): 41,310 SQ. FT.

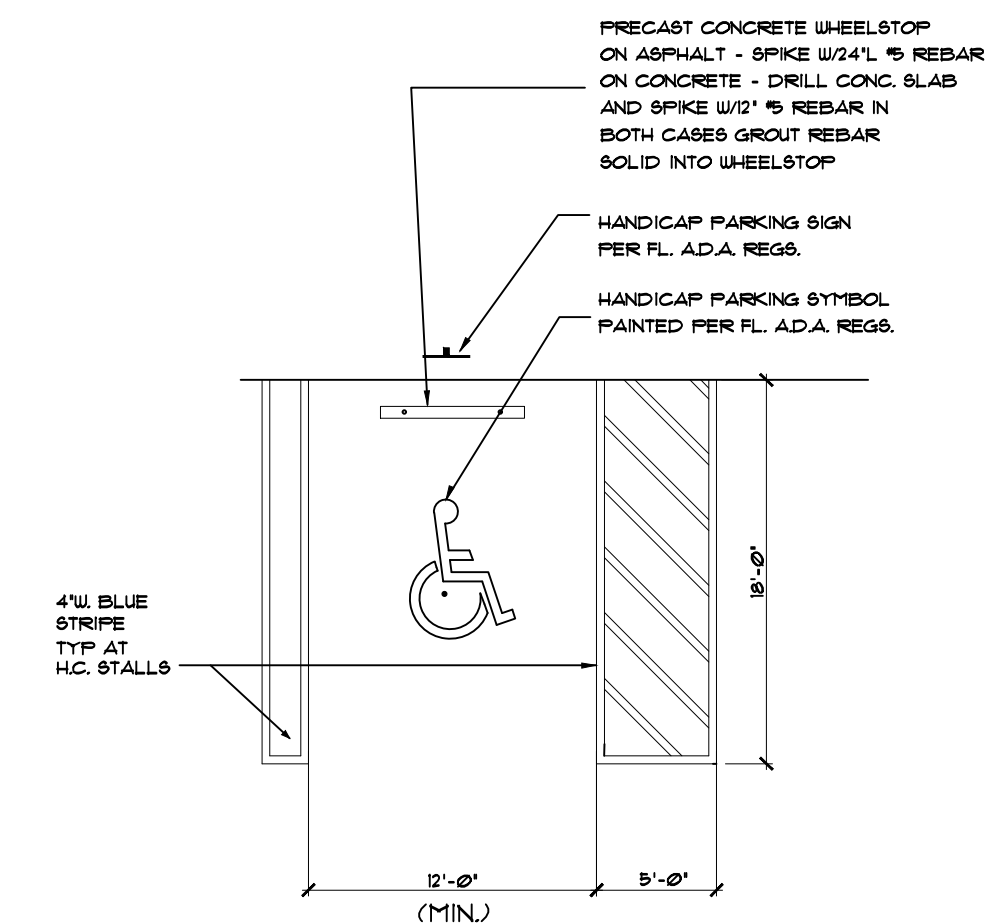
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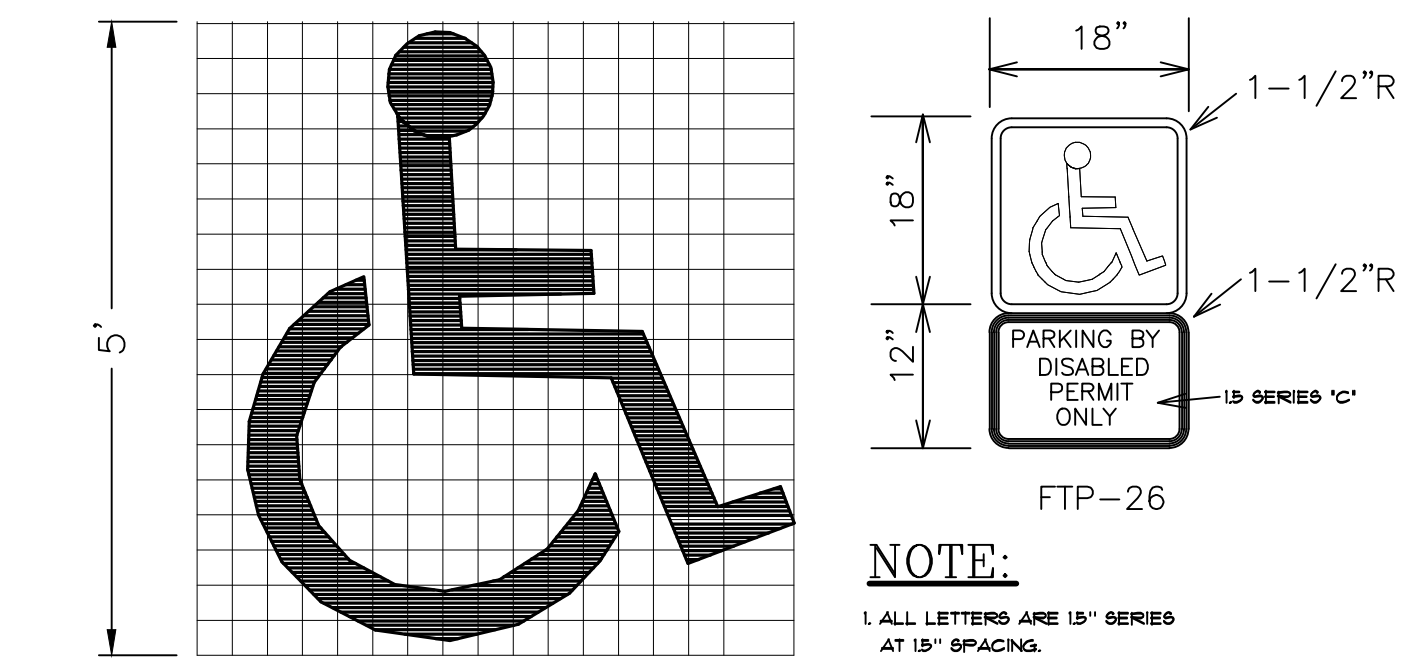
**TYPICAL SIDEWALK**



**3 EXTERIOR BIKE RACK DETAIL**



**2 TYP. HANDICAP PARKING SPACE DETAIL**



**1 SIGNAGE**

A102 SCALE: 1/8" = 1'-0"

**5 NOT USED**

A102 SCALE: 3/8" = 1'-0"

**6 NOT USED**

A102 SCALE: 3/8" = 1'-0"

**7 NOT USED**

A102 SCALE: 3/8" = 1'-0"

**8 NOT USED**

A102 SCALE: 3/8" = 1'-0"

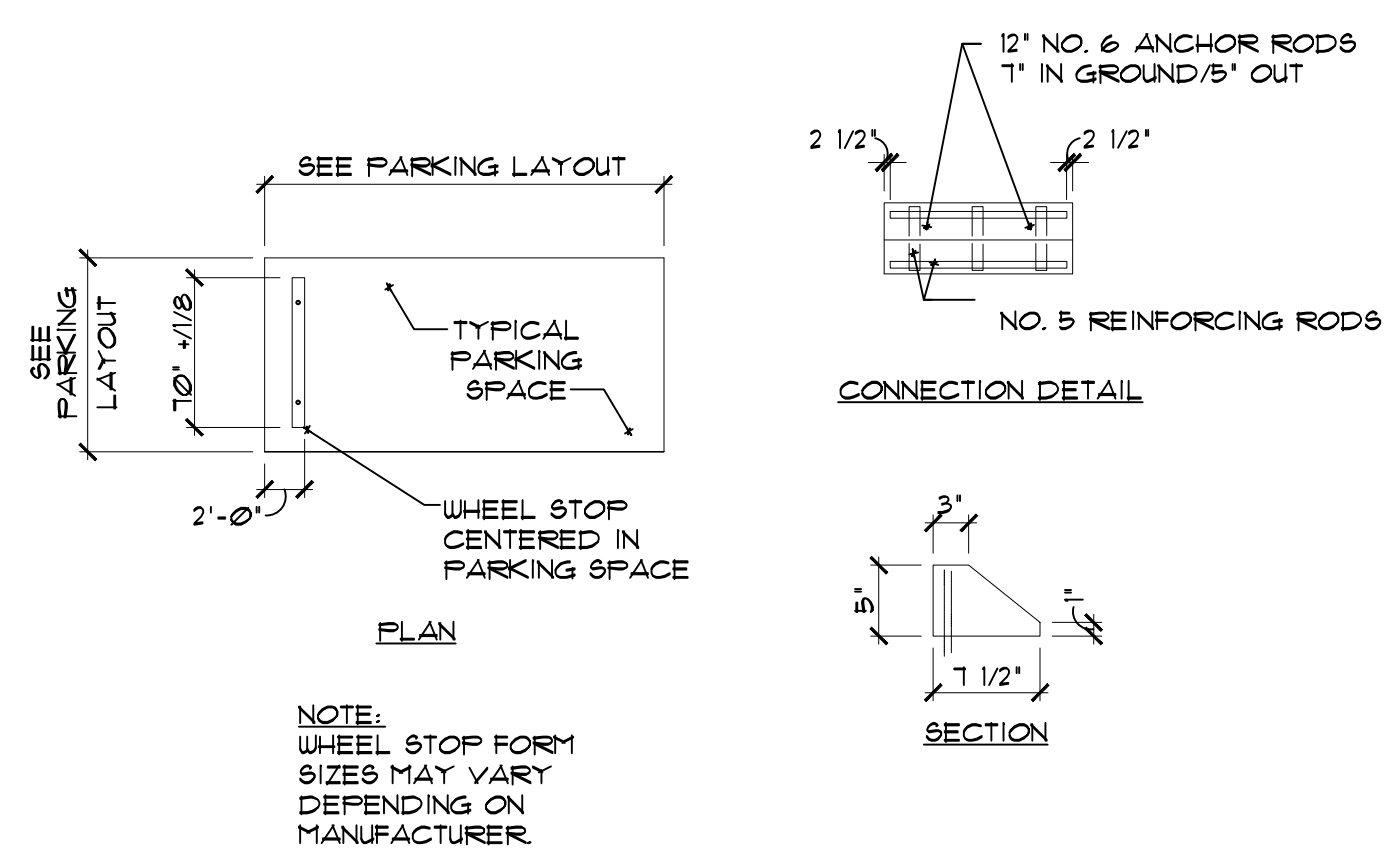
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A102 SCALE: 3/8" = 1'-0"

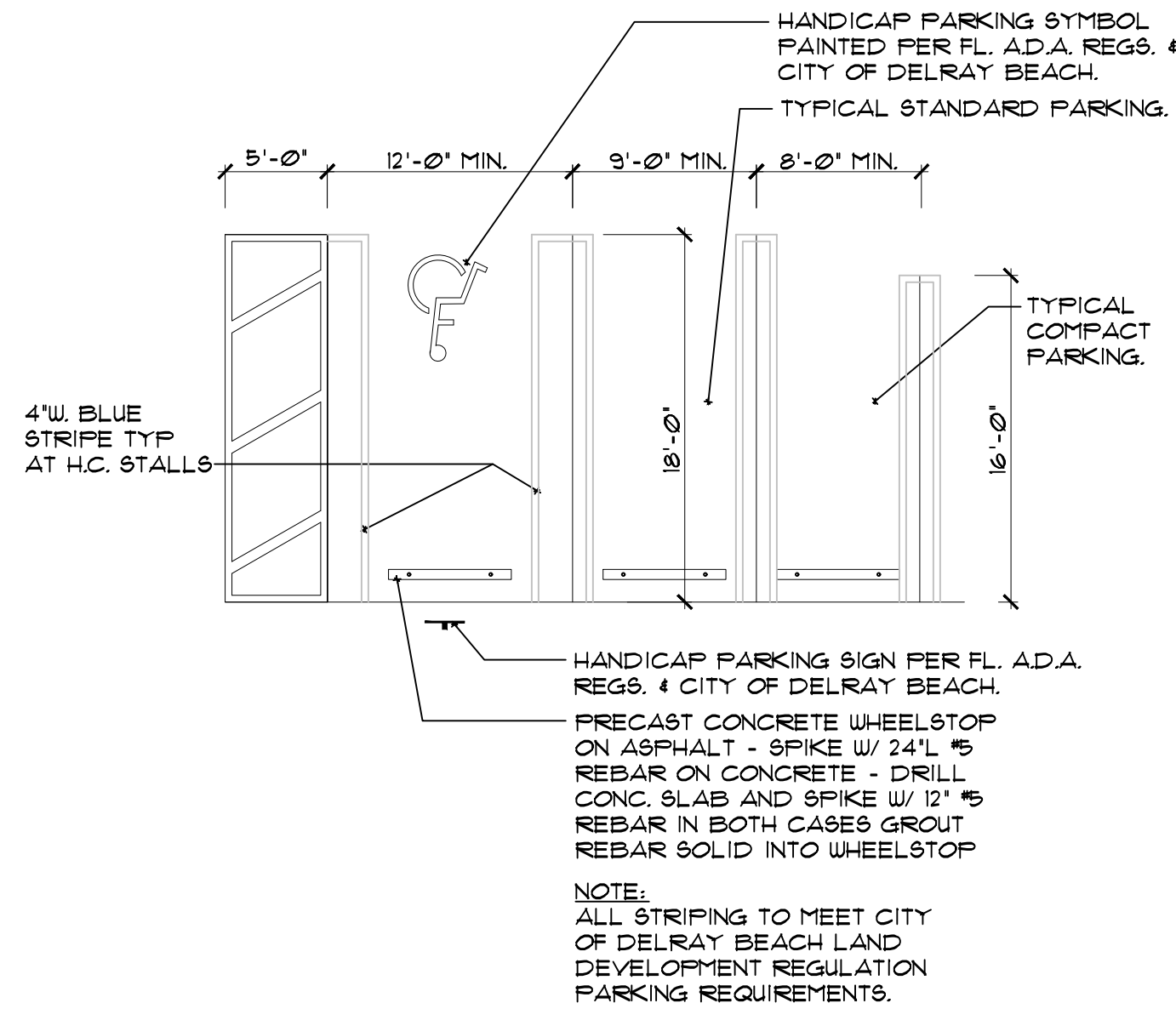
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A102 SCALE: 3/8" = 1'-0"

