



J.D. WINSTON

 311 NE 4TH AVE Crystal River FL 34429 

Offering Memorandum

Beautiful Beginnings at Bayside



J.D. WINSTON

Presented By:

Frank J. Braider III

J.D. Winston, LLC
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Jupiter, FL 33458

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W: JDWinstonLLC.com



🏠 311 NE 4TH AVE Crystal River FL 34429



Offering Overview

☑ THE OPPORTUNITY

Whether you're looking to invest in real estate, hospitality, or local businesses, Citrus County offers a promising landscape for growth and success.



Citrus County, Florida, is a hidden gem on the nature coast, known for its stunning landscapes, diverse wildlife, and rich history. With its charming small towns, beautiful waterways, and vibrant recreational opportunities, Citrus County offers a unique blend of tranquil living and outdoor adventure. The area is home to numerous parks, crystal-clear springs, and the scenic Gulf of Mexico coastline, making it a haven for nature lovers and outdoor enthusiasts alike.

Investing in Citrus County presents a remarkable opportunity as it experiences growth in residential, commercial, and tourism sectors. The county's strategic location, affordable real estate, and ongoing development initiatives make it an attractive destination for investors looking to capitalize on a burgeoning market.

Citrus County, Florida, with a population of approximately 150,000, boasts a median age of 55 years and a diverse demographic, comprising around 85% White, 9% Black, and 6% Hispanic or Latino residents. The county has a median household income of about \$50,000 and a homeownership rate of 76%, with median home values around \$200,000. Employment primarily spans healthcare, retail, education, and professional services, supported by a high school graduation rate of roughly 90%. Known for its appealing climate and natural attractions like Homosassa Springs Wildlife State Park, Citrus County presents a thriving community and significant investment opportunities.



