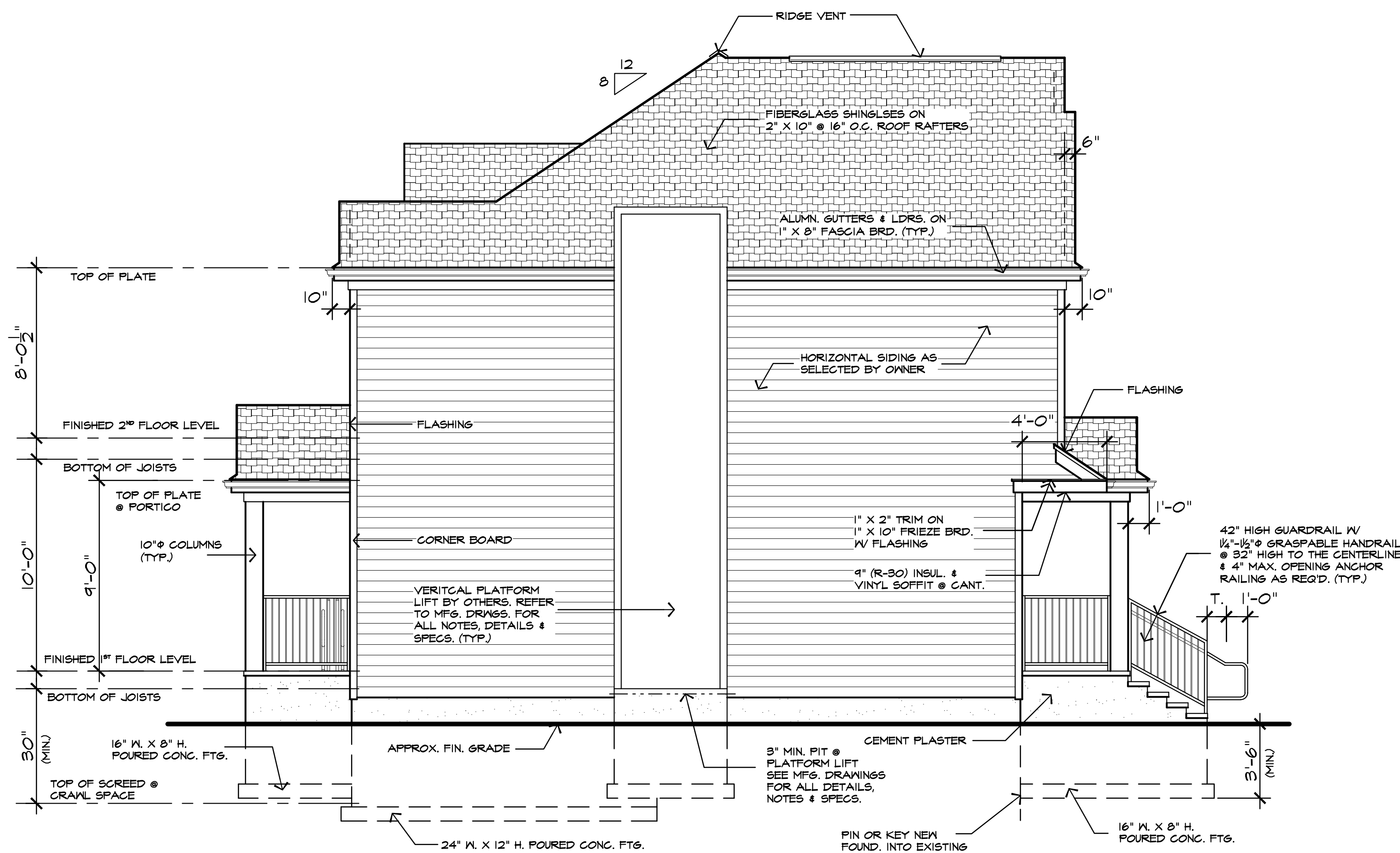


**FRONT ELEVATION**

SCALE = 1/4" = 1'-0"  
 0 1' 2' 5' 10'



**LEFT SIDE ELEVATION**

SCALE = 1/4" = 1'-0"  
 0 1' 2' 5' 10'

**BUILDINGS WITH ONE EXIT REQUIREMENTS**

OCCUPANCY LOAD: LESS THAN 30 PERSONS PER FLOOR  
 LENGTH OF TRAVEL: 75' MAXIMUM LENGTH OF TRAVEL

**FLOOR LOAD REQUIREMENTS**

LOBBY : L.L. = 100 PSF  
 D.L. = 10 PSF  
 OFFICE : L.L. = 50 PSF  
 D.L. = 10 PSF

2000 INTERNATIONAL BUILDING CODE, NJ EDITION  
 2003 INTERNATIONAL MECHANICAL CODE  
 2005 NATIONAL ELECTRICAL CODE  
 1999 ASHRAE STANDARD 90.1 (COMMERCIAL)  
 2003 NATIONAL STANDARD PLUMBING CODE  
 2003 INTERNATIONAL FUEL GAS CODE  
 1998 ICC/ANSIA 117.1 HANDICAP

**CONSTRUCTION DATA**

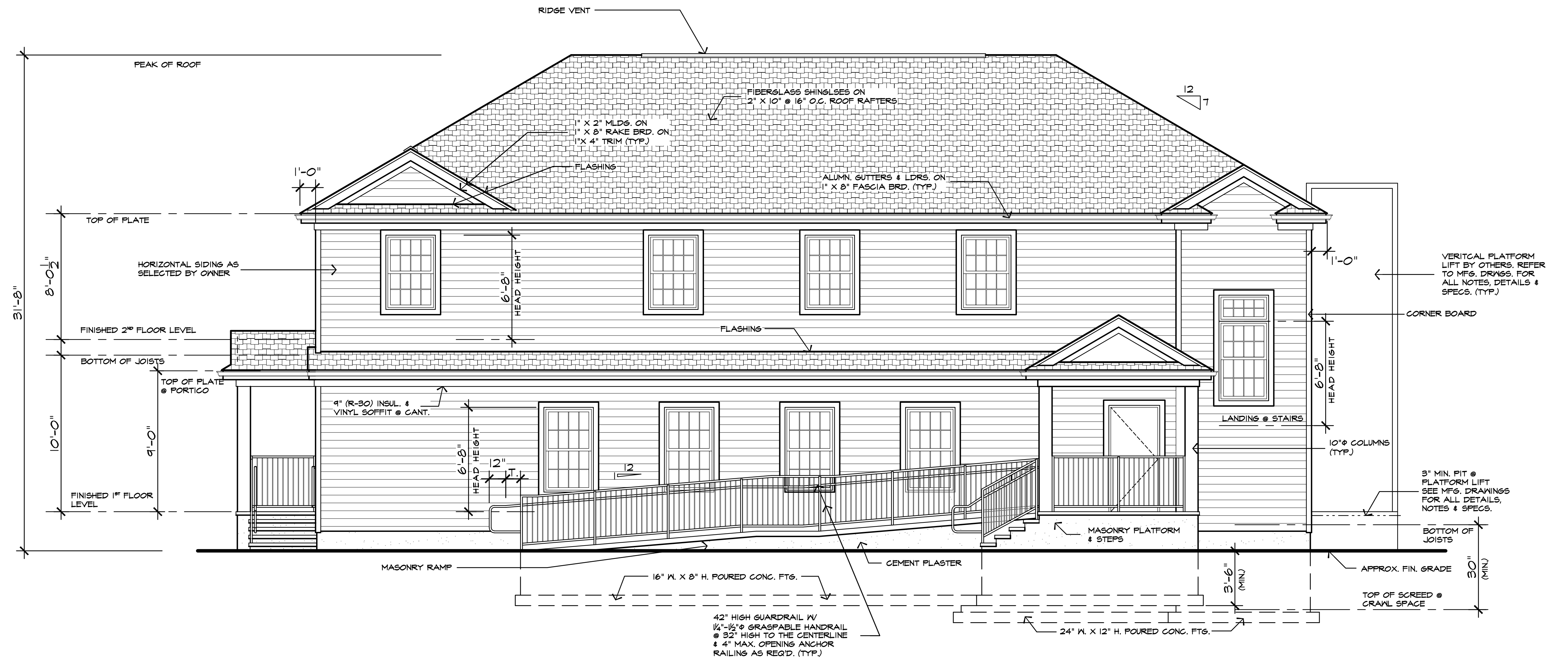
|                            |   |                     |     |
|----------------------------|---|---------------------|-----|
| CONSTRUCTION TYPE:         | Vb  | CONSTRUCTION CLASS: | III |
| USE GROUP:                 | R-5   |                     |     |
| CONSTRUCTION VOLUME ADDED: | 50,639 CU. FT.                                      |                     |     |
| COMMON SPACE:              | 418 SQ. FT.   |                     |     |
| TENANT #1:                 | 1,400 SQ. FT.                                       |                     |     |
| OCCUPANCY LOAD: / 100      | 14 PERSONS  |                     |     |
| TENANT #2:                 | 1,731 SQ. FT.                                       |                     |     |
| OCCUPANCY LOAD: / 100      | 17 PERSONS  |                     |     |
| TOTAL OCCUPANCY LOAD:      | 31 PERSONS  |                     |     |
| LAND AREA DISTURBED:       | 654 (NEW)-552 EX. TO BE REMOVED = 102 SQ. FT. (NET) |                     |     |
| BUILDING HEIGHT:           | 31'-8" ±  |                     |     |

**JAMES P. CUTILLO ASSOCIATES ARCHITECTS - PLANNERS**  
 No. 09592 No. 4485  
 21 MOUNTAIN AVE. POMPTON PLAINS, NJ 07444 973-831-6161  
 PROPOSED ALTERATION/ADDITION FOR:  
**85 HOPPER AVENUE, LLC**  
 85 HOPPER AVENUE WALDWICK, NJ