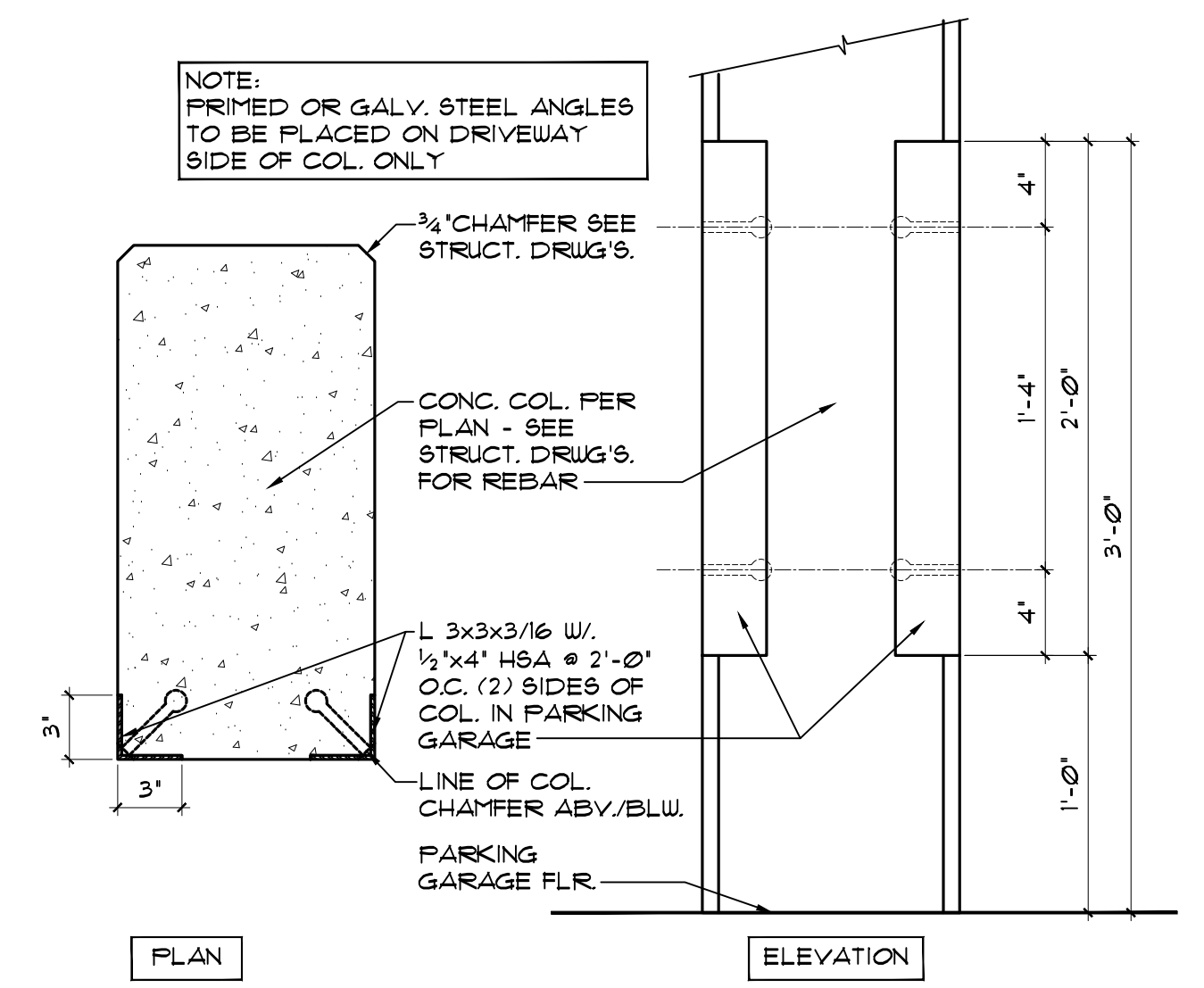
12/1/2022 10:24:33 AM



**1 WHEEL STOP DETAIL**  
A103 SCALE: N.T.S. (SEE CIVIL DRAWINGS)



**2 TYPICAL PARKING SPACE DETAIL**  
A103 SCALE: N.T.S.



**3 COLUMN CORNER GUARDS**  
A103 SCALE: N.T.S.

**5 NOT USED**  
A103

**6 NOT USED**  
A103

**7 NOT USED**  
A103

**4 NOT USED**  
A103

**8 NOT USED**  
A103

**9 NOT USED**  
A103

**10 NOT USED**  
A103

**11 NOT USED**  
A103

**12 NOT USED**  
A103



architecture, planning and design

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DeLray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

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BIDS  
PERMIT: 012122  
CONSTRUCTION

PROJECT TITLE  
**THE NORTH EDGE**

**1405 N. FEDERAL HWY  
DELRAY BEACH, FL**

REVISIONS

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FILE NUMBER: **222A103**

DRAWING TITLE: **SITE DETAILS**

DATE: **7.25.22** | DRAWN BY: **JH**  
JOB NUMBER: **20220222**

DRAWING NUMBER

**A1.03**

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- REVISIONS
- 1. REVISED 12/22 AS PER DEVELOPMENT SERVICES COMMENTS
  - 1. UPDATED FOOTPRINT OF THE BUILDINGS
  - 2. UPDATED PERGOLA TO BE OPEN AIR
  - 3. LABELED GENERATOR HEIGHTS
  - 4. MOVED LOADING ZONE
  - 5. UPDATED AND ADDED CROSSWALK AND SIDEWALK
  - 6. UPDATED NORTH DRIVE TO BE 11'-0" WIDE AND ADDED ONE WAY ARROW.
  - 7. ADDED ADDITIONAL DIMENSIONS TO PLAN
  - 8. UPDATE PLAN FOR STAIR #2 NEW LOCATION

- REVISIONS
- 1. REVISED 12/01/22 AS PER DEVELOPMENT SERVICES COMMENTS
  - 1. REDUCED SIZE OF PAVILION
  - 2. REMOVED OUTDOOR KITCHEN / PERGOLA

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FILE NUMBER  
**222A200**

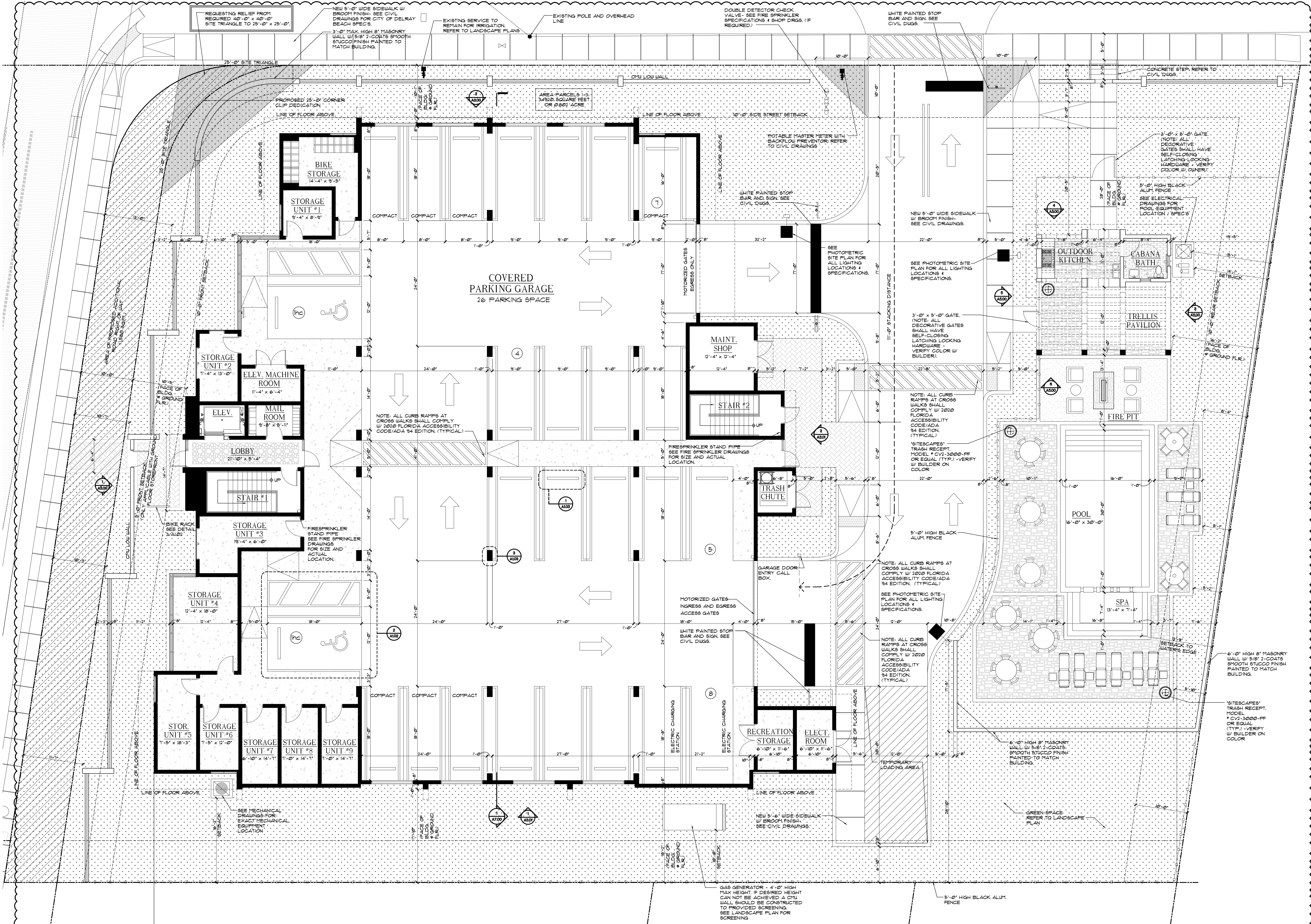
DRAWING TITLE  
**PROPOSED GROUND FLOOR PLAN**

DATE: **4.21.22** | DRAWN BY: **GE**  
 JOB NUMBER: **20220222**

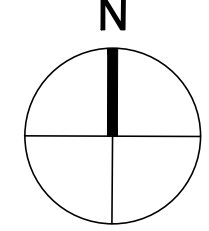
DRAWING NUMBER

**A2.00**

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**1 PROPOSED GROUND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



FLOOR AREA	
THREE STORY CONDO GROUND FLOOR AREA:	13,248 SQ.FT.
ONE STORY AMENITY BUILDING	81 SQ.FT.

12/1/2022 11:56:59 AM



architect, planner and designer

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PERMIT: 012122  
CONSTRUCTION

PROJECT TITLE  
**THE NORTH EDGE**

**1405 N. FEDERAL HWY  
DELRAY BEACH, FL.**

REVISIONS  
REVISOR: 1/23/22  
DATE: 1/23/22  
1. RE-DESIGNED EAST SIDE OF BUILDING FOR NEW STAIRWELL/TRASH CHUTE LOCATION  
2. UNIT 200/202 PORCHES REDUCED IN SIZE  
3. ADDED AREA CHART

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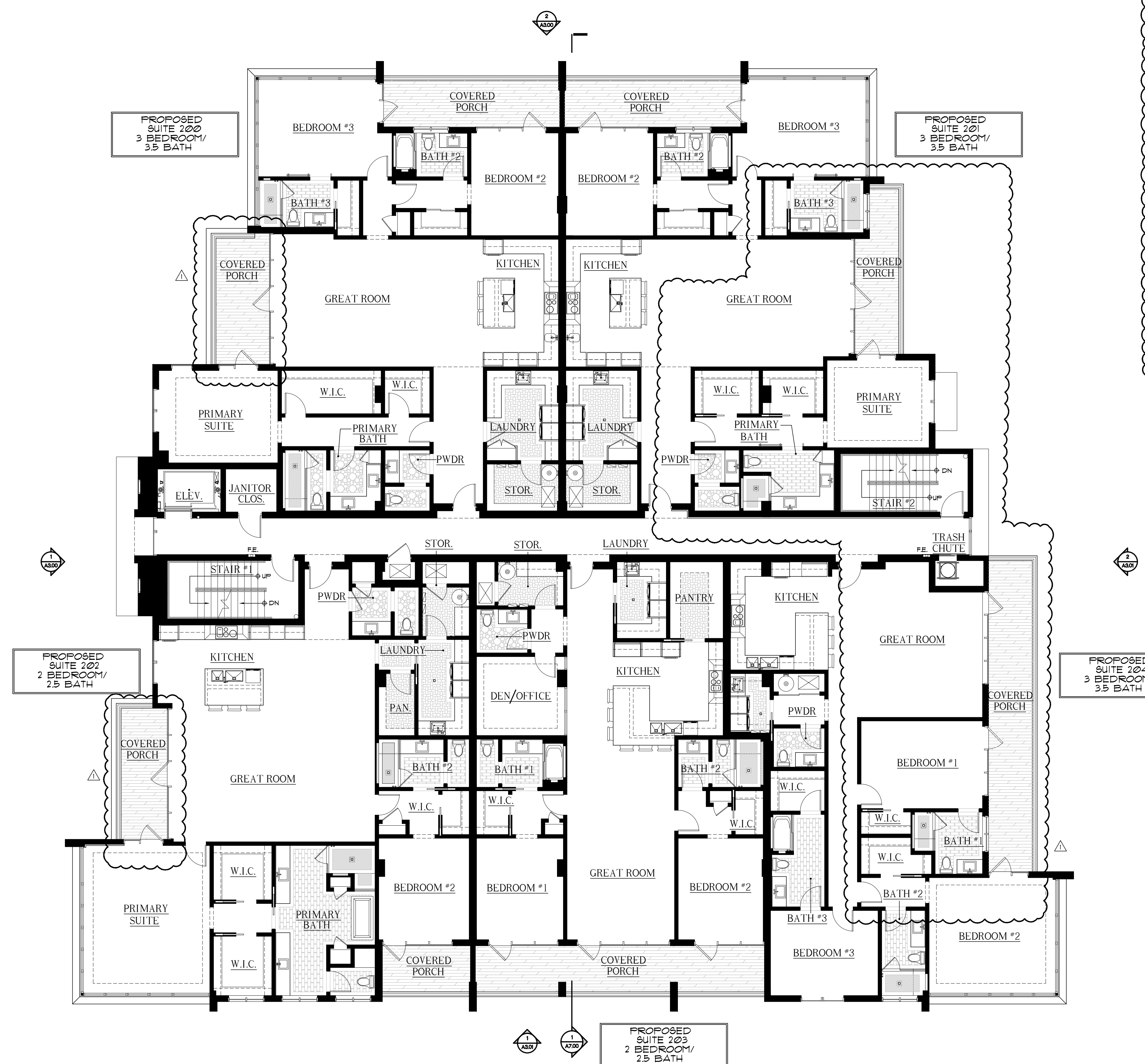
FILE NUMBER: **222A201**