▼ FACILITY OVERVIEW

Property

Property Type:
Residential Treatment Facility

Address:
311 NE 4th Ave. Crystal River, FL 34429

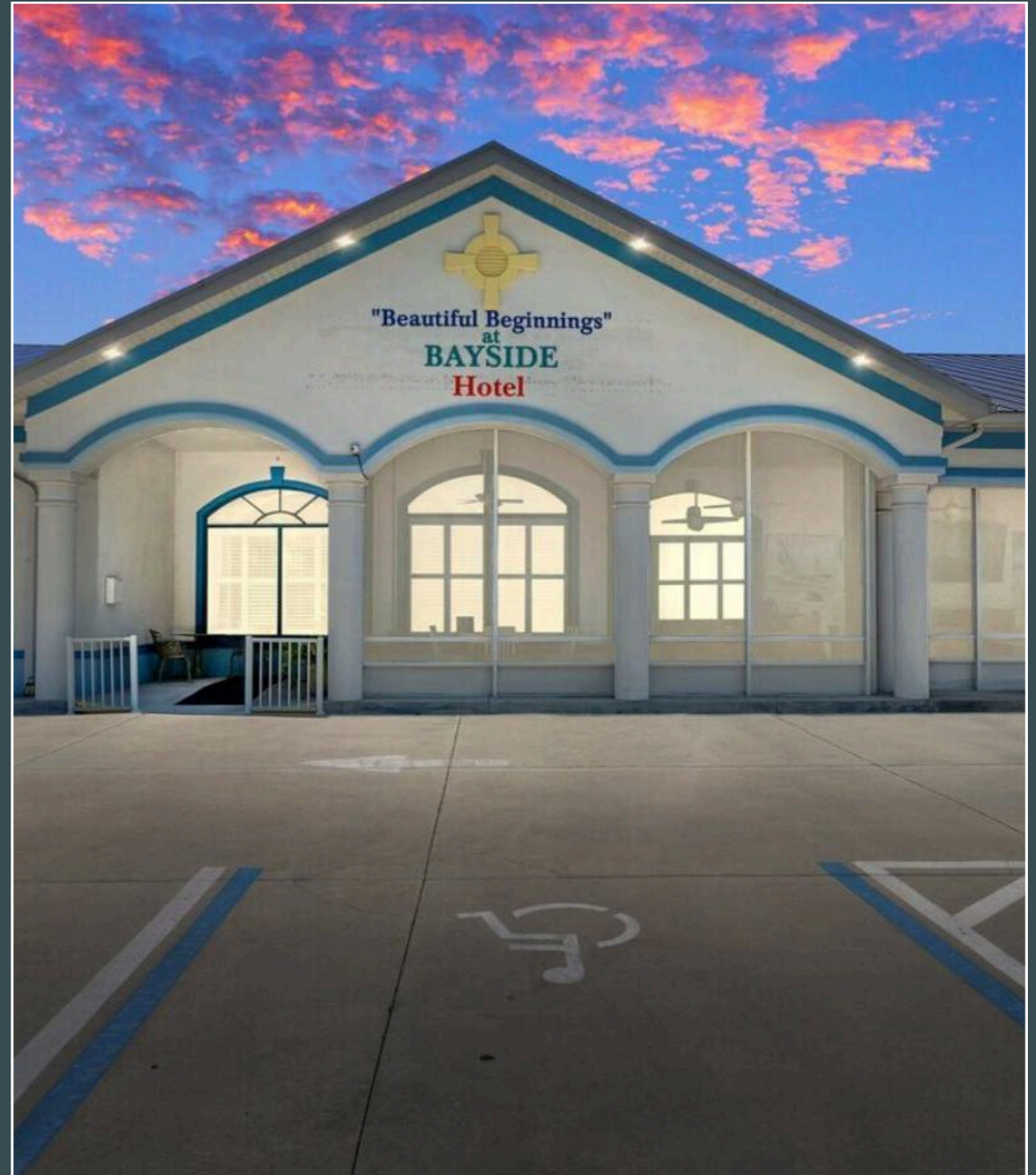
Lot Size:
0.82 AC

Building Size:
11,880 SF

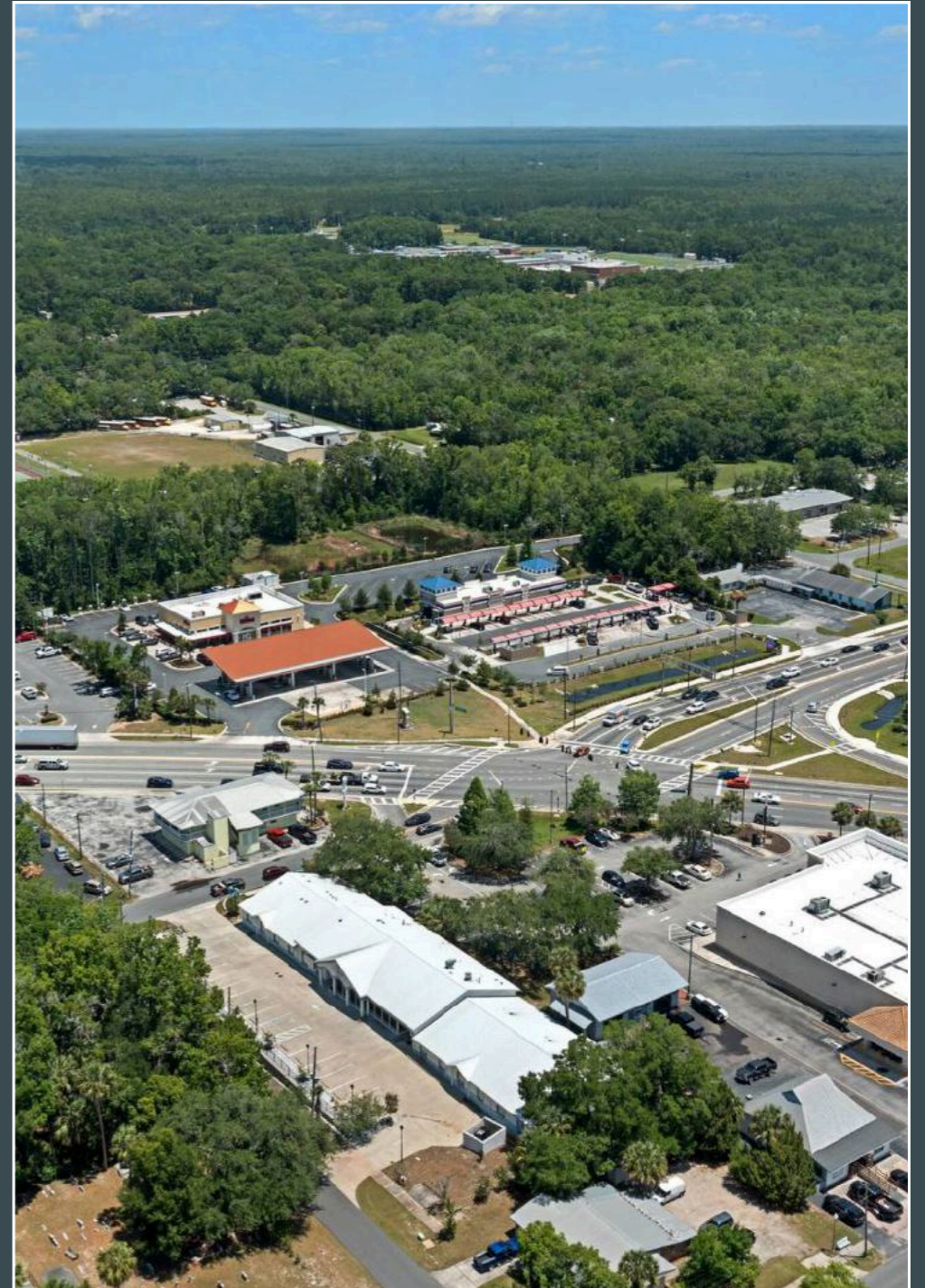