**ELEVATIONS**

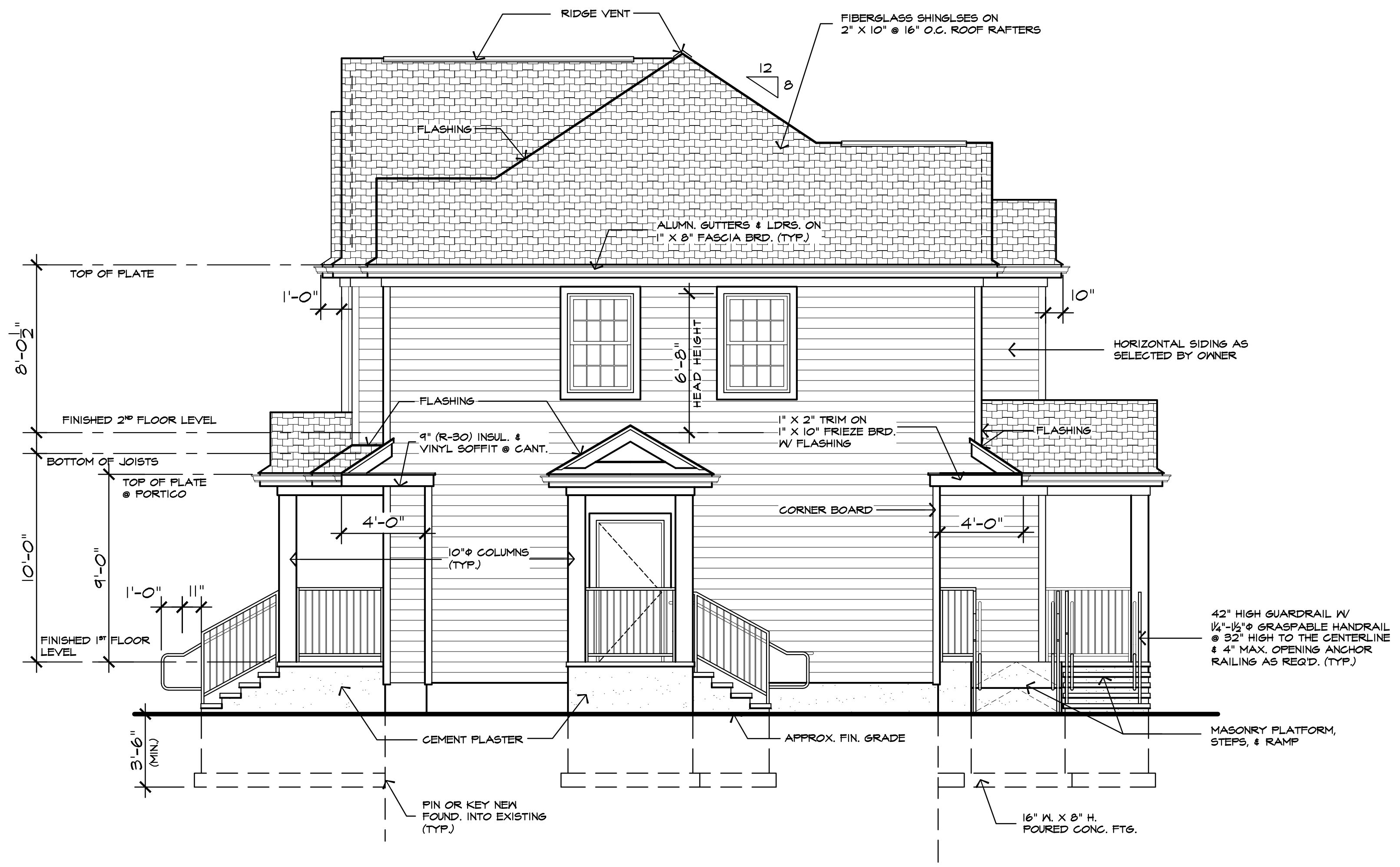
|             |              |
|-------------|--------------|
| job no.     | 07-84        |
| date        | 8/17/10      |
| scale       | 1/4" = 1'-0" |
| drawn by    | JJB          |
| checked by  | JPC          |
| drawing no. | A1           |
|             | 1 OF 8       |

COPYRIGHT: by James P. Cutillo & Associates, R.A., P.P.  
 This drawing, including copies thereof, shall at all times remain the possession and ownership of the copyright owner. Any further reproduction or other use of this drawing is prohibited without written consent.



REAR ELEVATION

SCALE = 1/4" = 1'-0"



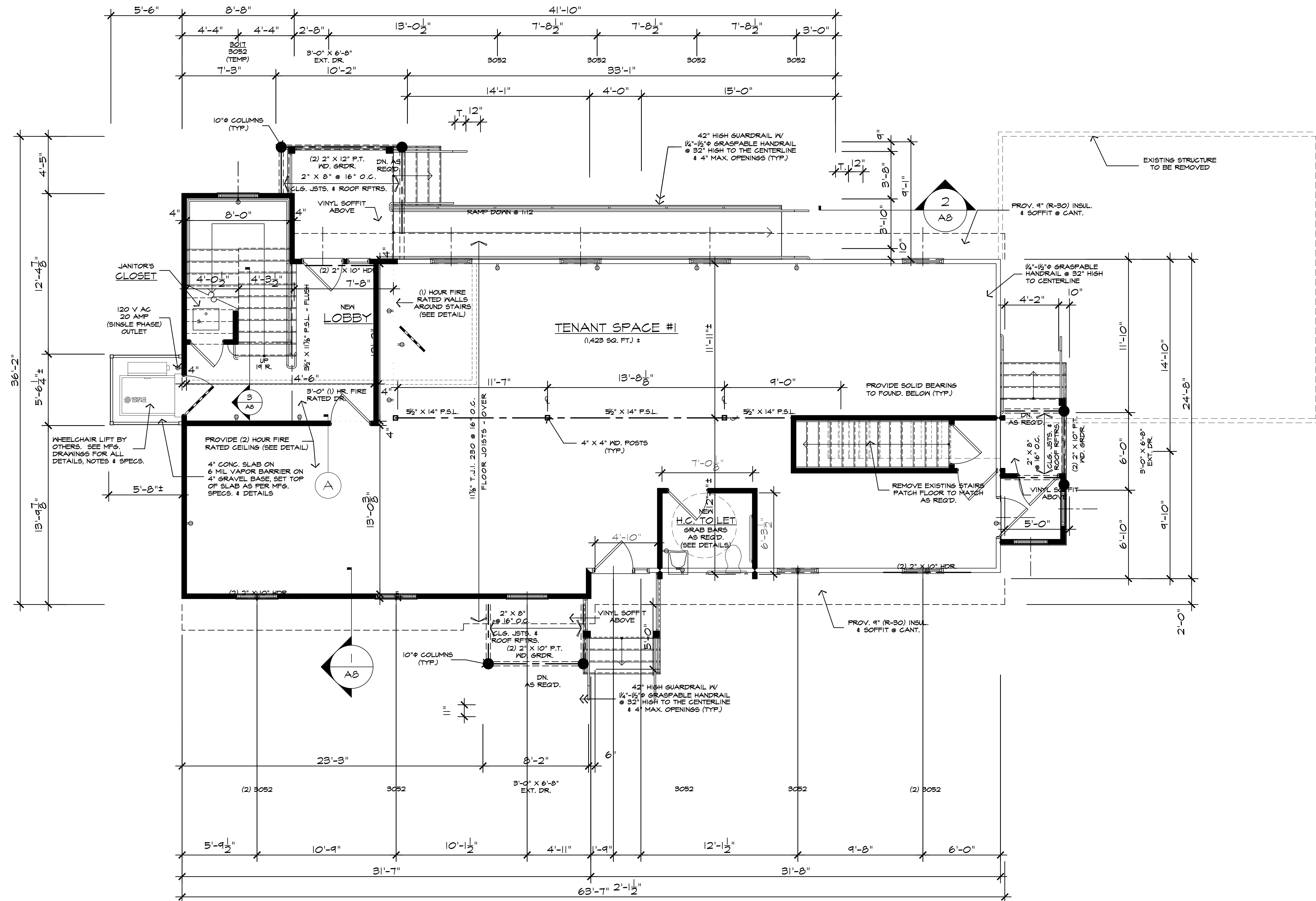
RIGHT SIDE ELEVATION

SCALE = 1/4" = 1'-0"

COPYRIGHT: by James P. Cutillo & Associates, R.A., P.P. This drawing, including copies thereof, shall at all times remain the possession and ownership of the copyright owner. Any further reproduction or other use of this drawing is prohibited without written consent.

|  |    |            |              |
|--|----|------------|--------------|
| <b>JAMES P. CUTILLO ASSOCIATES ARCHITECTS - PLANNERS</b><br>No. 09592 No. 4485<br>21 MOUNTAIN AVE. POMPTON PLAINS, NJ 07444 973-831-6161 |    | ELEVATIONS |              |
|  |    | job no.    | 07-84        |
| PROPOSED ALTERATION/ADDITION FOR:<br><b>85 HOPPER AVENUE, LLC</b><br>85 HOPPER AVENUE WALDWICK, NJ                                       |    | date       | 8/17/10      |
|  |    | scale      | 1/4" = 1'-0" |
|  |    | drawn by   | JJB          |
|  |    | checked by | JPC          |
| drawing no.  | A2 |            | 2 OF 8       |