DRAWING TITLE: **PROPOSED SECOND FLOOR PLAN**

DATE: **4.21.22** | DRAWN BY: **GE**  
JOB NUMBER: **20220222**  
DRAWING NUMBER:

**A2.01**

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UNIT 200: AREA CALCULATIONS	
A/C FLOOR AREA	2,496 S/F
COVERED PORCH #1	172 S/F
COVERED PORCH #2	144 S/F
TOTAL A/C FLOOR AREA	2,496 S/F
TOTAL FLOOR AREA UNDER ROOF	2,892 S/F

UNIT 201: AREA CALCULATIONS	
A/C FLOOR AREA	2,410 S/F
COVERED PORCH #1	172 S/F
COVERED PORCH #2	140 S/F
TOTAL A/C FLOOR AREA	2,410 S/F
TOTAL FLOOR AREA UNDER ROOF	2,722 S/F

UNIT 202: AREA CALCULATIONS	
A/C FLOOR AREA	2,549 S/F
COVERED PORCH #1	129 S/F
COVERED PORCH #2	81 S/F
TOTAL A/C FLOOR AREA	2,549 S/F
TOTAL FLOOR AREA UNDER ROOF	2,769 S/F

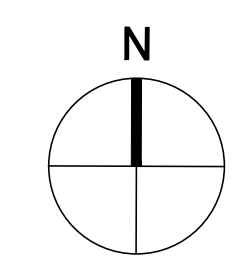
  

UNIT 203: AREA CALCULATIONS	
A/C FLOOR AREA	2,003 S/F
COVERED PORCH	279 S/F
TOTAL A/C FLOOR AREA	2,003 S/F
TOTAL FLOOR AREA UNDER ROOF	2,282 S/F

UNIT 204: AREA CALCULATIONS	
A/C FLOOR AREA	2,108 S/F
COVERED PORCH	289 S/F
TOTAL A/C FLOOR AREA	2,108 S/F
TOTAL FLOOR AREA UNDER ROOF	2,397 S/F

**1 A2.01 PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



- NOTES:**
- DO NOT SCALE DRAWINGS!
  - FIELD VERIFY ALL DIMENSIONS!
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY IN DRAWINGS. (SEE GENERAL NOTES)
  - ALL AREA CALCULATIONS ARE APPROX.

1/21/2022 10:21:39 AM



architect, planner and designer

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 Delray Beach, Florida 33483  
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 BIDS  
 PERMIT: 012122  
 CONSTRUCTION

PROJECT TITLE  
**THE NORTH EDGE**

**1405 N. FEDERAL HWY DELRAY BEACH, FL.**

REVISIONS  
 1. RE-DESIGNED EAST SIDE OF BUILDING FOR NEW STAIRWELL/TRASH CHUTE LOCATION  
 2. UNIT 300/301 PORCHES REDUCED IN SIZE  
 3. ADDED AREA CHART

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FILE NUMBER **222A202**

DRAWING TITLE  
**PROPOSED THIRD FLOOR PLAN**

DATE **4.21.22** | DRAWN BY **GE**  
 JOB NUMBER **20220222**

DRAWING NUMBER

**A2.02**

UNIT 300: AREA CALCULATIONS	
A/C FLOOR AREA	2,496 S.F.
COVERED PORCH #1	172 S.F.
COVERED PORCH #2	144 S.F.
TOTAL A/C FLOOR AREA	2,496 S.F.
TOTAL FLOOR AREA UNDER ROOF	2,812 S.F.

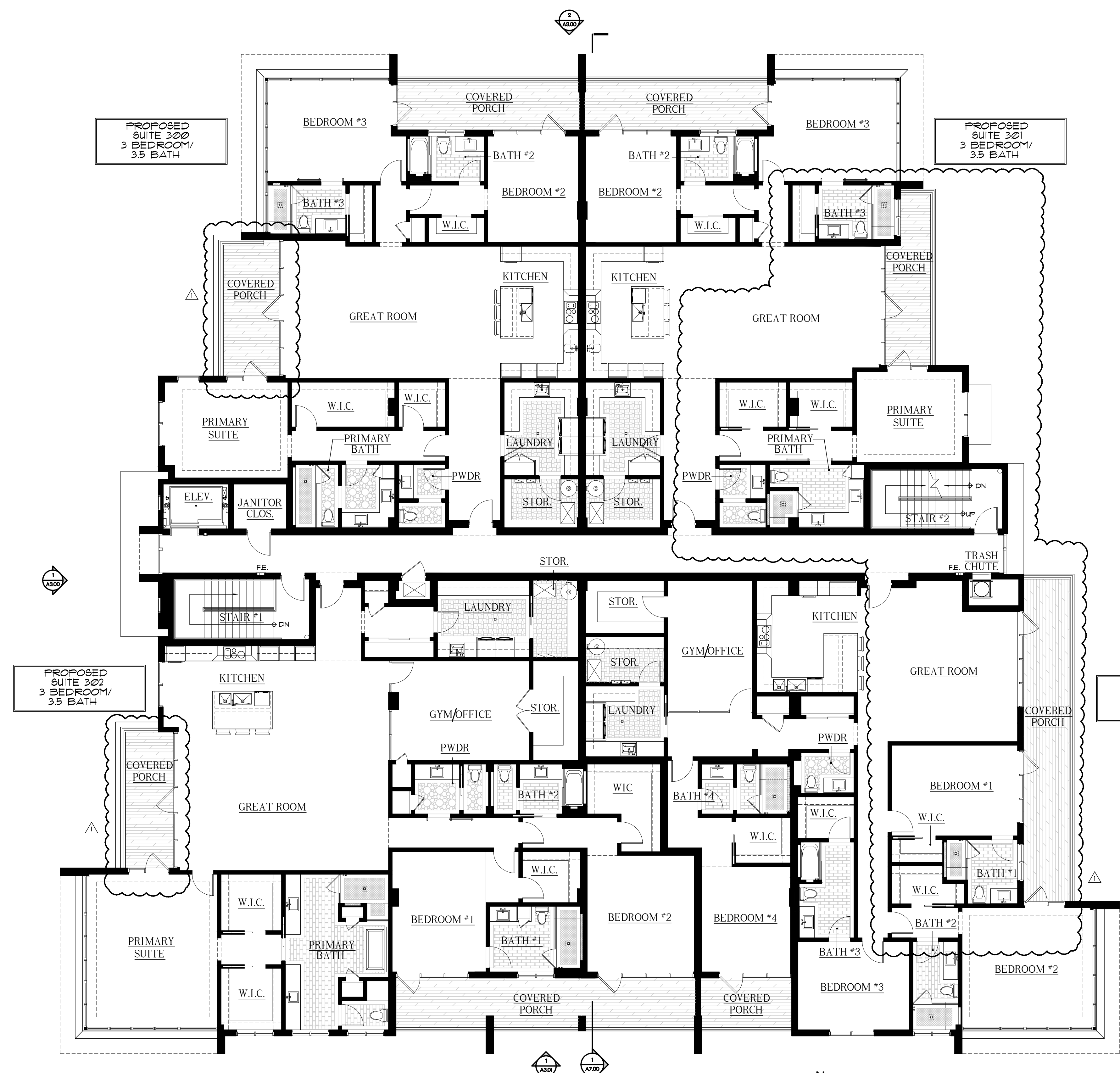
UNIT 301: AREA CALCULATIONS	
A/C FLOOR AREA	2,410 S.F.
COVERED PORCH #1	172 S.F.
COVERED PORCH #2	140 S.F.
TOTAL A/C FLOOR AREA	2,410 S.F.
TOTAL FLOOR AREA UNDER ROOF	2,722 S.F.

UNIT 302: AREA CALCULATIONS	
A/C FLOOR AREA	3,671 S.F.
COVERED PORCH #1	125 S.F.
COVERED PORCH #2	280 S.F.
TOTAL A/C FLOOR AREA	3,671 S.F.
TOTAL FLOOR AREA UNDER ROOF	4,026 S.F.

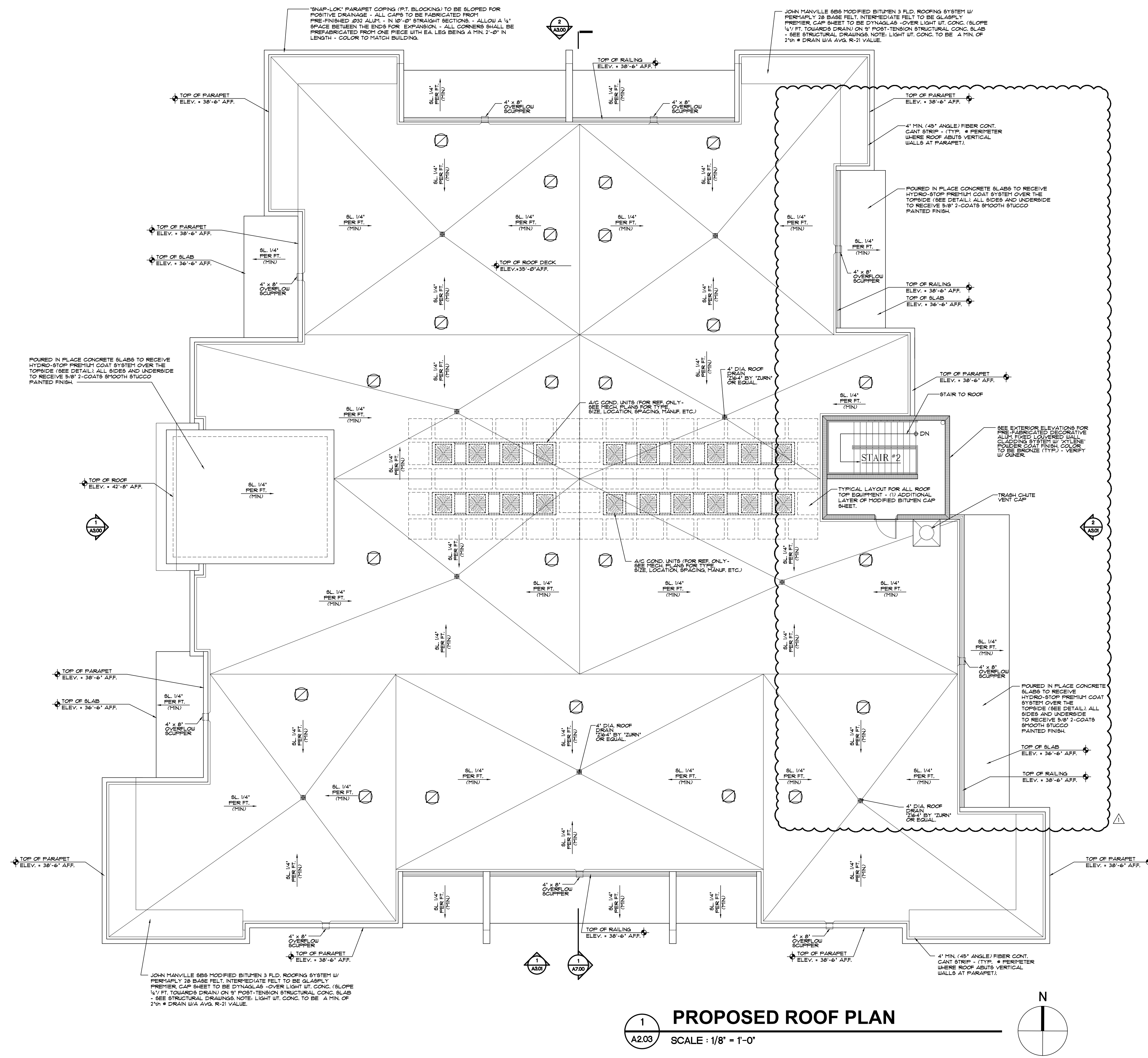
UNIT 303: AREA CALCULATIONS	
A/C FLOOR AREA	3,080 S.F.
COVERED PORCH #1	81 S.F.
COVERED PORCH #2	283 S.F.
TOTAL A/C FLOOR AREA	3,080 S.F.
TOTAL FLOOR AREA UNDER ROOF	3,456 S.F.



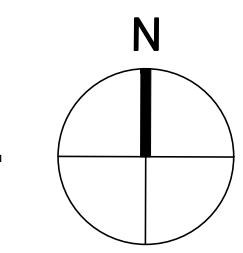
**1**  
**A2.02** **PROPOSED THIRD FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

- NOTES:**
- DO NOT SCALE DRAWINGS!
  - FIELD VERIFY ALL DIMENSIONS!
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY IN DRAWINGS. (SEE GENERAL NOTES)
  - ALL AREA CALCULATIONS ARE APPROX.

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**1 PROPOSED ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



- NOTES:**
- DO NOT SCALE DRAWINGS!
  - FIELD VERIFY ALL DIMENSIONS!
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
  - ALL AREA CALCULATIONS ARE APPROX.

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12/1/2022 10:19:53 AM

REVISD 12/22	AS PER DEVELOPMENT SERVICES COMMENTS:
1	ADDED AVERAGE CROWN OF ROAD
2	ADDED WINDOWS ALONG THE WEST AND NORTH ELEVATION AT THE GARAGE
3	ADDED WINDOWS AND WOOD SIDING AT THE ENTRY TOWER
4	UPDATED THE SCREEN PATTERN AT GARAGE OPENINGS
5	ADJUSTED NORTH ELEVATION AT THE STAIR TOWER
REVISD 12/22	AS PER DEVELOPMENT SERVICES COMMENTS:
1	UPDATED LIGHT FIXTURES

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FILE NUMBER: **222A300**

DRAWING TITLE

**PROPOSED EXTERIOR ELEVATIONS**

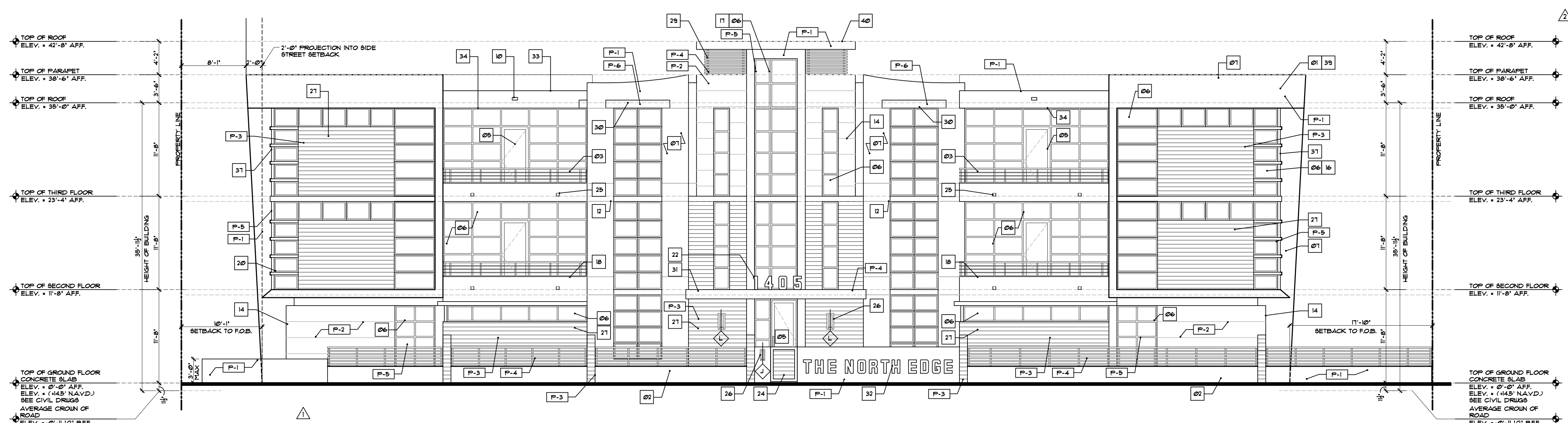
DATE: **5.31.22** | DRAWN BY: **JH**

JOB NUMBER: **20220222**

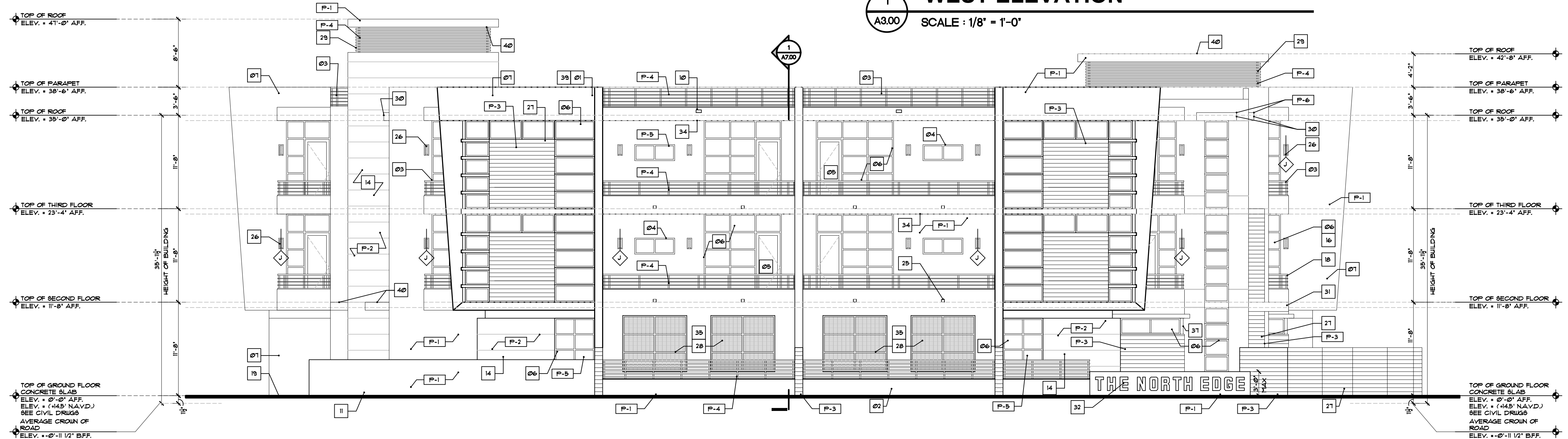
DRAWING NUMBER

**A3.00**

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**1 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**ELEVATION NOTES**

- 42' HIGH ROOF PARAPET - 8" CMU WALLS W/ 5/8" 2-COATS SMOOTH STUCCO PAINTED FINISH.
- PERIMETER LOW WALL W/ SMOOTH STUCCO FINISH W/ ALUMINUM DECORATIVE HORIZONTAL RAILINGS - WALL TO BE PAINTED - SEE STRUCTURAL DRAWINGS.
- ALUMINUM DECORATIVE HORIZONTAL RAILINGS W/ POWDER COAT FINISH (COLOR BRONZE) - TOP OF RAIL MIN. 3'-6" WITH POCKETS SPACED TO ALLOW PASSAGE OF 4" SPHERES (BOTTOM RAIL MAX. 1" FROM TOP) - PROVIDE SHOP DRAWINGS / SAMPLE BY 'JC' IRON ORNAMENTAL WORK OR EQUAL.
- FIXED GLASS SYSTEM W/ HURRICANE IMPACT RESISTANT LAMINATED LOW E GLAZING OR EQUAL - SEE ELEV. 9 OR TYP. (COLOR BRONZE) CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
- 'ALDORA' 400 - SUPPLY ENTRANCE SYSTEM W/ IMPACT RESISTANT LAMINATED LOW E GLAZING OR EQUAL - SEE ELEV. 9 OR TYP. (COLOR BRONZE) CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
- IMPACT RESISTANT 'ALDORA' P3300 SERIES' SYSTEM OR EQUAL - ALUMINUM GLAZED STORMDOOR SYSTEM W/ BRONZE FINISH OR EQUAL - NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS + CERT. OF COMPLIANCE FOR IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS (TYP.).
- 2-COAT 5/8" SMOOTH STUCCO FINISH PAINTED TYP. - SUB-CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- JOHN MANVILLE 889 MODIFIED BITUMEN 3 FLD. ROOFING SYSTEM W/ FIBERGLASS MAT INTERMEDIATE FELT TO BE GLAZED - VERIFY MANUF. SPECS.
- 4" x 8" EMERGENCY OVER FLOW SCUPPERS (2" MIN. 4" MAX. ABOVE FINISHED ROOF DECK) - SEE ROOF PLAN FOR ALL LOCATIONS AND PLUMBING ROOF DECK - SEE STRUCTURAL DRAWINGS.
- POURED IN PLACE CONCRETE BALCONY SLAB TO SLOPE 1/4" FT. - SEE STRUCT. DIAGS.
- 4" x 8" EMERGENCY OVER FLOW SCUPPERS (2" MIN. 4" MAX. ABOVE FINISHED ROOF DECK) - SEE ROOF PLAN FOR ALL LOCATIONS AND PLUMBING ROOF DECK - SEE STRUCTURAL DRAWINGS.
- 4'-6" / 6'-0" HIGH 8" CMU BLOCK WALL W/ 5/8" 2-COATS SMOOTH STUCCO FINISH - PAINTED - SEE STRUCTURAL DRAWINGS.
- EXTRUDED ALUMINUM ALLOY 6063-T5 CHANNEL STUCCO (SCORE LINES) SCORED BY 'TEXTURE' OR EQUAL.
- ALUMINUM GARAGE DOOR BY 'OVERHEAD DOOR' OR EQUAL (NOTE: GARAGE DOORS TO REMAIN IN AN 'OPEN POSITION' IN THE EVENT OF A HURRICANE).
- 'PORCELANOSA FACADE' - AUSTIN GRAY DARK - 36" x 18" CLADDING PANELS - INSTALLED AS PER 'LATICRETE SYSTEMS' SPECIFICATION OR EQUAL (NOTE: ALL MASONRY TO RECEIVE WATERPROOFING PRIOR TO INSTALLATION OF CLADDING).
- AUTOMATIC GARAGE DOOR OPENER (SEE ELEC. DIAGS.) 'LIFTMASTER' WALL MOUNTED - 7'0" OR EQUAL - VERIFY W/ MANUF. SPECS.
- ALL ALUM. EXT. DOOR THRESHOLDS + WINDOW SILLS TO BE SET IN 'SKAFLEX' PROF OR EQUAL 4" CONC. THRESHOLD/ CONC. SILL. 2" MIN. DRAIN W/ A AVG. R-11 VALLEY.
- ALL WINDOWS TO HAVE 1 1/2" UTD BUCKS ANCHORED TO CONC AS PER PRODUCT APPROVAL.
- ALL PORCHES TO RECEIVE 'STONE PAVERS' MUDSET BY 'ARTISTIC PAVERS' OR EQUAL NON-SLIP W/ SQUARE EDGE AT THE OUTER EDGE DECK TO BE MUDSET OVER 2" LIQUID WATERPROOFING ON CONC DECK 'SKALASTIC 100' OR EQ. (REQ. SAMPLE FOR OWNER APPROVAL) CONTRACTOR TO USE A POLYMER MODIFIED, NON EFFLORESCENCE MUDSET OR THINSET GROUT.
- EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW GRADE (TYP. + ENTIRE PERIMETER).
- ALL EXTERIOR DOORS + WINDOWS TO HAVE 'SKAFLEX 150' OR EQUAL CAULKING + BUCKING/ALUM. FRAME CONDITIONS (TYP.).
- ALL DOOR + WINDOW CORNERS, 'HDS.' + 'JAMBES' TO BE WRAPPED W/ 'SIKA' TOP SEAL 101' OR EQ. THEN - APPLY 'SKAFLEX 609 EVERFLASH MEMBRANE' OR EQ. OVER ALL WOOD BUCKS W/ A MIN. 8" AT THE INTERIOR SIDE OF ALL OPENINGS AND 2" ON THE FACE OF ALL THE OPENINGS - INSTALLED AS PER MANUF. SPECS BY 'SIKA' OR EQ. - NOTE: CONTRACTOR TO REQUEST 'ADHESION TEST' BY 'SIKA' OR MANUF.
- ADDRESS NUMBERS + LOCATION TO BE SELECTED BY OWNER (NOTE: NUMBERS MUST BE MIN. 4" IN HEIGHT AND ON A CONTRASTING BACKGROUND).
- EGRESS TYPE WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" W/ 24" H. AND 8.1 SQ. FT. AREA. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" FROM THE FINISH FLOOR LEVEL, NOR SHALL ANY PART OF THE OPERATING MECHANISM BE PLACED HIGHER THAN 54" FROM THE FIN. FLOOR.
- DECORATIVE 4'-4" HIGH ALUM. GATE BY 'JC' IRON ORNAMENTAL WORK OR EQ. (COLOR BRONZE) - SELF-CLOSING SELF LATCHING LOCKING GATE - PROVIDE SHOP DRAWINGS.
- 4' x 4' ALUMINUM SCUPPER - TYPICAL AT COVERED PORCHES / BALCONIES W/ CONNECTING DECO-DRAIN.
- SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES + SPECS. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER PRIOR TO PURCHASE).
- NEW TECH WOOD COMPOSITE SIDING COLOR: PERUVIAN TEAK (TYP.)
- FIXED 'CROSS-PATTERN' ORNAMENTAL ALUMINUM GRILLE W/ POWDER COAT FINISH (COLOR - BLACK) - SEE WINDOW SCHEDULE + SUBMIT SHOP DRAWINGS FOR APPROVAL.
- PRE-FABRICATED DECORATIVE ALUM. FIXED LOUVERED WALL CLADDING SYSTEM W/ 'XYLINE' POWDER COAT FINISH (COLOR TO BE BRONZE (TYP.) - VERIFY W/ OWNER).
- 2' (HIGH) x 12' (DEEP) POURED IN PLACE CONCRETE EYEBROW W/ HYDRO-STOP PREMIUM COAT SYSTEM OVER THE TOPSIDE (SEE DETAIL) ALL SIDES AND UNDERSIDE TO RECEIVE 5/8" 2-COATS SMOOTH STUCCO PAINTED FINISH.
- IDENTIFY 'XYLINE' POWDER COATED PREFABRICATED ALUMINUM GLAZED GATEWAY GANTRY BY 'JC' CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
- EXTERIOR SIGNAGE TO BE UNDER SEPARATE PERMIT (BY OTHERS) NOTE: ALUMINUM SIGN LETTERS / NUMBERS TO BE REVERSE CHANNELS W/ CLEAR LEXAN BACKS + GE LED LIGHTING OR EQUAL (INSIDE CHANNEL BACKS TO BE PAINTED AND PAINTED WHITE FOR MAX. LIGHT DIFFUSION) - UNDER SEPARATE PERMIT - NOTE: CONTRACTOR TO PROVIDE POWDER TO ALL LOCATIONS - SEE ELECTRICAL DRAWINGS.
- SEE ROOF PLAN AND MECHANICAL DRAWINGS FOR ALL ROOF TOP EQUIPMENT LOCATIONS (NOTE: ALL ROOF TOP EQUIPMENT TO BE PROPERLY SCREENED FROM ROW).
- ALL BALCONY CEILINGS - 1 x 6 S4S PINE - (TO BE PAINTED/STAINED - VERIFY W/ OWNER).
- SEE MECHANICAL DRAWINGS FOR PARKING GARAGE MECHANICAL VENTILATION.
- SEE FLOOR PLANS AND DOOR SCHEDULE FOR ALL LOCATIONS OF EXTERIOR DOORS TO BE IMPACT RESISTANT + HAVE PRODUCT APPROVAL (TYPING) D - SERIES - COLOR CHARCOAL GRAY OR EQUAL.
- STEEL COLUMNS TO BE WRAPPED IN BREAK METAL (TO MATCH WINDOW SYSTEM) (SEE STRUCTURAL DIAGS FOR SPECS.) 4 PROTECTIVE COATINGS (RUST INHIBITOR) - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
- 'T50' CASEMENT (SEE MEANS OF EGRESS) ALUM. WINDOWS W/ LOW E GLASS (ALUM. FRAME COLOR - BRONZE) TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.).
- 'SNAP-LOCK' PARAPET COPING (PT. BLOCKING) TO BE SLOPED FOR POSITIVE DRAINAGE - ALL CAPS TO BE FABRICATED FROM PRE-FINISHED 6063 ALUM. - IN 18"-0" STRAIGHT SECTIONS - ALLOW 4" SPACE BETWEEN THE ENDS FOR EXPANSION - ALL CORNERS SHALL BE PRE-FABRICATED FROM ONE PIECE WITH EA. LEG BEING A MIN. 2'-0" IN LENGTH - COLOR TO MATCH BUILDING.
- 12" (HIGH) POURED IN PLACE CONCRETE SLAB W/ HYDRO-STOP PREMIUM COAT SYSTEM OVER CONCRETE DECK (SEE ROOF PLAN) ALL SIDES AND UNDERSIDE TO RECEIVE 5/8" 2-COATS SMOOTH STUCCO PAINTED FINISH.