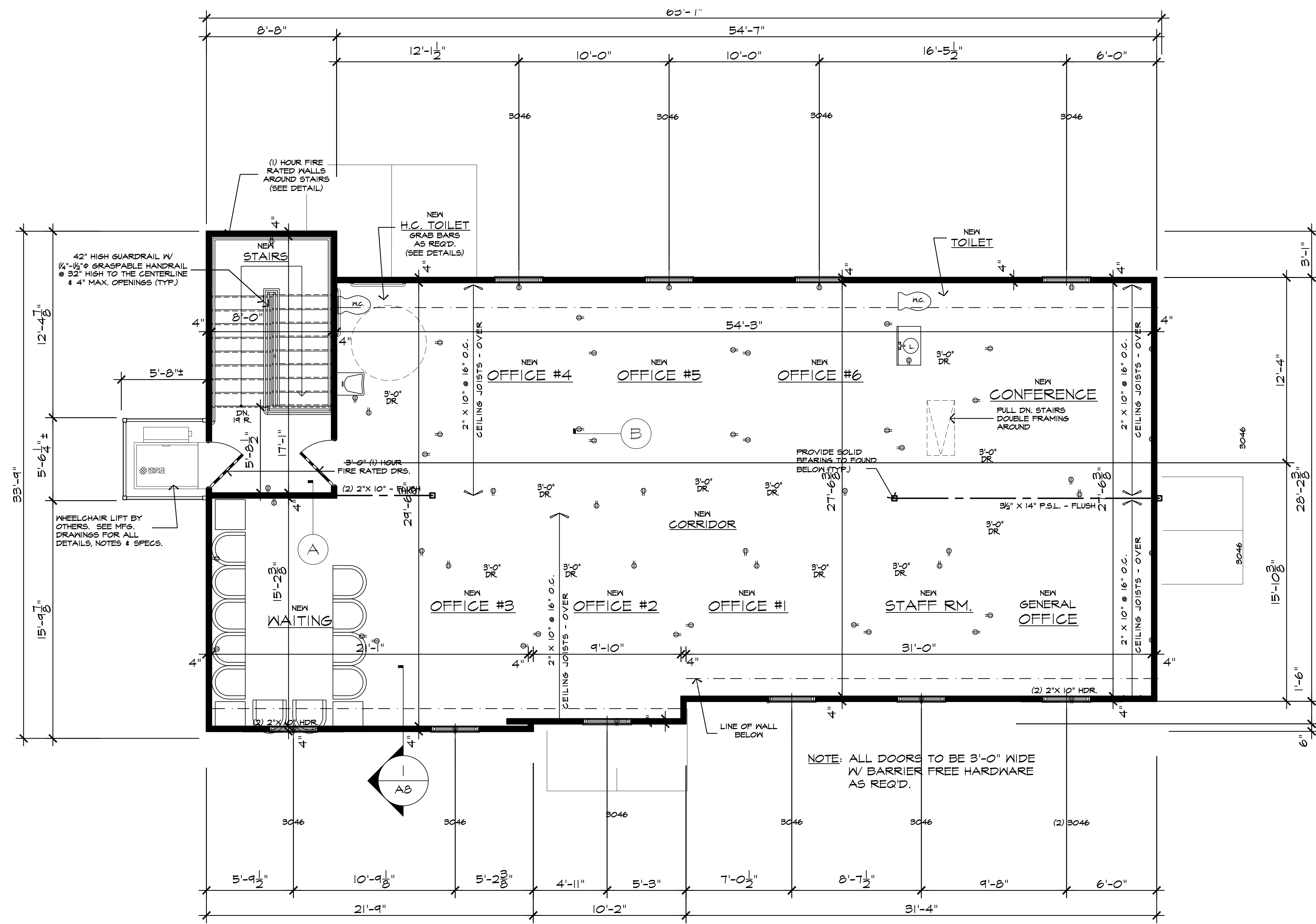


**FIRST FLOOR PLAN**  
SCALE = 1/4" = 1'-0"

**COPYRIGHT:** by James P. Cutillo & Associates, R.A., P.P.  
This drawing, including copies thereof, shall at all times remain the possession and ownership of the copyright owner. Any further reproduction or other use of this drawing is prohibited without written consent.

|   |  |
|---|--|
| <b>JAMES P. CUTILLO ASSOCIATES ARCHITECTS - PLANNERS</b><br>No. 09592 No. 4485                        |  |
| 21 MOUNTAIN AVE. POMPTON PLAINS, NJ 07444 973-831-6161  |  |
| PROPOSED ALTERATION/ADDITION FOR:<br><b>85 HOPPER AVENUE, LLC</b><br>85 HOPPER AVENUE<br>WALDWICK, NJ | DATE: 8/17/10<br>SCALE: 1/4" = 1'-0"<br>DRAWN BY: JJB<br>CHECKED BY: JPC |

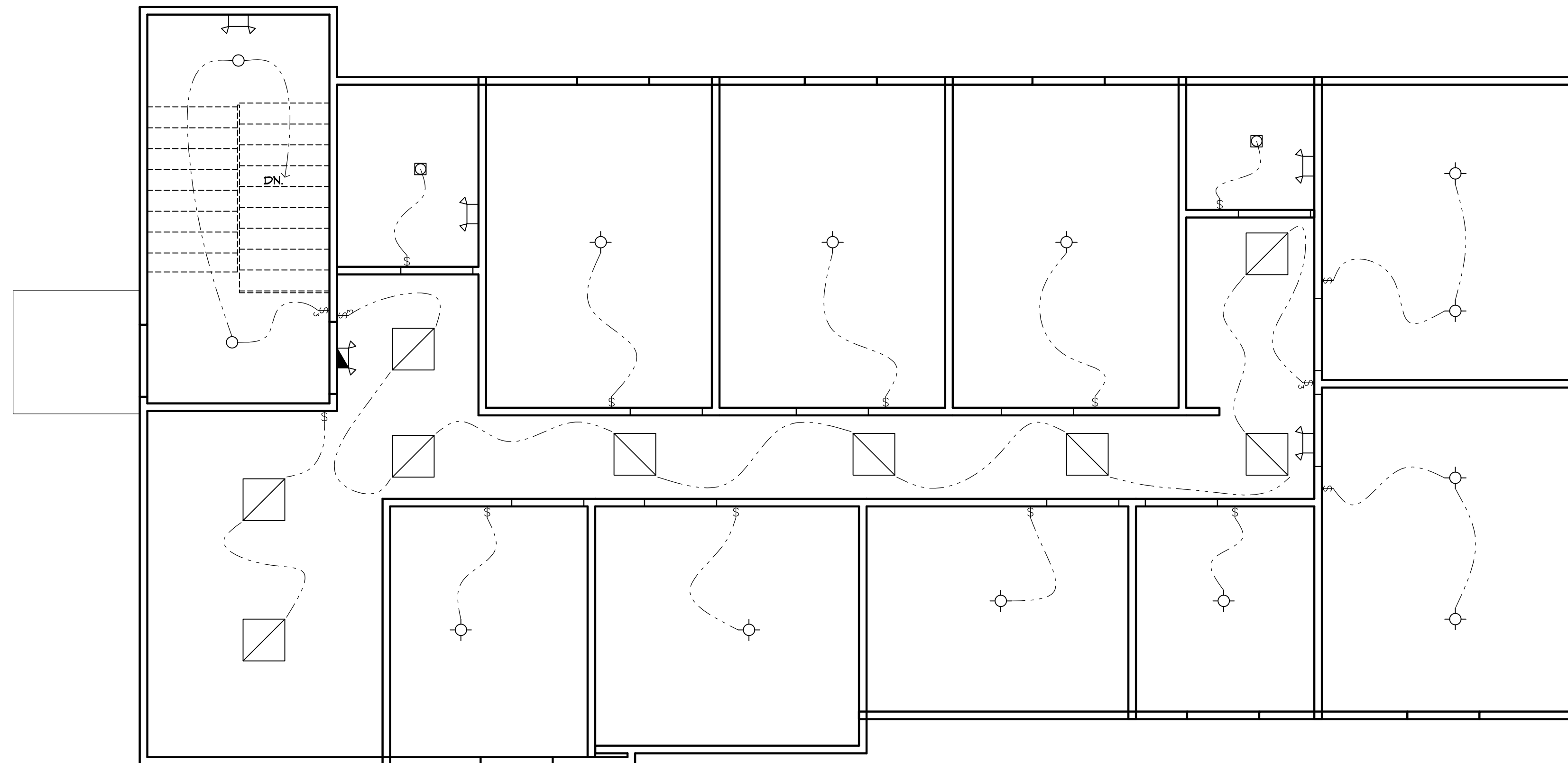
|                  |        |
|------------------|--------|
| FIRST FLOOR PLAN |        |
| JOB NO.          | 07-84  |
| DRAWING NO.      | A4     |
| PAGE             | 4 OF 8 |



**SECOND FLOOR PLAN** (1,731 SQ. FT.) ±  
SCALE = 1/4" = 1'-0"

**COPYRIGHT:** by James P. Cutillo & Associates, R.A., P.P.  
This drawing, including copies thereof, shall at all times remain the possession and ownership of the copyright owner. Any further reproduction or other use of this drawing is prohibited without written consent.