**EXTERIOR STUCCO:**

- METAL LATH APPLICATION:
- APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH TROUPEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
  - APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
  - DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE EVEN SURFACE FINISHED AS APPROVED BY OWNER.
  - TWO (2) COAT WORK (ON MASONRY): APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS. TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
  - THREE (3) COAT WORK (ON LATH): APPLY THREE (3) COAT STUCCO TO METAL LATH. TOTAL (3) INCH THICK AREAS. TOTAL THICKNESS, FIVE-EIGHTHS (5/8) INCH MINIMUM.
  - RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
  - ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN. 1/8" SLOPE FOR PROPER SHEEDING OF RAIN WATER.
  - ALL SHAPE BOARD SHALL BE CELLOPHAN SHAPE FORMS WITH CELLOPHAN EPS PER INSTRUCTIONS AND ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. CELLOPHAN EPS INSULATION ASTM-C916.
  - APPLY EMERGENCY PROFESSIONAL FOAM SEALANT, TO FORM A DURABLE AIRTIGHT WATER RESISTANT BOND EFFICIENTLY TO ALL MATERIALS PER SPECIFICATIONS AND METHODS. 'EBSEROM' SEALANT ASTM-C203.
  - APPLY SPRAYABLE URETHANE ELASTOMER COATING (TIC-NOL-1) FOR A TOUGH MEMBRANE IS REQUIRED. APPLY FOR HOLD SPRAYING, MOLD FABRICATION, IMPACT PROTECTION FOR EPS AND CUT SHAPES, OR WHEREVER A HIGHLY DURABLE IMPACT MOISTURE AND CORROSION RESISTANT FINISH IS REQUIRED.

- REVISD 12/21/22
- AS PER DEVELOPMENT SERVICES COMMENTS:
- 1. ADDED AVERAGE CROWN OF ROAD
- 2. ADDED WINDOWS ALONG THE SOUTH ELEVATION AT THE GARAGE
- 3. UPDATED THE SCREEN PATTERN AT GARAGE OPENINGS
- 4. ADJUSTED EAST/SOUTH ELEVATION AT THE STAIR TOWER
- 5. CHANGED GARAGE DOOR TO BE 11'-0"

- REVISD 12/01/22
- AS PER DEVELOPMENT SERVICES COMMENTS:
- 1. UPDATED LIGHT FIXTURES.

THIS DRAWING IS NOT FOR CONSTRUCTION. IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

FILE NUMBER: 222A301

DRAWING TITLE: **PROPOSED EXTERIOR ELEVATIONS**

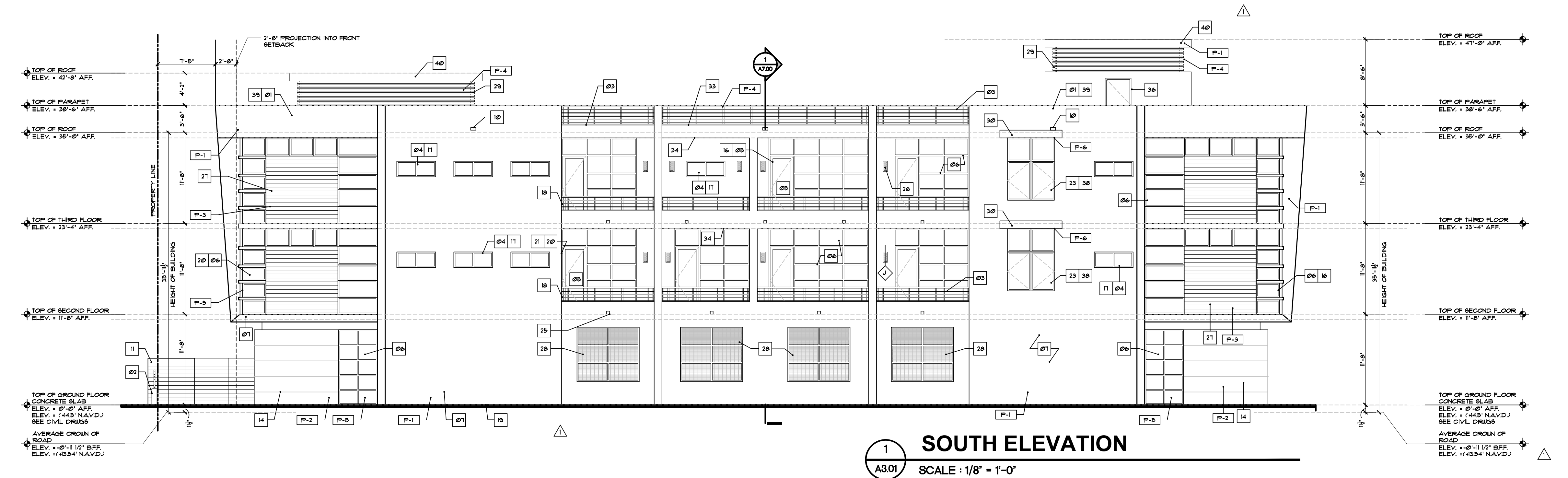
DATE: 6.02.22 | DRAWN BY: JH

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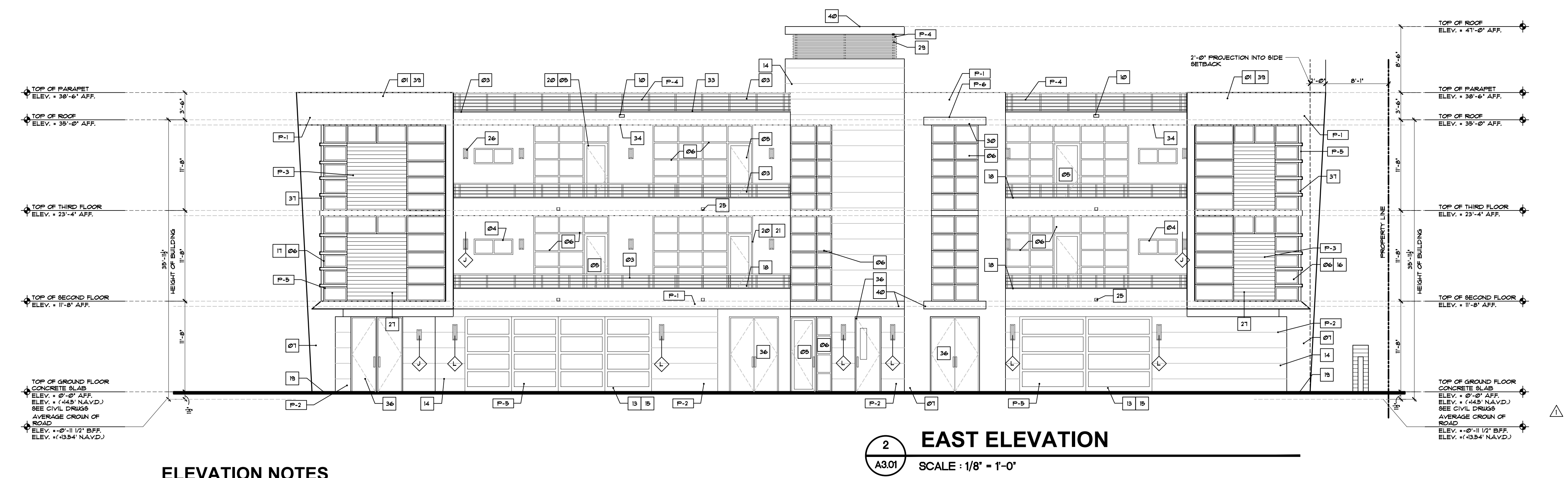
- LIGHT FIXTURES**  
(BY KUZCO / LIGMAN LIGHTING OR EO)
- ◆ KUZCO 'MOONDEE' OUTDOOR WALL SCONES, COVERED PORCHES, 17% RFL/80
  - ◆ KUZCO 'MOONDEE' OUTDOOR WALL SCONES, LOW ENTRY WALL, 80% RFL/80
  - ◆ KUZCO 'MOONDEE' OUTDOOR WALL SCONES, MAIN ENTRANCE, 74% RFL/80
  - ◆ LIGMAN - LIGHT LINEAR PT HEAD STREET LIGHTING, 111-2112

ALL LIGHT FIXTURES TO BE APPROVED BY OWNER / ARCHITECT.  
-ALL EXTERIOR LUMINAIRES WATTAGE TO BE BTUW 20 TO 50 WATTS, (NOT TO EXCEED 50 WATTS).  
-ALL EXTERIOR LUMINAIRES MUST HAVE A SHIELD WHICH RESTRICTS THE LIGHT LEVELS BETWEEN 20-50, 50-100 IN WAVELENGTH AND AVOID SPILLING INTO ADJACENT PROPERTIES.

**PAINT LEGEND**  
• ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE.

- P-1 GLACIER WHITE 10031
- P-2 PORCELANOSA FACADE - AUSTIN GRAY DARK-36124 - CLADDING PANELS
- P-3 NEW TECH WOOD COMPOSITE SIDING COLOR:PERUVIAN TEAK (TK)
- P-4 BRONZE (DECORATIVE RAILINGS/ALUMINUM CANOPY)
- P-5 BRONZE (DOORS, WINDOWS AND GARAGE DOORS)

NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNER APPROVAL.



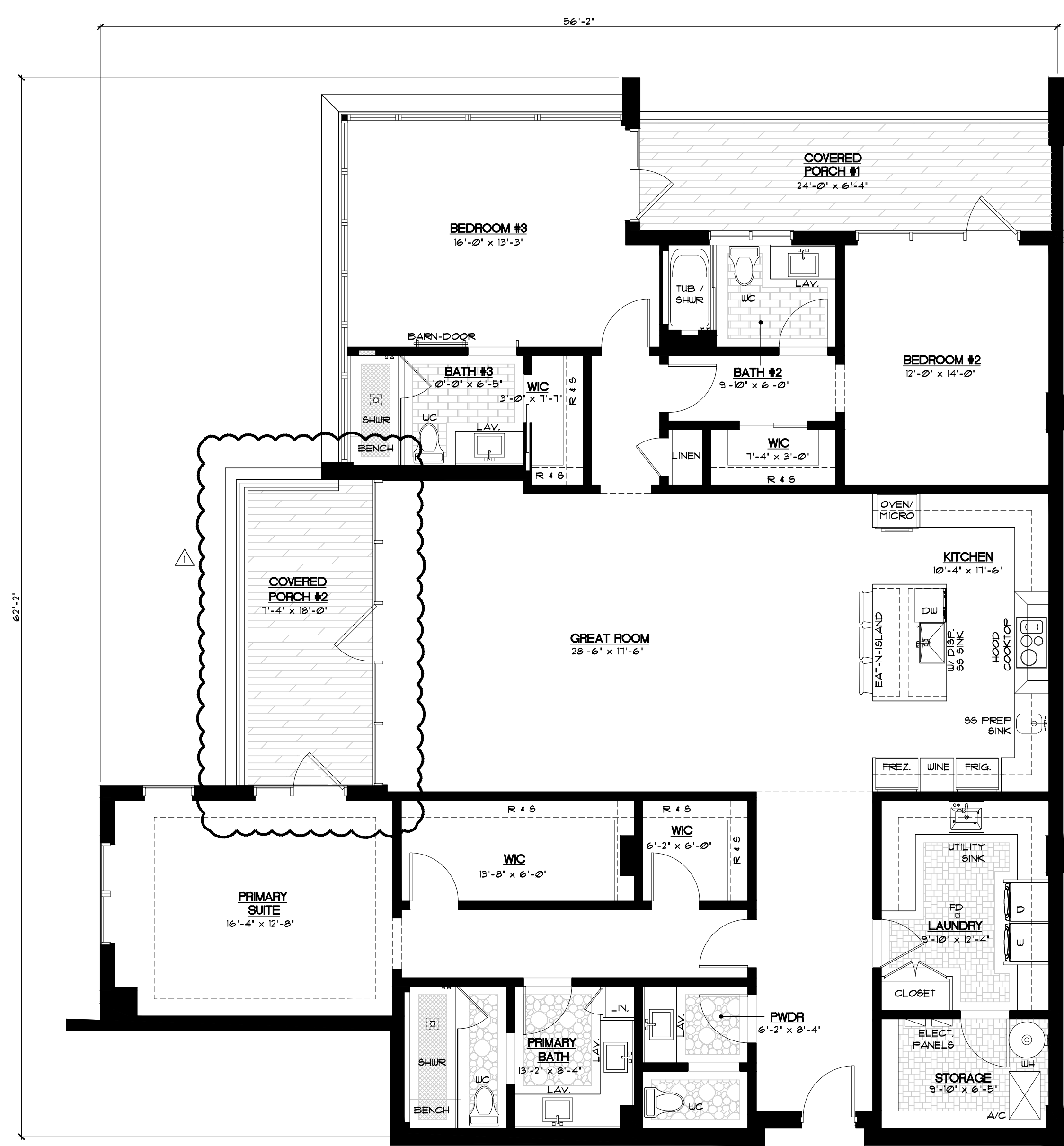
**ELEVATION NOTES**

- 01. 42" HIGH ROOF PARAPET - 8" CMU WALLS W/ 5/8" 2-COATS SMOOTH STUCCO PAINTED FINISH.
- 02. PERIMETER LOW WALL W/ SMOOTH STUCCO FINISH W/ ALUMINUM DECORATIVE HORIZONTAL RAILINGS - WALL TO BE PAINTED - SEE STRUCTURAL DRAWING.
- 03. ALUMINUM DECORATIVE HORIZONTAL RAILINGS W/ POWDER COAT FINISH (COLOR BRONZE) - TOP OF RAIL MIN 3'-6" WITH PICKETS SPACED TO BLOCK PASSAGE OF 4" SPHERE. (BOTTOM RAIL MAX 2" AFF. - TYP.) - PROVIDE SHOP DRAWINGS / SAMPLE BY JC IRON ORNAMENTAL WORK OR EQUAL.
- 04. TYP. FIXED GLASS SYSTEM W/ HURRICANE IMPACT RESISTANT LAMINATED LOW E1 GLAZES OR EQUAL - SEE ELEV. OR TYP. (COLOR BRONZE) - CONTRACTOR TO PROVIDE SHOP DRUGS, FOR APPROVAL.
- 05. 'ALDORA' 400 SUBMIT ENTRANCE SYSTEM W/ IMPACT RESISTANT LAMINATED LOW E1 GLAZES OR EQUAL - SEE ELEV. OR TYP. (COLOR BRONZE) - CONTRACTOR TO PROVIDE SHOP DRUGS, FOR APPROVAL.
- 06. IMPACT RESISTANT 'ALDORA' 4000 SERIES SYSTEM OR EQUAL - ALUMINUM GLAZED SYSTEM WITH BRONZE FINISH OR EQUAL - NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS & CERT. OF COMPLIANCE FOR IMPACT RESISTANT AND COMPLY W/ ALL GAZE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS (TYP.).
- 07. 2-COAT 5/8" SMOOTH STUCCO FINISH, PAINTED TYP. - SUB-CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL.
- 08. JOHN HANVILLE 988 MODIFIED BUTEN 3 FLD. ROOFING SYSTEM W/ PERIMETER 28 BASE FELT, INTERMEDIATE FELT TO BE GLASSLY 1 PREMIUM CAP SHEET TO BE DYNAGLAS - COVER LIGHT UT. CONC. (SLOPE 1/4" FT. TOWARDS DRAIN) ON 8" POST-TENSION STRUCTURAL CONC. SLAB - SEE STRUCTURAL DRAWINGS, NOTE: LIGHT UT. CONC. TO BE A MIN. OF 2" @ DRAIN W/ A VG. R-21 VALUE.
- 09. POURED IN PLACE CONCRETE BALCONY SLAB TO SLOPE 1/4" FT. - SEE STRUCT. DRUGS.
- 10. 4' x 8' EMERGENCY OVER FLOW SCUPPERS (2" MIN. 4" MAX. ABOVE FINISHED ROOF DECK) - SEE ROOF PLAN FOR ALL LOCATIONS AND PROVIDE SHOP DRAWINGS FOR DRAINAGE CALCUL.
- 11. 4'-4" / 6'-0" HIGH 8" CMU BLOCK WALL W/ 5/8" 2-COATS SMOOTH STUCCO FINISH - PAINTED - SEE STRUCTURAL DRAWING.
- 12. EXTRUDED ALUMINUM ALLOY 4063-T5 CHANNEL STUCCO (SCORE LINES) SCREENED BY 'TEKTRIM' OR EQUAL.
- 13. ALUMINUM GARAGE DOOR BY 'OVERHEAD DOOR' OR EQUAL, MODEL 921 - NON-HURRICANE IMPACT OR EQUAL (NOTE: GARAGE DOORS TO REMAIN IN AN 'OPEN POSITION' IN THE EVENT OF A HURRICANE).
- 14. 'PORCELANOSA FACADE' - AUSTIN GRAY DARK - 36" x 36" CLADDING PANELS - INSTALLED AS PER 'LATICRETE SYSTEMS' SPECIFICATION OR EQUAL. (NOTE: ALL MASONRY TO RECEIVE WATERPROOFING PRIOR TO INSTALLATION OF CLADDING).
- 15. AUTOMATIC GARAGE DOOR OPERATOR (SEE ELEC. DRUGS).
- 16. LIFTMASTER WALL MOUNTED - 7'4" OR EQUAL - VERIFY ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN 'SIKALUX PRO' OR EQUAL 4 CONC. THRESHOLD/ CONC. SILL.
- 17. ALL WINDOWS TO HAVE 1" P.T. HD BUCKS ANCHORED TO CONC. AS PER PRODUCT APPROVAL.
- 18. ALL PORCHES TO RECEIVE 'STONE PAVERS' MUDSET BY 'ARTISTIC PAVERS' OR EQUAL NON-SLIP W/ SQUARE EDGE AT THE OUTER EDGE DECK TO BE MUDSET OVER 28" LIQUID WATERPROOFING ON CONC. DECK, 'SIKALAST 180T' OR EQ. (REG. SAMPLE FOR OWNER APPROVAL). CONTRACTOR TO USE A FLOTHER MODIFIED, NON EFFLORESCENCE MUDSET OR THINSET GROUT.
- 19. EXTERIOR STUCCO TO EXTEND A MIN 1'-0" BELOW GRADE (TYP. - ENTIRE PERIMETER).
- 20. ALL EXTERIOR DOORS & WINDOWS TO HAVE 'SIKALUX' 950' OR EQUAL CAULKING & BUROCRUM/ALUM. FRAME CONDITIONS (TYP.).
- 21. ALL DOOR & WINDOW CORNERS, HEADS & JAMBS TO BE UNWRAPPED W/ 'SIKA TOP SEAL 101' OR EQ. THEN - APPLY 'SIKALUX 100 EVERFLASH MEMBRANE' OR EQ. OVER ALL WOOD BUCKS W/ A MIN. 8" AT THE INTERIOR SIDE OF ALL OPENINGS AND 2" ON THE FACE OF ALL THE OPENINGS - INSTALLED AS PER 'SIKA' SPEC'S BY 'SIKA' OR EQ. - NOTE: CONTRACTOR TO REQUEST 'ADHESION TEST' BY SIKA AND OR MANIF.
- 22. ADDRESS NUMBERS & LOCATION TO BE SELECTED BY OWNER (NOTE: NUMBERS MUST BE MIN. 4" IN HEIGHT AND ON A CONTRASTING BACKGROUND).
- 23. EGRESS TYPE WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" W/ 24" HT. AND 31" SQ. FT. AREA THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" FROM THE FINISH FLOOR LEVEL. NOR SHALL ANY PART OF THE OPERATING MECHANISM BE PLACED HIGHER THAN 54" FROM THE FIN FLOOR.
- 24. DECORATIVE 4'-4" HIGH ALUM. GATE BY 'JC IRON ORNAMENTAL WORK' OR EQ. (COLOR BRONZE) - SELF-CLOSING SELF LATCHING LOOKING GATE - PROVIDE SHOP DRAWINGS.
- 25. 4' x 4' ALUMINUM SCUPPER - TYPICAL AT COVERED PORCHES / BALCONIES W/ CONNECTING DECO-DRAIN.
- 26. SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER PRIOR TO PURCHASE).
- 27. NEW TECH WOOD COMPOSITE SIDING COLOR: PERUVIAN TEAK TK - INSTALL PER MANUFACTURER SPEC'S (NOTE: ALL ROOF TOP EQUIPMENT TO BE PROPERLY SCREENED FROM ROOF).
- 28. FIXED CROSS-PATTERN' - ORNAMENTAL ALUMINUM GRILLE W/ POWDER COAT FINISH (COLOR - BLACK) - SEE WINDOW SCHEDULE & SUBMIT SHOP DRAWINGS FOR APPROVAL.
- 29. PRE-FABRICATED DECORATIVE ALUM. FIXED LOUVERED WALL GLAZING SYSTEM W/ 'XYLENE' POWDER COAT FINISH COLOR TO BE BRONZE (TYP.) - VERIFY W/ OWNER.
- 30. 12" (HIGH) x 12" (DEEP) POURED IN PLACE CONCRETE EYEBROW W/ HYDRO-STOP PREMIUM COAT SYSTEM OVER THE TOPSIDE (SEE DETAILS) ALL SIDES AND UNDERSIDE TO RECEIVE 5/8" 2-COATS SMOOTH STUCCO PAINTED FINISH.
- 31. DENOTES 'XYLENE' POWDER COATED PRE-FABRICATED ALUMINUM CLAD CANTILEVERED CANOPY BY 'JC ORNAMENTAL IRON WORK' OR EQ. (CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL).
- 32. EXTERIOR SIGNAGE TO BE UNDER SEPARATE PERMIT (BY OTHERS) NOTE: ALUMINUM SIGN LETTERS / NUMBERS TO BE REVERSE CHANNELS W/ CLEAR LEAN BACK & GE LED LIGHTING OR EQUAL (INSIDE CHANNEL, BLACKS TO BE PRIMED AND PAINTED WHITE FOR MAX. LIGHT DIFFUSION) - UNDER SEPARATE PERMIT. - NOTE: CONTRACTOR TO PROVIDE POWER TO ALL LOCATIONS - SEE ELECTRICAL DRAWINGS.
- 33. SEE ROOF PLAN AND MECHANICAL DRAWINGS FOR ALL ROOF TOP EQUIPMENT LOCATIONS. (NOTE: ALL ROOF TOP EQUIPMENT TO BE PROPERLY SCREENED FROM ROOF).
- 34. ALL BALCONY CEILING - 1 x 6 T&G FINE - (TO BE PAINTED/STAINED - VERIFY W/ OWNER).
- 35. SEE MECHANICAL DRAWINGS FOR PARKING GARAGE MECHANICAL VENTILATION.
- 36. SEE FLOOR PLANS AND DOOR SCHEDULE FOR ALL LOCATIONS OF EXTERIOR DOORS TO BE IMPACT RESISTANT 4 HAVE PRODUCT APPROVAL ('FLEMING' D - SERIES - COLOR CHARCOAL GRAY) OR EQUAL.
- 37. STEEL COLUMN TO BE UNWRAPPED IN BREAK METAL (TO MATCH WINDOW SYSTEM). SEE STRUCTURAL DRUGS FOR SPEC'S & PROTECTIVE COATING ('RUST INHIBITOR' - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL).
- 38. 'PROT' CASEMENT (SEE MEANS OF EGRESS) ALUM. WINDOW W/ LOW 'E' GLASS (ALUM. FRAME COLOR - BRONZE) TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.).
- 39. 'SNAP-LOCK' PARAPET COPING (P.T. BLOCKING) TO BE SLOPED FOR POSITIVE DRAINAGE - ALL CAPS TO BE FABRICATED FROM PRE-FINISHED 6032 ALUM. - IN 10'-0" STRAIGHT SECTIONS - ALLOW A 1/4" SPACE BETWEEN THE ENDS FOR EXPANSION - ALL CORNERS SHALL BE PRE-FABRICATED FROM ONE PIECE WITH 64 LEG BENDS A MIN 2'-0" IN LENGTH - COLOR TO MATCH BUILDING.
- 40. 12" (HIGH) POURED IN PLACE CONCRETE SLAB W/ HYDRO-STOP PREMIUM COAT SYSTEM OVER CONCRETE DECK (SEE ROOF PLAN). ALL SIDES AND UNDERSIDE TO RECEIVE 5/8" 2-COATS SMOOTH STUCCO PAINTED FINISH.