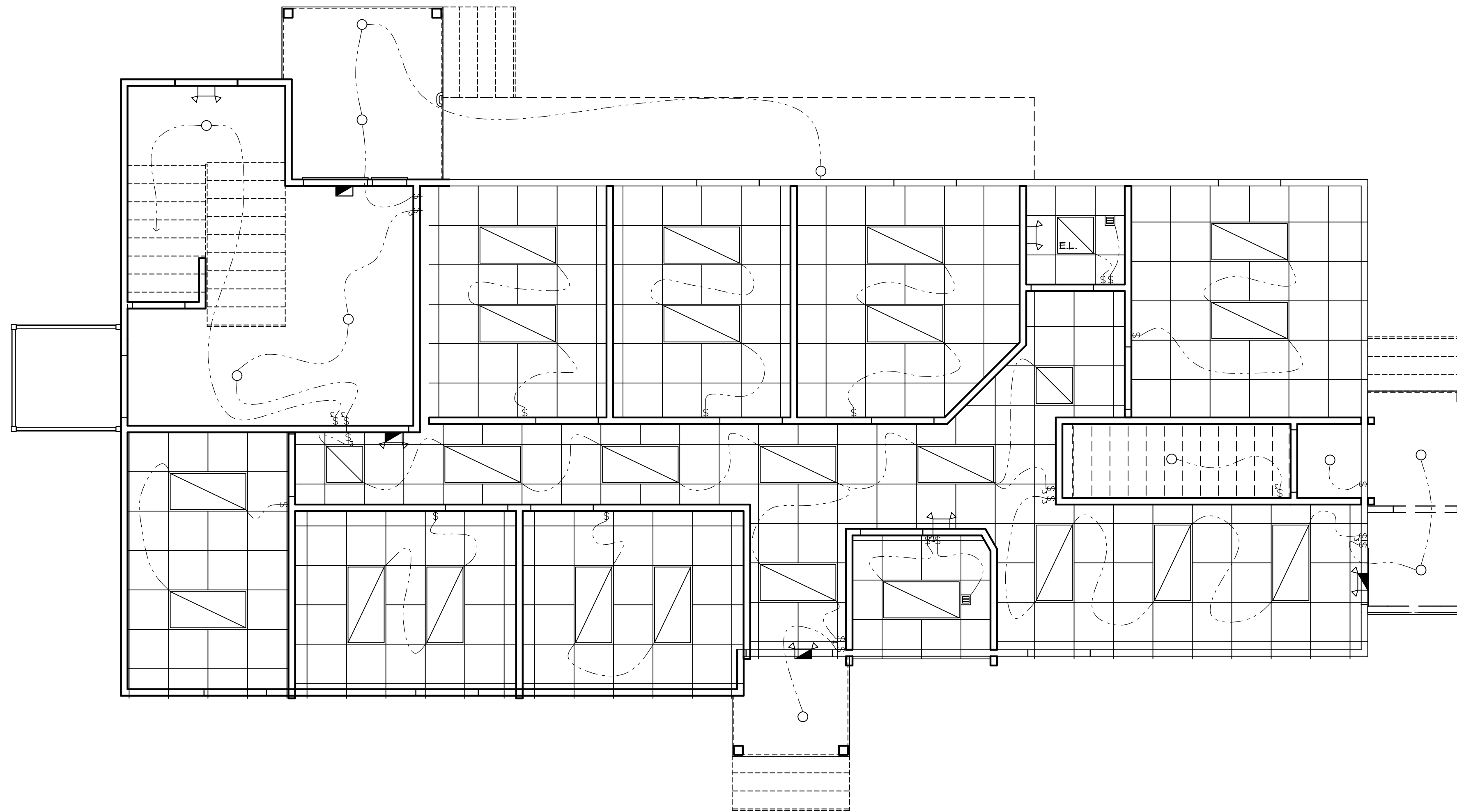
|   |  |   |  |
|---|--|---|--|
| <b>JAMES P. CUTILLO ASSOCIATES</b><br>ARCHITECTS - PLANNERS<br>No. 09592 No. 4485<br>21 MOUNTAIN AVE. POMPTON PLAINS, NJ 07444 973-831-6161 |  | SECOND FLOOR PLAN   |  |
|   |  | PROPOSED ALTERATION/ADDITION FOR:<br><b>85 HOPPER AVENUE, LLC</b><br>85 HOPPER AVENUE<br>WALDWICK, NJ | date: 8/17/10<br>scale: 1/4" = 1'-0"<br>drawn by: JJB<br>checked by: JPC |



SECOND FLOOR  
REFLECTED CEILING PLAN

SCALE = 1/4" = 1'-0"

| ELECTRICAL LEGEND |   |
|-------------------|---|
|                   | EMERGENCY LIGHTS<br>W/ BATTERY BACKUP                   |
|                   | ILLUMINATED EXIT SIGN<br>W/ DIRECTIONAL                 |
|                   | EXIT SIGN W/<br>EMERGENCY LIGHTS<br>& BATTERY BACKUP    |
|                   | 2' X 2' SURFACE<br>MOUNTED FLUORESCENT<br>LIGHT FIXTURE |
|                   | CEILING FIXTURE<br>BOX                                  |
|                   | INCANDESCENT<br>LIGHT FIXTURE                           |
|                   | DUPLEX OUTLET   |
|                   | SINGLE POLE SWITCH                                      |



FIRST FLOOR  
REFLECTED CEILING PLAN

SCALE = 1/4" = 1'-0"

**COPYRIGHT:** by James P. Cutillo & Associates, R.A., P.P.  
This drawing, including copies thereof, shall at all times  
remain the possession and ownership of the copyright owner.  
Any further reproduction or other use of this drawing is  
prohibited without written consent.

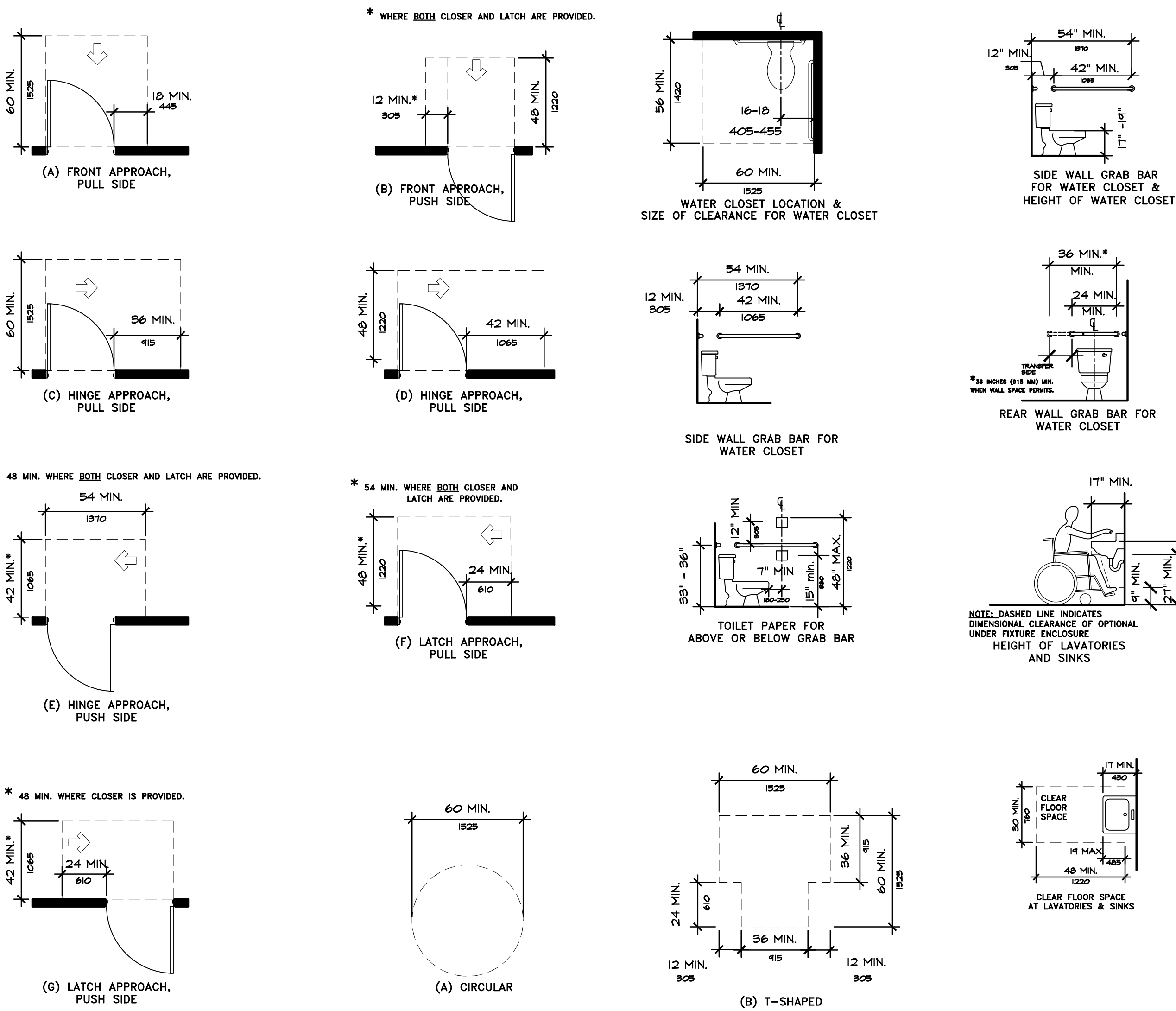
|  |  |  |   |
|--|--|--|---|
| <b>JAMES P. CUTILLO</b><br>ASSOCIATES<br>ARCHITECTS - PLANNERS<br><small>No. 09592 No. 4485</small>      |  | REFLECTED CEILING  |   |
|  |  | <small>21 MOUNTAIN AVE. POMPTON PLAINS, NJ 07444 973-831-6161</small>    |   |
| PROPOSED ALTERATION/ADDITION<br>FOR:<br><b>85 HOPPER AVENUE, LLC</b><br>85 HOPPER AVENUE<br>WALDWICK, NJ |  | date: 8/17/10<br>scale: 1/4" = 1'-0"<br>drawn by: JJB<br>checked by: JPC | job no.<br><b>07-84</b><br>drawing no.<br><b>A6</b><br>6 OF 8 |