**EXTERIOR STUCCO:**

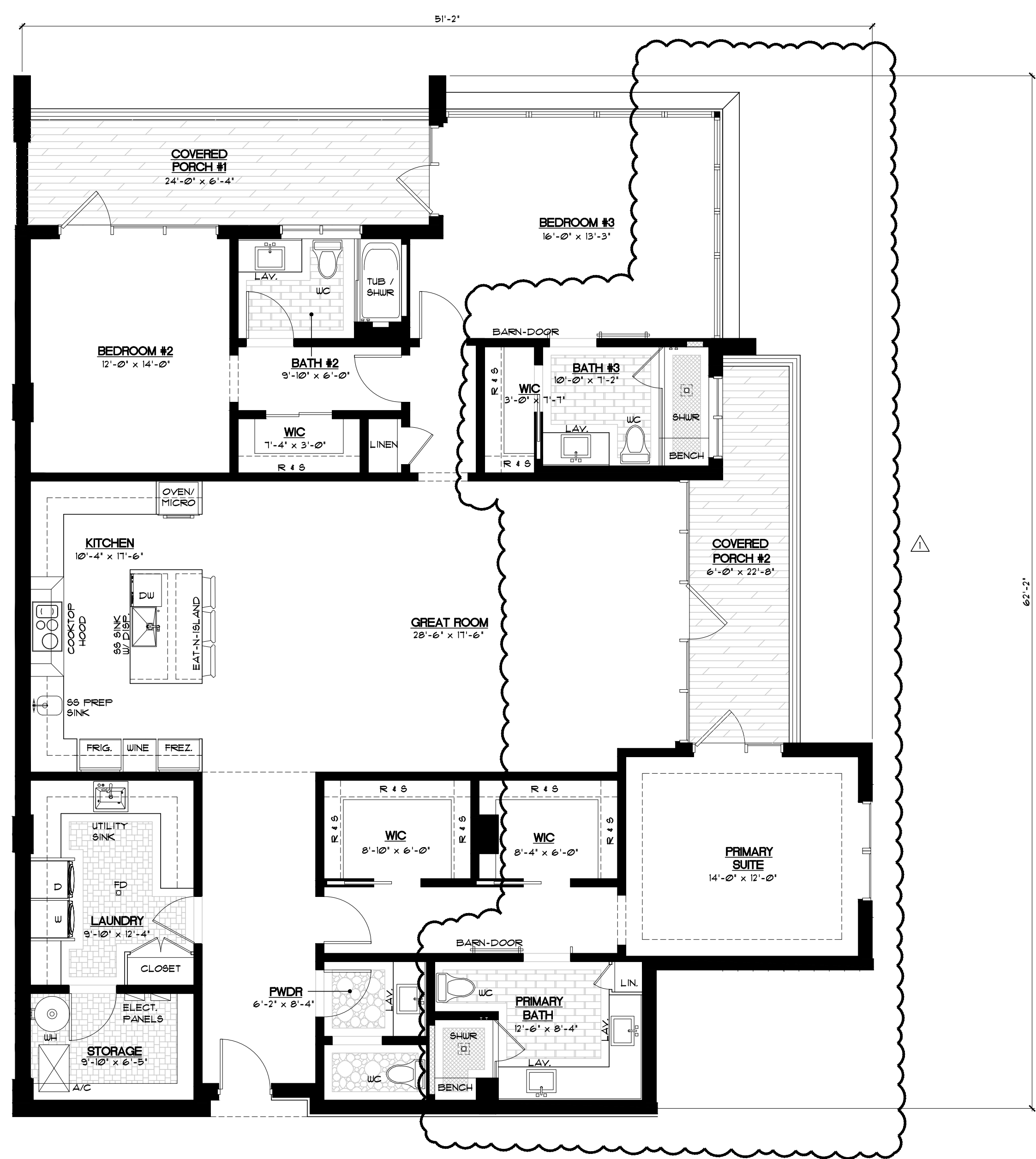
- METAL LATH APPLICATION:
1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. TROUVEL AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
  2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
  3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.
  4. TWO (2) COAT WORK (ON MASONRY) - APPLY TWO (2) COAT STUCCO TO CONCRETE AND MASONRY AREAS. TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MINIMUM.
  5. THREE (3) COAT WORK (ON LATH) - APPLY THREE (3) COAT STUCCO TO METAL LATH. TOTAL (3) INCH THICK AREAS. TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MINIMUM.
  6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
  7. ALL STUCCO HEADERS, SILLS AND BANDING TO BE PROVIDED WITH A MIN 1/8" SLOPE FOR PROPER SHEDDING OF RAIN WATER.
  8. ALL SHAPE BOARD SHALL BE CELLOFRAM SHAPE FORMS WITH CELLOFRAM EPS PER INSTRUCTIONS AND ADHERED PER SPECIFICATIONS FOR ROOFS, EXTERIORS WITH HIGH R-VALUES. CELLOFRAM EPS INSULATION ASTM-C918.
  9. APPLY ENERFOAM PROFESSIONAL FOAM SEALANT, TO FORM A DURABLE AIRTIGHT WATER RESISTANT BOND EFFICIENTLY, TO ALL MATERIALS PER SPECIFICATIONS AND METHODS. ENERFOAM SEALANT ASTM-C203.
  10. APPLY SPRAYABLE URETHANE ELASTOMER COATING (LIC-30661) FOR A TOUGH MEMBRANE IS REQUIRED. APPLY FOR HOLD SPRAYING, HOLD FABRICATION. IMPACT PROTECTION FOR EPS AND GUT SHAPE OR UNDERVA A HIGH DURABLE IMPACT MOISTURE AND CORROSION RESISTANT FINISH IS REQUIRED.

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**2 UNIT 200 & 300 -3 BEDROOM/3.5 BATH**  
 SCALE: 3/16" = 1'-0"  
 N

AREA CALCULATIONS	
A/C FLOOR AREA	2,436 S.F.
COVERED PORCH #1	172 S.F.
COVERED PORCH #2	144 S.F.
TOTAL A/C FLOOR AREA	2,436 S.F.
TOTAL FLOOR AREA UNDER ROOF	2,812 S.F.



**1 UNIT 201 & 301 -3 BEDROOM/3.5 BATH**  
 SCALE: 3/16" = 1'-0"  
 N

AREA CALCULATIONS	
A/C FLOOR AREA	2,410 S.F.
COVERED PORCH #1	172 S.F.
COVERED PORCH #2	140 S.F.
TOTAL A/C FLOOR AREA	2,410 S.F.
TOTAL FLOOR AREA UNDER ROOF	2,722 S.F.

**NOTES:**  
 1. DO NOT SCALE DRAWINGS!  
 2. FIELD VERIFY ALL DIMENSIONS!  
 3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)  
 4. ALL AREA CALCULATIONS ARE APPROX.

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architect, planner and designer

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TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR: CONDITIONAL USE/SPLAS  
BIDS  
PERMIT: 01212  
CONSTRUCTION

PROJECT TITLE  
**THE NORTH EDGE**

**1405 N. FEDERAL HWY  
DELRAY BEACH, FL.**

REVISIONS  
▲ REVISED 12/3/22  
AS PER DEVELOPMENT SERVICES COMMENTS:  
1. UNIT 202; MADE PORCH #1 SMALLER  
2. UNIT 204; MADE PORCH LARGER  
3. MOVED THE TRASH CHUTE LOCATION TO THE WEST

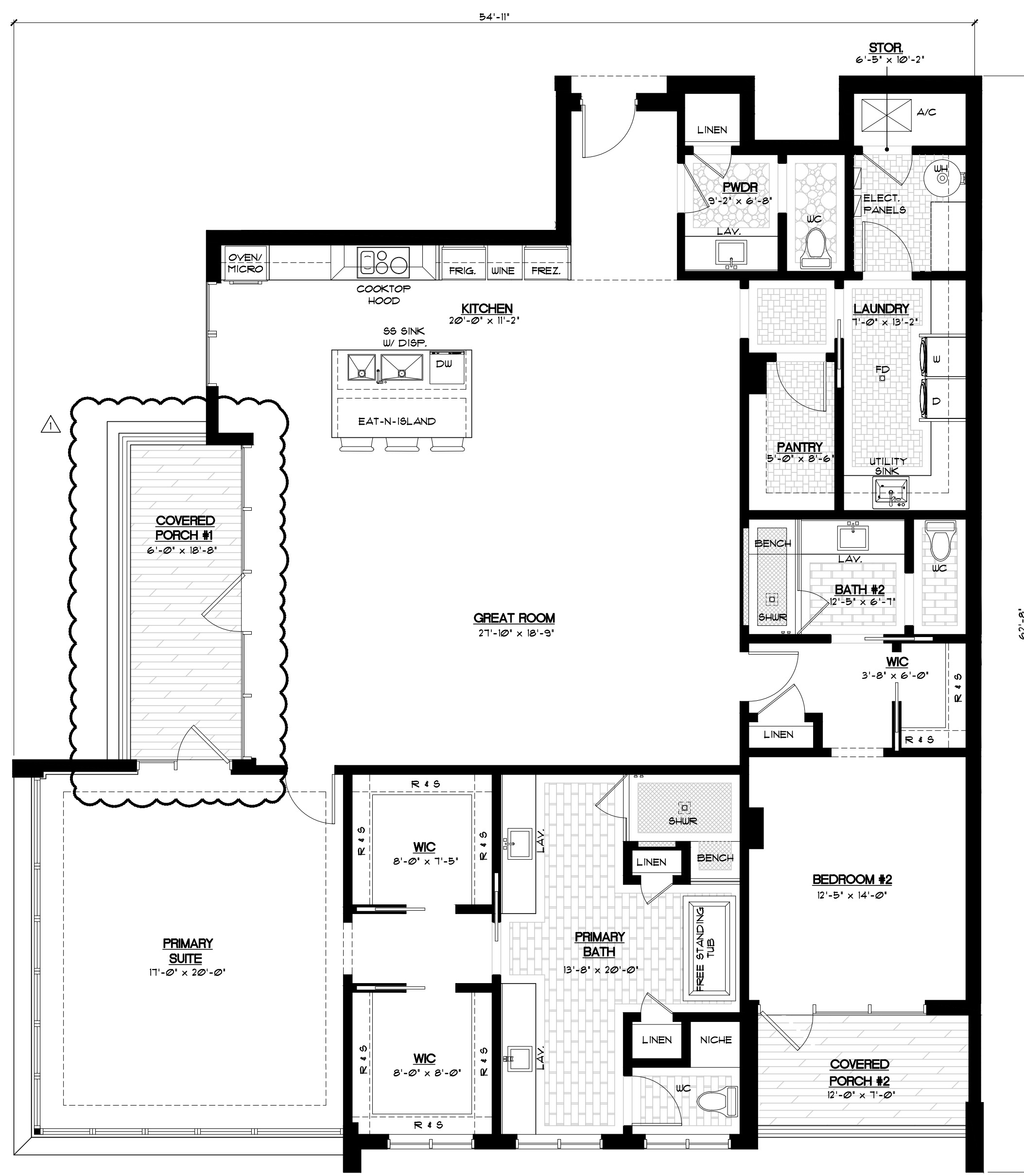
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FILE NUMBER **222A401**

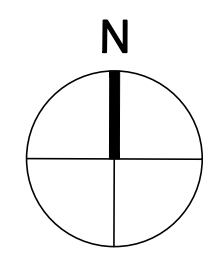
DRAWING TITLE  
**ENLARGED  
UNIT PLANS**

DATE **6.15.22** | DRAWN BY **JH**  
JOB NUMBER **20220222**  
DRAWING NUMBER

**A4.01**

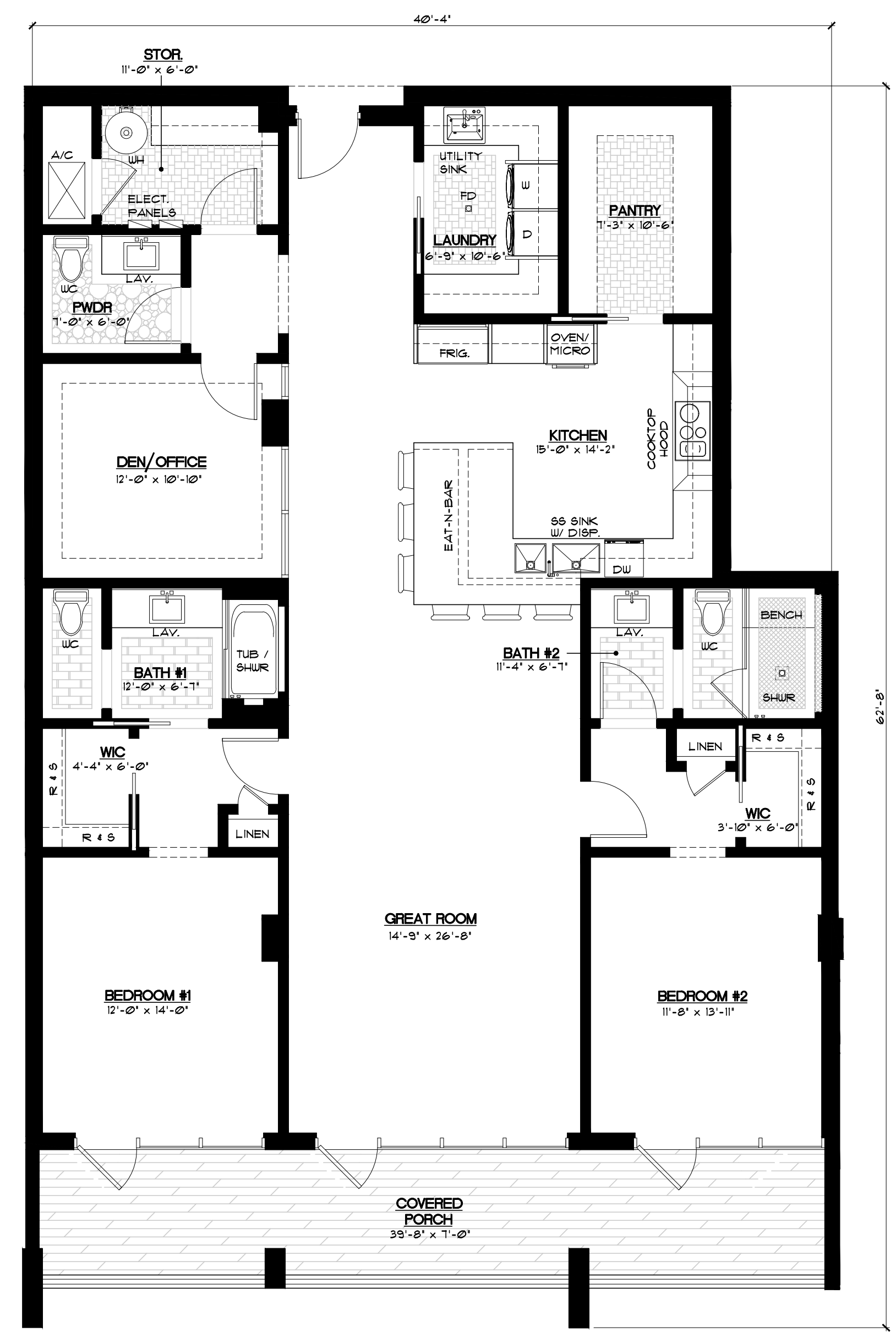


**3 UNIT 202 -2 BEDROOM/2.5 BATH**  
A4.01 SCALE: 3/16" = 1'-0"

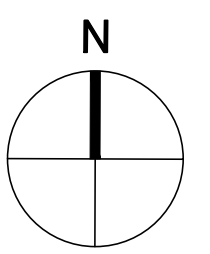


AREA CALCULATIONS

A/C FLOOR AREA	2,549 S.F.
COVERED PORCH #1	129 S.F.
COVERED PORCH #2	81 S.F.
TOTAL A/C FLOOR AREA	2,549 S.F.
TOTAL FLOOR AREA UNDER ROOF	2,769 S.F.

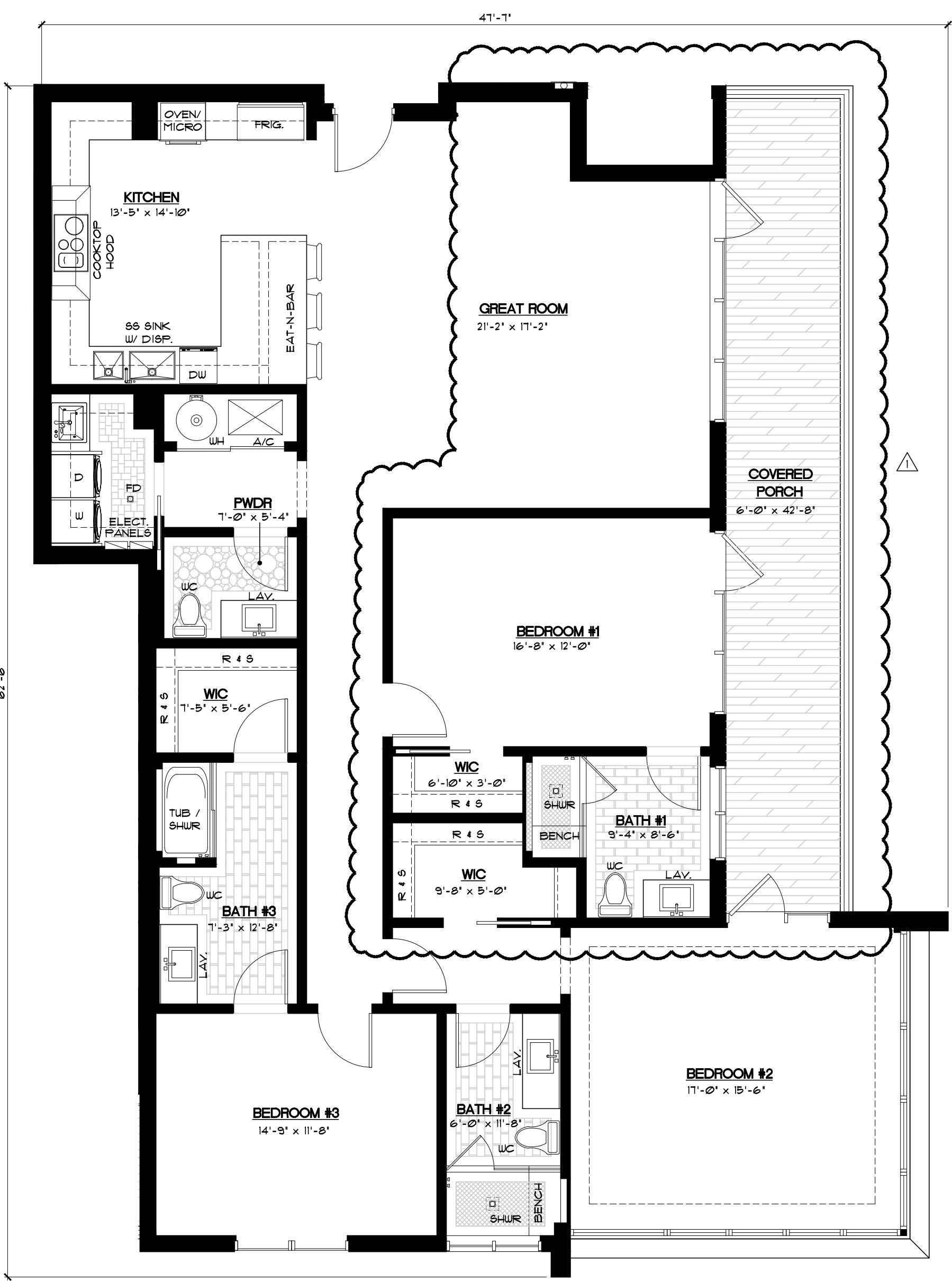


**2 UNIT 203 -2 BEDROOM/2.5 BATH**  
A4.01 SCALE: 3/16" = 1'-0"

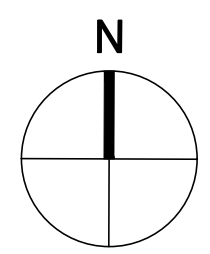


AREA CALCULATIONS

A/C FLOOR AREA	2,003 S.F.
COVERED PORCH	219 S.F.
TOTAL A/C FLOOR AREA	2,003 S.F.
TOTAL FLOOR AREA UNDER ROOF	2,222 S.F.



**1 UNIT 204 -3 BEDROOM/3.5 BATH**  
A4.01 SCALE: 3/16" = 1'-0"



AREA CALCULATIONS

A/C FLOOR AREA	2,109 S.F.
COVERED PORCH	289 S.F.
TOTAL A/C FLOOR AREA	2,109 S.F.
TOTAL FLOOR AREA UNDER ROOF	2,397 S.F.

NOTES:  
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**2 UNIT 302 -3 BEDROOM/3.5 BATH**  
 A4.00 SCALE : 3/16" = 1'-0"

AREA CALCULATIONS	
A/C FLOOR AREA	3,671 S.F.
COVERED PORCH #1	129 S.F.
COVERED PORCH #2	280 S.F.
TOTAL A/C FLOOR AREA	3,671 S.F.
TOTAL FLOOR AREA UNDER ROOF	4,080 S.F.

**1 UNIT 303 -4 BEDROOM/4.5 BATH**  
 A4.00 SCALE : 3/16" = 1'-0"

AREA CALCULATIONS	
A/C FLOOR AREA	3,020 S.F.
COVERED PORCH #1	81 S.F.
COVERED PORCH #2	289 S.F.
TOTAL A/C FLOOR AREA	3,020 S.F.
TOTAL FLOOR AREA UNDER ROOF	3,396 S.F.

- NOTES:**
- DO NOT SCALE DRAWINGS!
  - FIELD VERIFY ALL DIMENSIONS!
  - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
  - ALL AREA CALCULATIONS ARE APPROX.



REVISIONS

REVISOR	DATE	DESCRIPTION
AS PER DEVELOPMENT SERVICES	12/23/22	ADDED AVERAGE CROWN OF ROAD TO SECTIONS
AS PER DEVELOPMENT SERVICES	12/23/22	UPDATED SIZE OF GARAGE DOOR TO 11'-0"
AS PER DEVELOPMENT SERVICES	12/23/22	ADJUSTED STAIR TOWER AND RAILINGS AT ROOF LEVEL
AS PER DEVELOPMENT SERVICES	12/23/22	MADE AMENITY BUILDING SMALLER
AS PER DEVELOPMENT SERVICES	12/29/22	REDUCED SQUARE FOOTAGE OF AMENITY BLDG.

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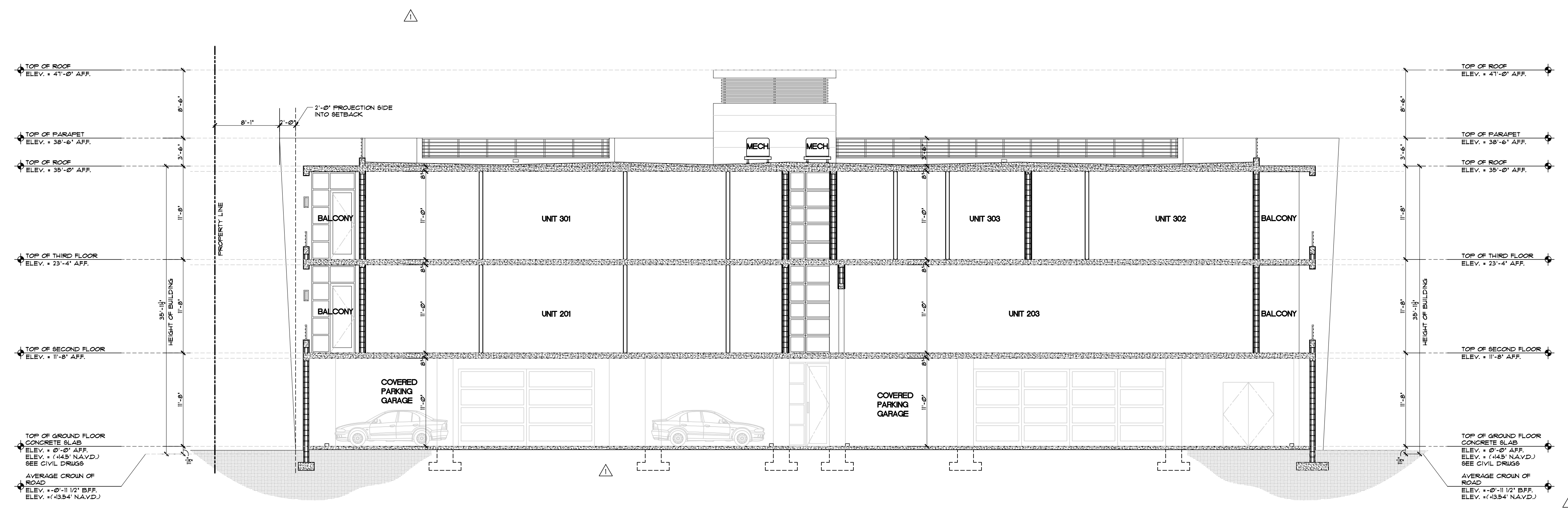
FILE NUMBER  
**222A700**

DRAWING TITLE  
**BUILDING SECTIONS**

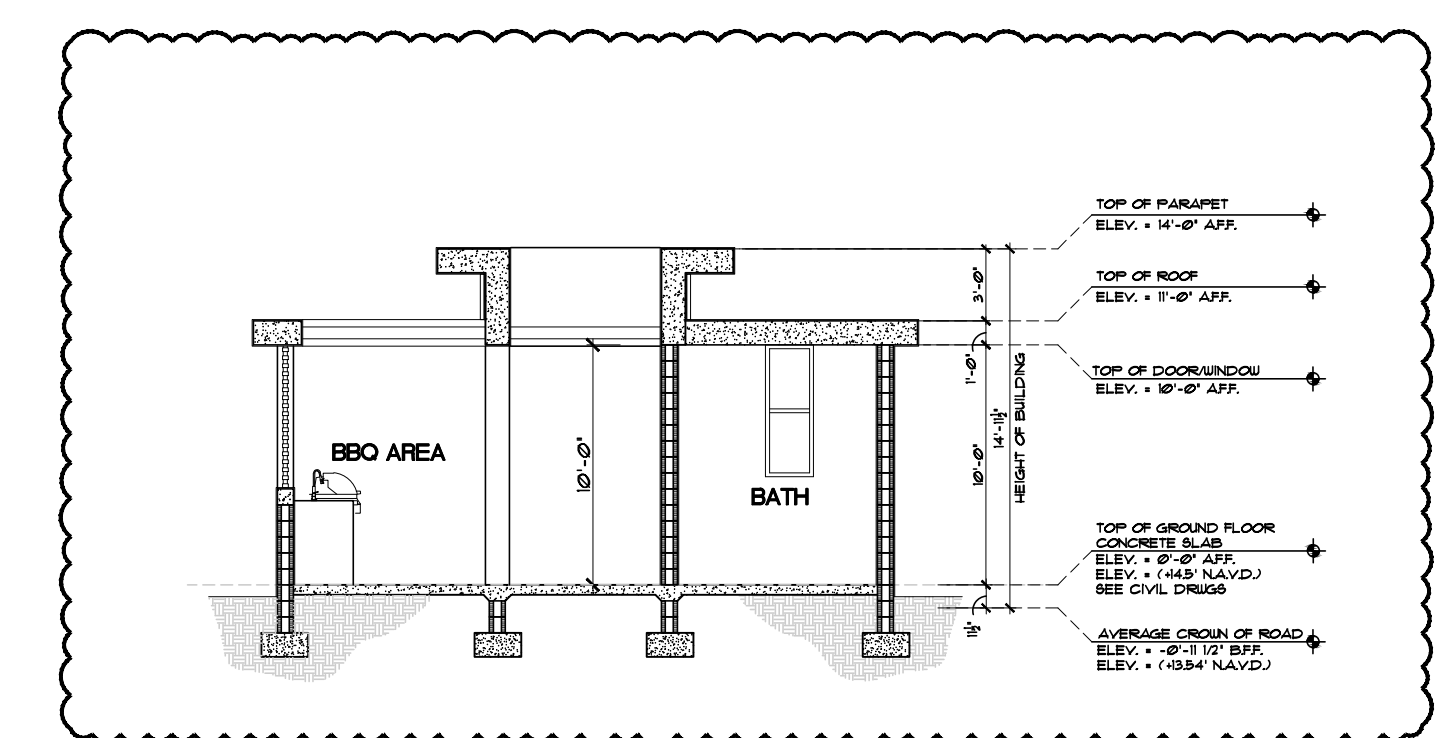
DATE: **7.05.22** | DRAWN BY: **JH**  
JOB NUMBER: **20220222**  
DRAWING NUMBER

**A7.00**

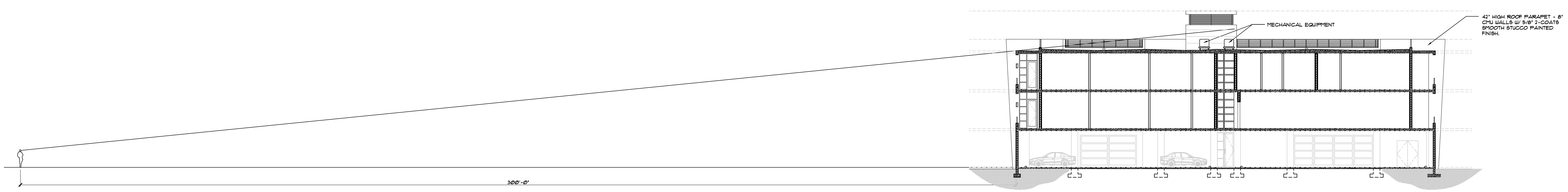
- NOTES:**
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  - ALL AREA CALCULATIONS ARE APPROX.



**1 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**2 AMENITY BLDG. SECTION**  
SCALE: 1/8" = 1'-0"



**3 LINE OF SIGHT STUDY**  
SCALE: 1/16" = 1'-0"

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