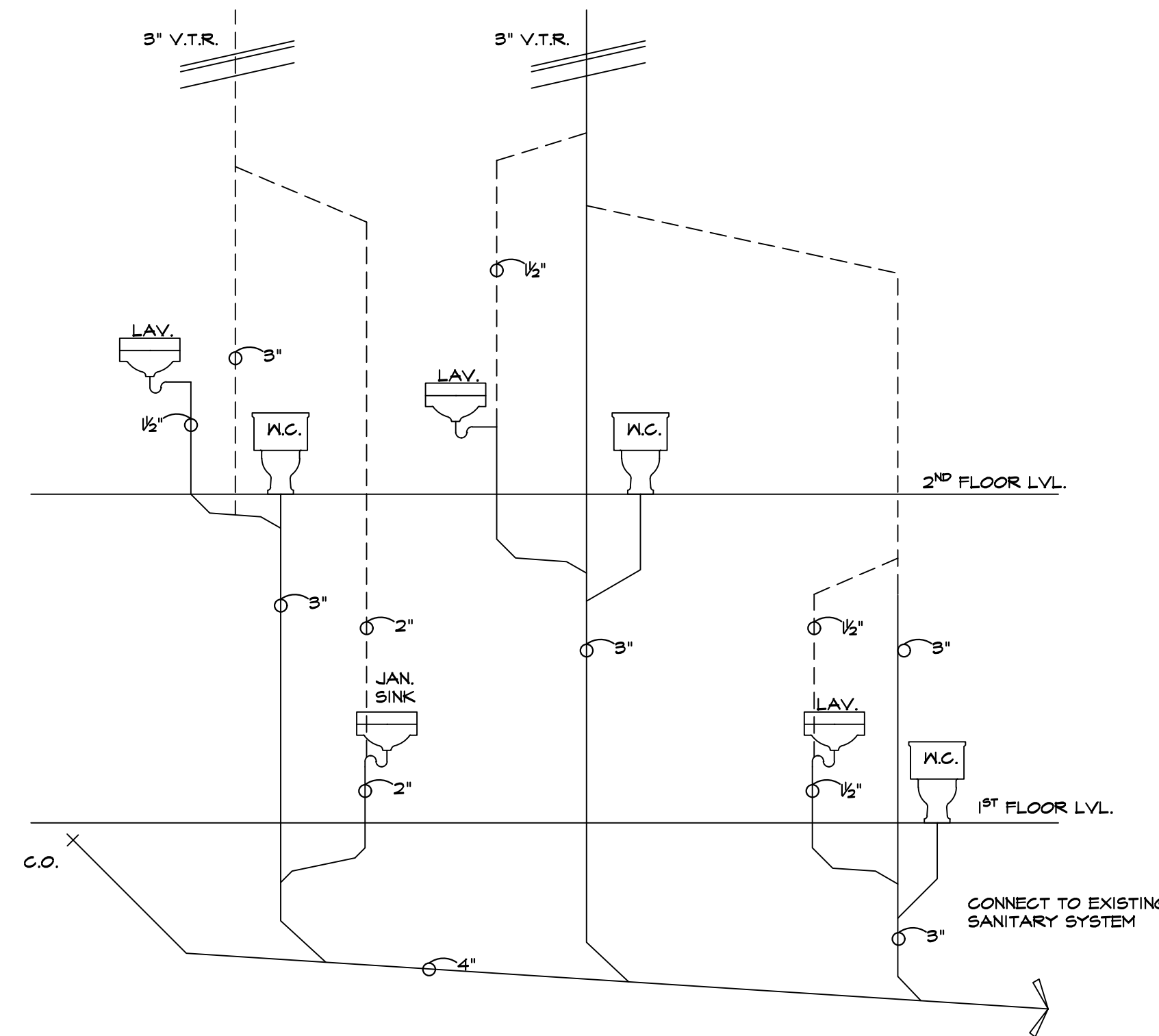
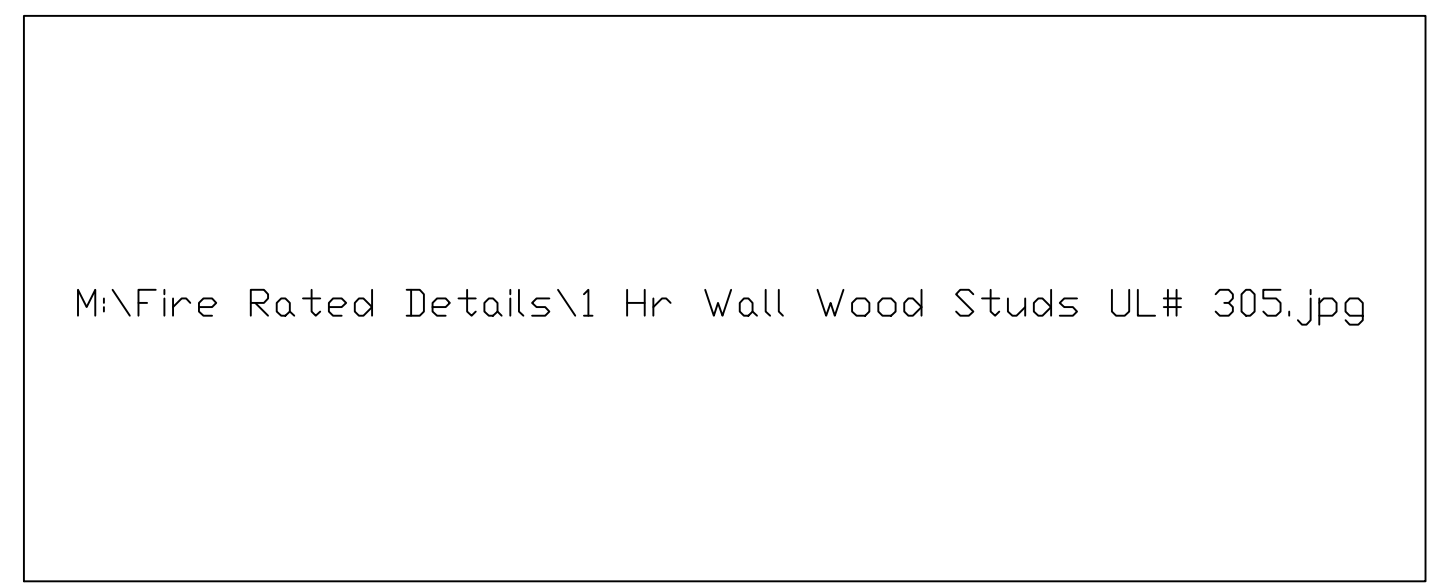
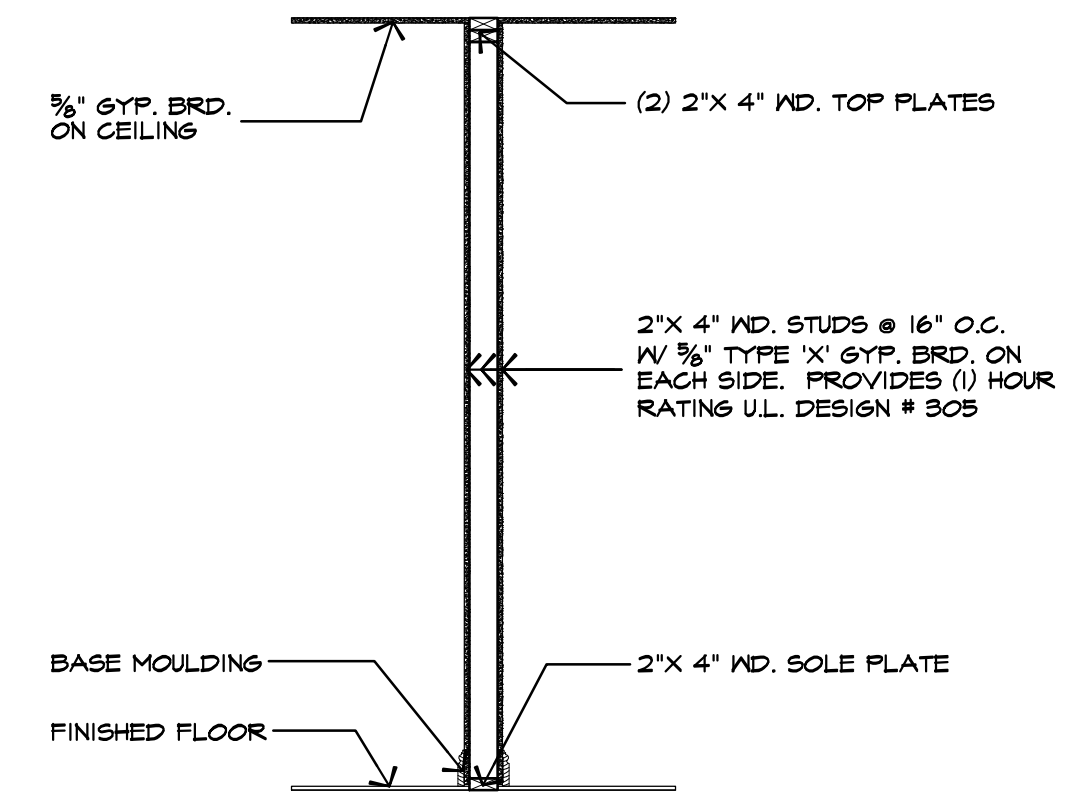
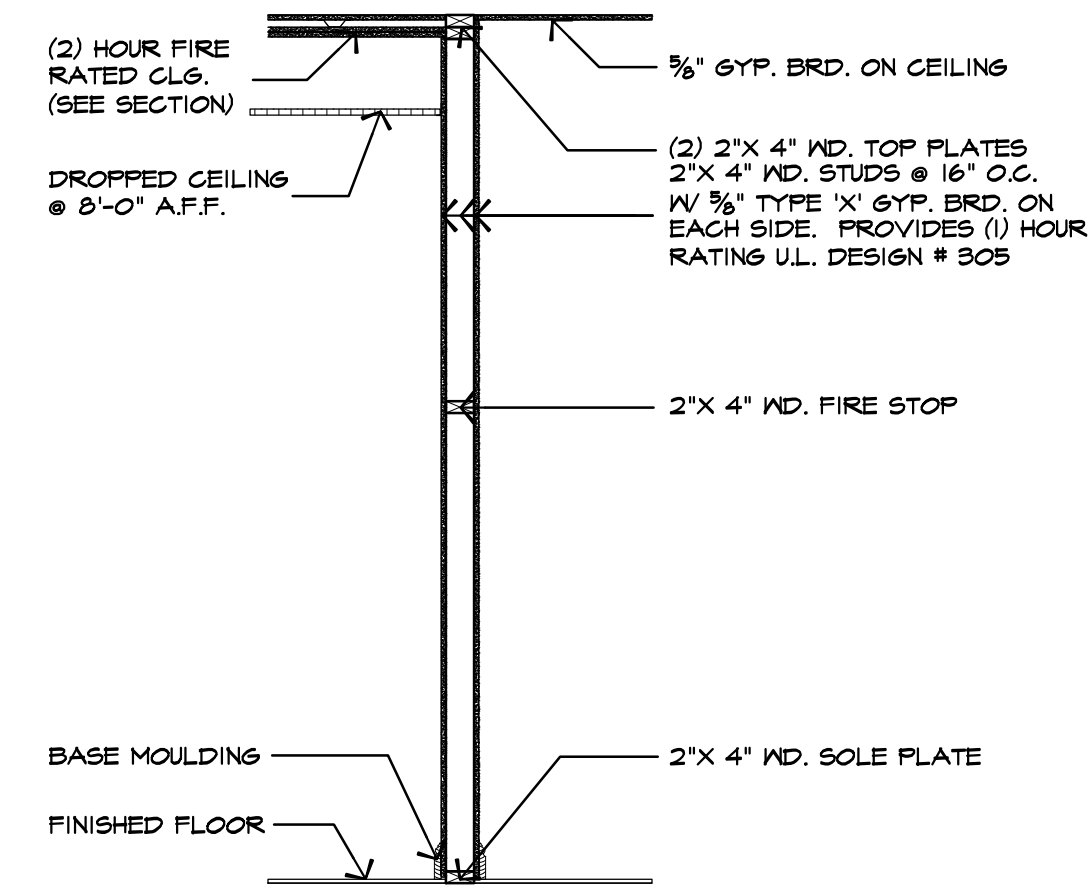
TABLE 404.2.4.1 - MANEUVERING CLEARANCES FOR MANUAL SWINGING DOORS

| TYPE OF USE        |           | MINIMUM CLEARANCES                         |   |
|--------------------|-----------|--|---|
| APPROACH DIRECTION | DOOR SIDE | PERPENDICULAR TO DOOR <sup>1</sup>         | BEYOND LATCH PARALL TO DOOR               |
| FROM FRONT         | PULL      | 60 INCHES (1525 MM)                        | 18 INCHES (455 MM)                        |
| FROM FRONT         | PUSH      | 48 INCHES (1220 MM)                        | 0 INCHES (0 MM) <sup>2</sup>              |
| FROM HINGE         | PULL      | 60 INCHES (1525 MM)<br>54 INCHES (1370 MM) | 36 INCHES (915 MM)<br>42 INCHES (1065 MM) |
| FROM HINGE         | PUSH      | 42 INCHES (1065 MM) <sup>3</sup>           | 54 INCHES (1370 MM)                       |
| FROM LATCH         | PULL      | 48 INCHES (1220 MM) <sup>4</sup>           | 24 INCHES (610 MM)                        |
| FROM LATCH         | PUSH      | 42 INCHES (1065 MM) <sup>4</sup>           | 24 INCHES (610 MM)                        |

<sup>1</sup> MANEUVERING SPACE SHALL INCLUDE FULL WIDTH OF DOORWAY.  
<sup>2</sup> ADD 12 INCHES (305 MM) IF CLOSER AND LATCH PROVIDED.  
<sup>3</sup> ADD 6 INCHES (150 MM) IF CLOSER AND LATCH PROVIDED.  
<sup>4</sup> ADD 6 INCHES (150 MM) IF CLOSER PROVIDED.



H.C. TOILET DETAILS  
SCALE: NONE



| FIXTURE          | BRANCHING PIPING |      |        |           |
|------------------|------------------|------|--------|-----------|
|                  | H.W.             | C.W. | DRAIN  | TRAP/VENT |
| WATER CLOSET     | -                | 1/2" | 3"     | -         |
| LAVATORY         | 1/2"             | 1/2" | 1 1/2" | 1 1/2"    |
| BATH TUB/ SHOWER | 1/2"             | 1/2" | 1 1/2" | 1 1/2"    |
| KITCHEN SINK     | 1/2"             | 1/2" | 1 1/2" | 1 1/2"    |
| STALL SHOWER     | 1/2"             | 1/2" | 2"     | 1 1/2"    |
| LAUNDRY TUB      | 1/2"             | 1/2" | 1 1/2" | 1 1/2"    |

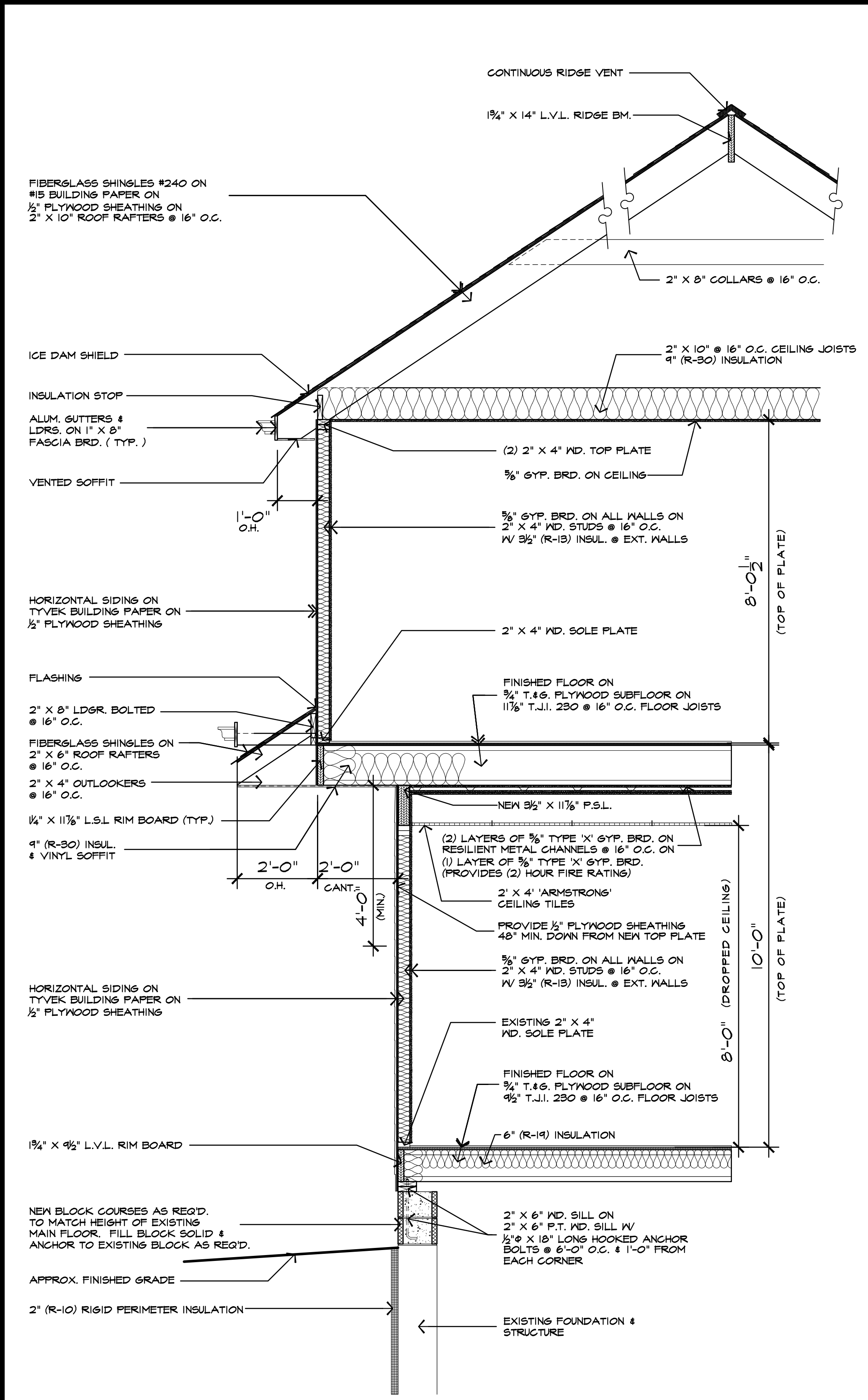
**JAMES P. CUTILLO ASSOCIATES ARCHITECTS - PLANNERS**  
 No. 09592 No. 4485  
 21 MOUNTAIN AVE. POMPTON PLAINS, NJ 07444 973-831-6161

PROPOSED ALTERATION/ADDITION FOR:  
**85 HOPPER AVENUE, LLC**  
 85 HOPPER AVENUE WALDWICK, NJ

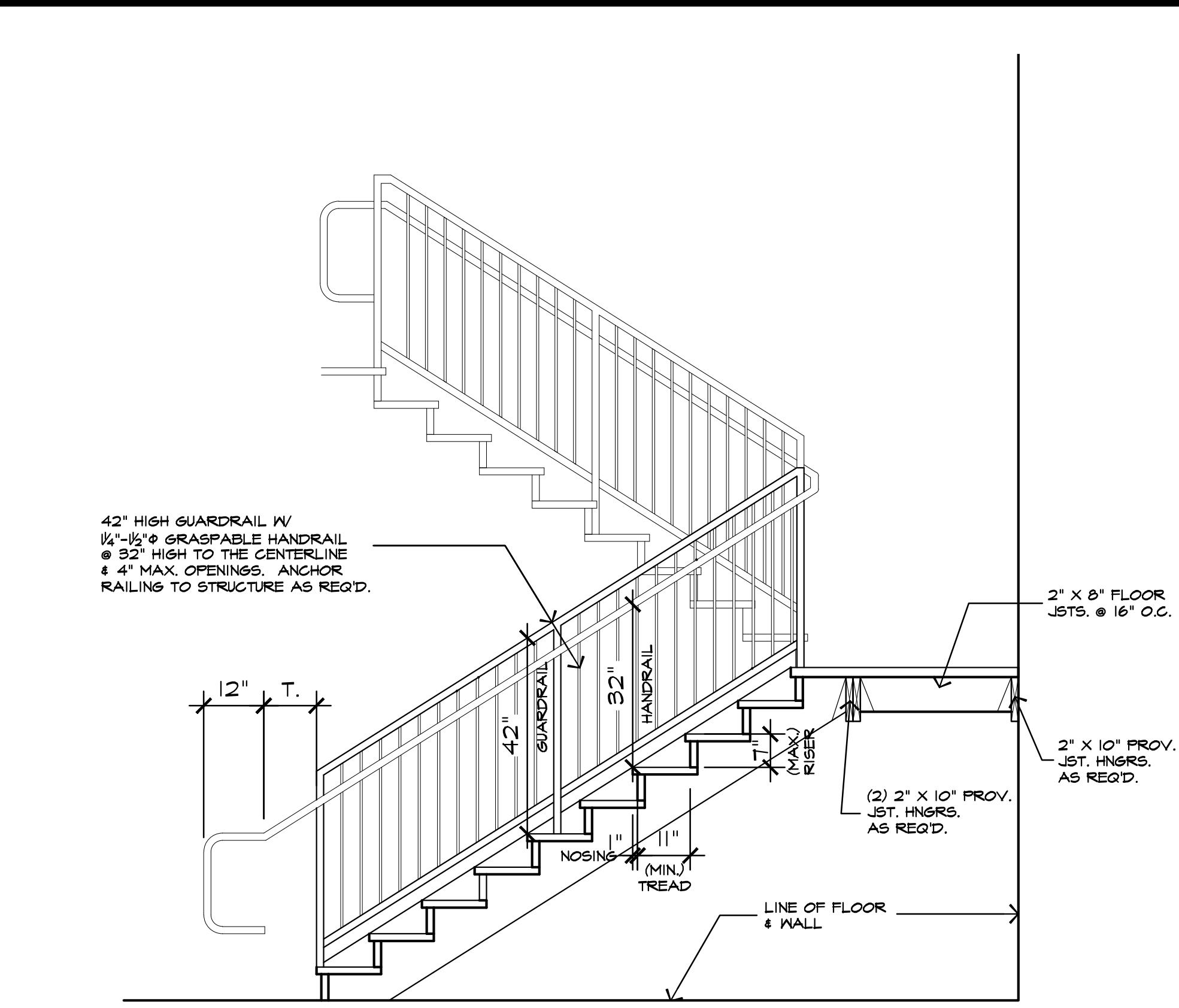
date: 8/17/10  
 scale: AS SHOWN  
 drawn by: JJB  
 checked by: JPC

job no. 07-84  
 drawing no. A7  
 7 OF 8

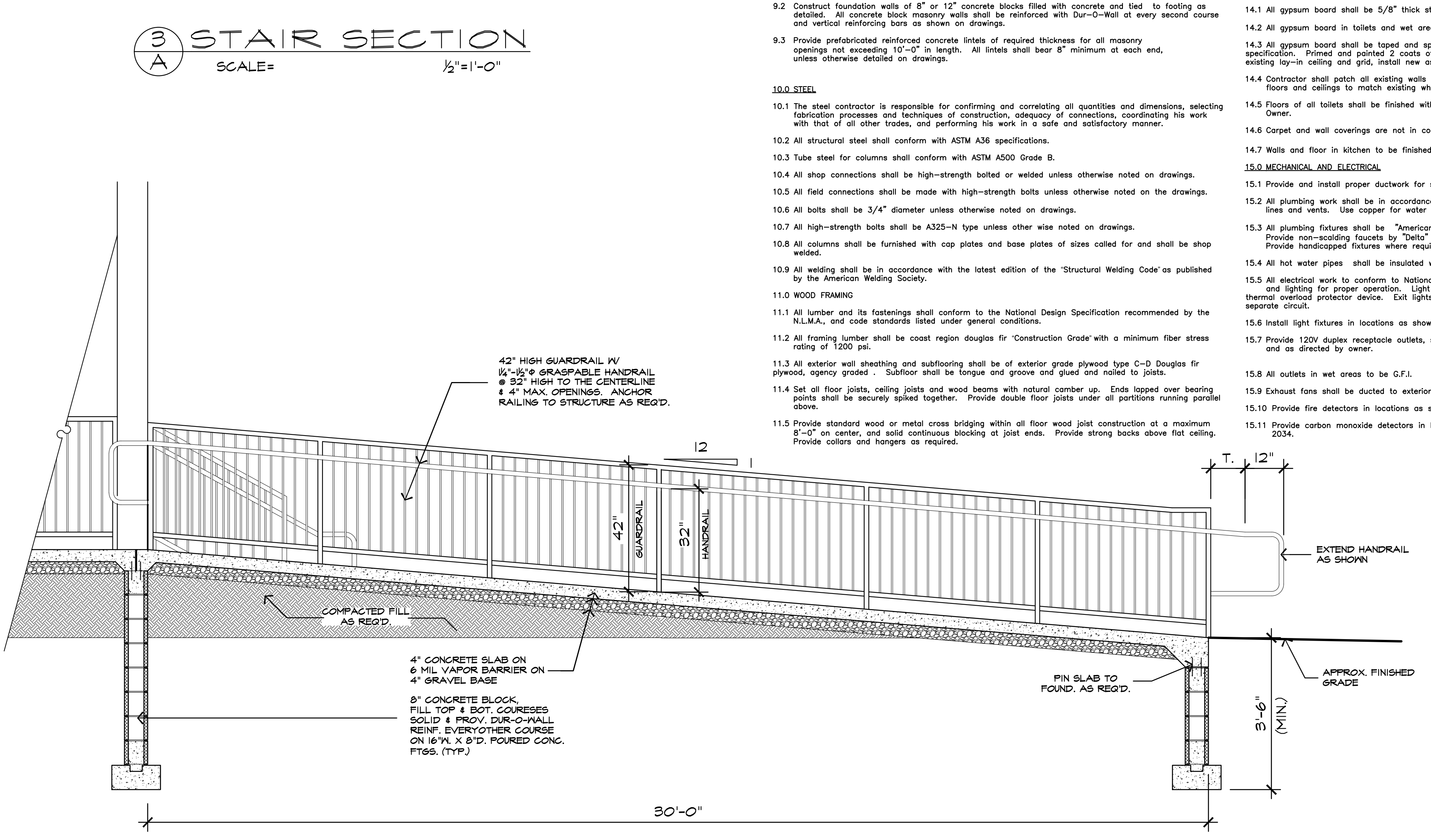
COPYRIGHT: by James P. Cutillo & Associates, R.A., P.P.  
 This drawing, including copies thereof, shall at all times remain the possession and ownership of the copyright owner.  
 Any further reproduction or other use of this drawing is prohibited without written consent.



**1 WALL SECTION**  
SCALE = 1/2" = 1'-0"



**3 STAIR SECTION**  
SCALE = 1/2" = 1'-0"



**2 RAMP SECTION**  
SCALE = 1/2" = 1'-0"

- GENERAL NOTES**
- The contractor shall visit the premises and shall have satisfied himself of all existing conditions and shall be responsible to supply all material and labor to carry out the intent of the drawings. Any questions or misinterpretations shall be communicated to and clarified by architect.
  - General contractor shall investigate, apply, procure and pay for all permits, fees, services, etc., needed to construct and to obtain the certificate of occupancy of this building. All construction shall meet the requirements of all codes and ordinances having jurisdiction.
  - Contractor shall maintain liability insurance of sufficient amount to cover at least 1-1/2 times the cost of construction.
  - During the progress of the work, the contractor shall maintain clear, to the maximum extent possible, corridors and access to other areas. He shall also maintain the main entrances clear at all times. Each trade shall remove their own debris.
  - The intent of the general notes and drawings is to provide for furnishing, installing and connecting all new and reused materials complete and ready for operation, and for relocating or removing certain materials or equipment as specified in a manner satisfactory to architect, as herein specified, or shown on the contract drawings.
  - All work shall be constructed as indicated on these drawings and in accordance with I.C.C. (International Const. Code) New Jersey Edition 2000, & ICC/Int'l 117.1-1998. Authorization to change or alter such work shall be granted only by the expressed written permission by architect. Provide shop drawings for all built in work, including (but not limited to) countertops, sink units, cabinets, fixtures, appliances and hardware.
  - Unless otherwise approved in writing, materials called for in these drawings shall be used. Should the contractor make any substitutions without any such approval, he shall, if so directed, remove the condemned material and install the approved materials and all costs for this shall be borne by him, including damage and repair. Where items are specified generically, the contractor shall submit catalog cuts with his bid.
- 8.0 CONCRETE, FOUNDATIONS AND SLABS**
- Excavation for all footings shall be made to the depth of a minimum 3'-6" below finished grades, or deeper if local conditions require.
  - Footings are designed for and shall be placed on firm undisturbed earth with a minimum bearing capacity of 4000 psf. Owner shall have soil bearing capacity verified during excavation by the professional engineer, or soil laboratory, if required.
  - Construct footings 4" wider on each side than foundation wall above, and a minimum of 8" thick. Add 6" to overall width of footings if they are not formed for pouring.
  - Construct concrete slabs 5" thick with w/f reinforcing. See details, do not pour slabs in sections exceeding 1600 sq ft at one time.
  - All concrete used shall be of no less than 3000 psi at 28 days strength, stone aggregate ready mix.
  - All reinforcing bars shall be new billet steel, deformed type, ASTM A615 Grade 60 and shall comply with all ACE code requirements.
  - Provide minimum reinforcing in all concrete as per ACI Building Code requirements.
  - Provide clearances from faces of concrete to reinforcement as follows:  
 Cast against and permanently exposed to earth.....3"  
 Exposed to earth or weather.....1-1/2"  
 #5 or smaller.....1-1/2"  
 #6 or larger.....2"  
 Not exposed to weather or in contact with earth  
 Slabs, walls, joists.....3/4"  
 Beams, girders, columns (principal reinf., ties, stirrups, or spirals).....1-1/2"
  - All concrete shall be formed, unless otherwise approved by Architect.
- 9.0 MASONRY**
- Lay up all masonry units in a running bond and in a full bed of mortar.
  - Construct foundation walls of 8" or 12" concrete blocks filled with concrete and tied to footing as detailed. All concrete block masonry walls shall be reinforced with Dur-O-Wall at every second course and vertical reinforcing bars as shown on drawings.
  - Provide prefabricated reinforced concrete lintels of required thickness for all masonry openings not exceeding 10'-0" in length. All lintels shall bear 8" minimum at each end, unless otherwise detailed on drawings.
- 10.0 STEEL**
- The steel contractor is responsible for confirming and correlating all quantities and dimensions, selecting fabrication processes and techniques of construction, adequacy of connections, coordinating his work with that of all other trades, and performing his work in a safe and satisfactory manner.
  - All structural steel shall conform with ASTM A36 specifications.
  - Tube steel for columns shall conform with ASTM A500 Grade B.
  - All shop connections shall be high-strength bolted or welded unless otherwise noted on drawings.
  - All field connections shall be made with high-strength bolts unless otherwise noted on the drawings.
  - All bolts shall be 3/4" diameter unless otherwise noted on drawings.
  - All high-strength bolts shall be A325-N type unless otherwise noted on drawings.
  - All columns shall be furnished with cap plates and base plates of sizes called for and shall be shop welded.
  - All welding shall be in accordance with the latest edition of the 'Structural Welding Code' as published by the American Welding Society.
  - All lumber and its fastenings shall conform to the National Design Specification recommended by the N.L.M.A., and code standards listed under general conditions.
  - All framing lumber shall be coast region douglas fir 'Construction Grade' with a minimum fiber stress rating of 1200 psi.
  - All exterior wall sheathing and subflooring shall be of exterior grade plywood type C-D Douglas fir plywood, agency graded. Subfloor shall be tongue and groove and glued and nailed to joists.
  - Set all floor joists, ceiling joists and wood beams with natural camber up. Ends lapped over bearing points shall be securely spiked together. Provide double floor joists under all partitions running parallel above.
  - Provide standard wood or metal cross bridging within all floor wood joist construction at a maximum 8'-0" on center, and solid continuous blocking at joist ends. Provide strong backs above flat ceiling. Provide collars and hangers as req'd.
- 11.0 ANCHOR SILLS AND PLATES TO MASONRY WALLS**
- Anchor sills and plates to masonry walls below with a minimum of 1/2" diameter x 18" long steel hooked bolts or galvanized straps, spaced at a maximum of 6'-0" on center 1'-0" from each end. Bolts shall be set solid in concrete. Provide termite shield or sill seal under wood plates set over masonry.
- 11.1 PROVIDE HEADERS FOR OPENINGS IN FRAME WALLS AS FOLLOWS:**
- For openings from 2' to 3', use 2 - 2" x 6".
  - For openings from 3' to 5', use 2 - 2" x 8".
  - For openings from 5' to 7', use 2 - 2" x 10".
  - For openings from 7' to 8', use 2 - 2" x 12".
- 11.2 SPIKE HEADERS TOGETHER WITH SPACERS BETWEEN 2" X'S AND, FOR OPENINGS 8' IN LENGTH AND OVER, PROVIDE DOUBLE STUDS UNDER BOTH BEARING ENDS.**
- 11.3 WOOD STAIRS SHALL BE CONSTRUCTED AS FOLLOWS:**
- Stringer: Clear softwood with effective depth of minimum 5-1/2".
  - Treads: Hardwood for finished stairs, soft wood for basement stairs (1" minimum + 1" nosing = total 2" width).
  - Risers: Softwood 7" height. Maximum
- 11.4 ALL DRILLING IN FLOOR JOISTS AND WOOD BARNES FOR ELECTRICAL WIRES, PLUMBING LINES, ETC., SHALL BE MADE AT ITS CENTER LINE (NEUTRAL AXIS) OR ABOVE IT. IF ANY WOODEN MEMBER SHOULD BE DRILLED BELOW NEUTRAL AXIS, CARE MUST BE TAKEN NOT TO AFFECT ITS STRUCTURAL STRENGTH. IF, HOWEVER, ANY DAMAGE TO SUCH STRUCTURAL MEMBER SHOULD OCCUR, IT MUST BE PROPERLY REINFORCED WITH ADDITIONAL WOOD MEMBERS AS NECESSARY.**
- 11.5 FLOOR LOADING**
- |                    |                    |
|--------------------|--------------------|
| Live Load          | 40 #/S.F.          |
| Finish & Sub Floor | 3 #/S.F.           |
| Ceiling            | 2 #/S.F.           |
| Collateral         | 3 #/S.F.           |
| Joists             | 2 #/S.F.           |
| <b>Total</b>       | <b>= 50 #/S.F.</b> |
- 11.6 BENDING STRESSES**
- |                  |                                  |
|------------------|----------------------------------|
| Joists & Rafters | - Doug-Fir, FB = 1,400 #/Sq.Inch |
| Studs            | - Hem.-Fir, FB = 725 #/Sq.Inch   |
- 11.7 ALL STRUCTURAL WOOD MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH MASONRY SHALL BE A.C.Q. (ALKALINE COPPER QUATERNARY) LUMBER OR APPROVED EQUIV. ALL FASTENERS (HANGERS, ANCHORS, NAILS ETC.) TO BE HOT DIPPED GALVANIZED, STAINLESS STEEL, OR TRIPLE COATED ZINC POLYMER. NO WORMHOLEN WOOD IS TO BE USED.**
- 12.0 METAL FRAMING**
- Follow latest edition - United States Gypsum or National Gypsum Manuals.
  - Metal studs to be 3-5/8" x 20 gauge minimum @ 16" O.C.
  - Tracks, channels and horizontal bracing to be 3-5/8" x 20 gauge minimum.
  - Unless shown otherwise, use the following: stud to stud: (2) 1/2" 5-12 pan head screws. Stud to track: (1) 3/8" 5-12 low head screw at each flange. Track to back wall and other connections as shown.
  - Provide adequate support for any wall not continuing to structure above.
- 13.0 DOORS**
- Unless otherwise note on plans, all interior doors shall be solid pine 6 panel Colonial doors 6'8" high by width as noted on plans. Provide standard builders hardware for all new doors; style and finish of hardware shall be as selected by the Owner. All hardware shall be barrier free and meet ADA requirements. Exterior doors shall receive closers.
  - All gypsum board shall be 5/8" thick standard gypsum wall board unless otherwise noted.
  - All gypsum board in toilets and wet areas shall be 5/8" moisture resistive wall board.
  - All gypsum board shall be taped and spackled, minimum of 3 coats, per manufacturer's specification. Primed and painted 2 coats of latex flat paint. Colors as selected by Owner. Remove existing lay-in ceiling and grid, install new as shown on drawings.
  - Contractor shall patch all existing walls as required for a smooth surface to receive paint. Patch floors and ceilings to match existing where required.
  - Floors of all toilets shall be finished with thin set ceramic tile of color and style as selected by the Owner.
  - Carpet and wall coverings are not in contract.
  - Walls and floor in kitchen to be finished with sanitary material as per Health Department.
- 15.0 MECHANICAL AND ELECTRICAL**
- Provide and install proper ductwork for servicing all areas for heat and air conditioning as required.
  - All plumbing work shall be in accordance with all applicable codes. Use PVC schedule 40 for waste lines and vents. Use copper for water lines.
  - All plumbing fixtures shall be "American Standard" or "EJER"; color and model as selected by Owner. Provide non-scaling faucets by "Delta" or "Moen" for each fixture. Provide handicapped fixtures where required. Provide grab bars and accessories as required.
  - All hot water pipes shall be insulated with pipe insulation.
  - All electrical work to conform to National Electric Code. Relocate and add new outlets and switches and lighting for proper operation. Light fixtures shall be installed with energy saving ballasts and thermal overload protector device. Exit lights and emergency lights shall have battery back-ups and separate circuit.
  - Install light fixtures in locations as shown on plans.
  - Provide 120V duplex receptacle outlets, switches and lighting outlets at locations as shown on plans and as directed by owner.
  - All outlets in wet areas to be G.F.I.
  - Exhaust fans shall be ducted to exterior and shall be manufactured by Lutron or approved equal.
  - Provide fire detectors in locations as shown on plans and link to central station monitoring.
  - Provide carbon monoxide detectors in location as shown on plans. Devices shall comply with UL 2034.

**COPYRIGHT:** by James P. Cutillo & Associates, R.A., P.P.  
This drawing, including copies thereof, shall at all times remain the possession and ownership of the copyright owner. Any further reproduction or other use of this drawing is prohibited without written consent.

|  |  |  |  |
|--|--|--|--|
| <b>JAMES P. CUTILLO ASSOCIATES ARCHITECTS - PLANNERS</b><br>No. 09592 No. 4485<br>21 MOUNTAIN AVE. POMPTON PLAINS, NJ 07444 973-831-6161 |  | REV. 6-19-07   |  |
|  |  | SECTIONS & NOTES   |  |
| PROPOSED ALTERATION/ADDITION FOR:<br><b>85 HOPPER AVENUE, LLC</b><br>85 HOPPER AVENUE WALDWICK, NJ                                       |  | date: 8/17/10<br>scale: AS SHOWN<br>drawn by: JJB<br>checked by: JPC | job no.: 07-84<br>drawing no.: A8<br>of: 8 |