N° Beds:
52

Year Built/Renovated
2012/2023

Licences
Detox, Residential Treatment and Mental Health



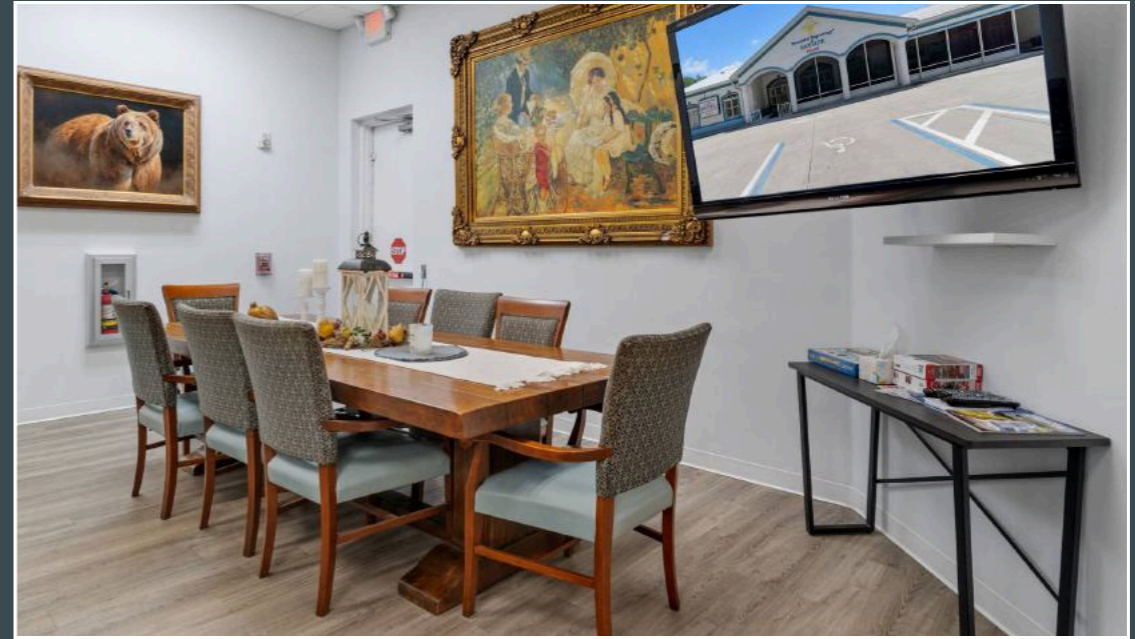
✓ FACILITY COMMON SPACES



✓ FACILITY COMMON SPACES



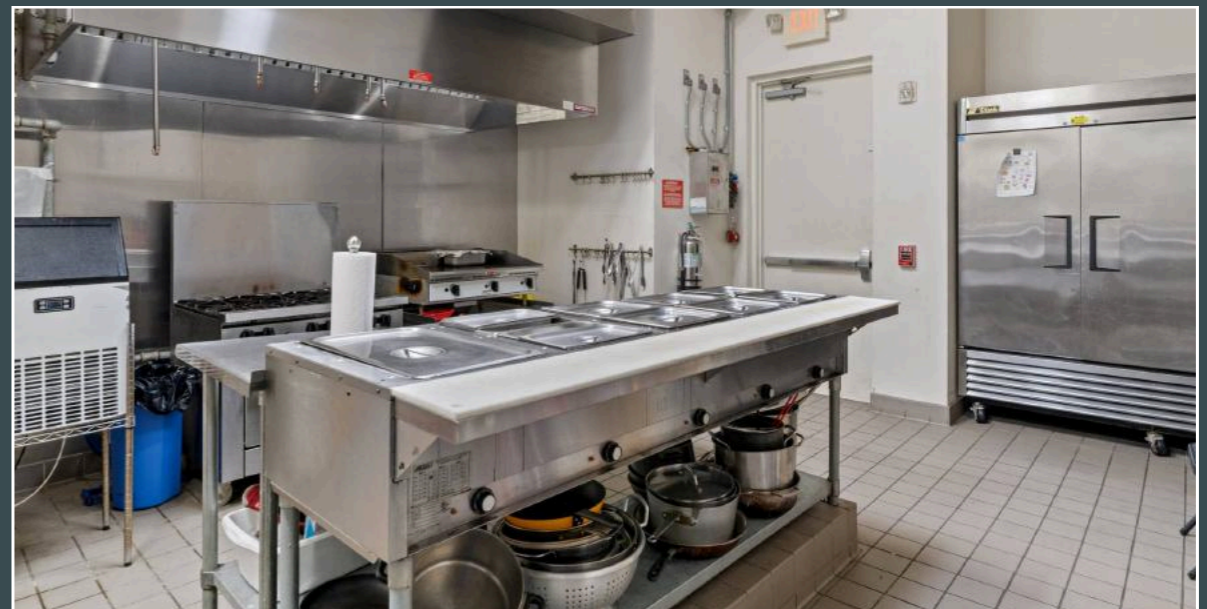
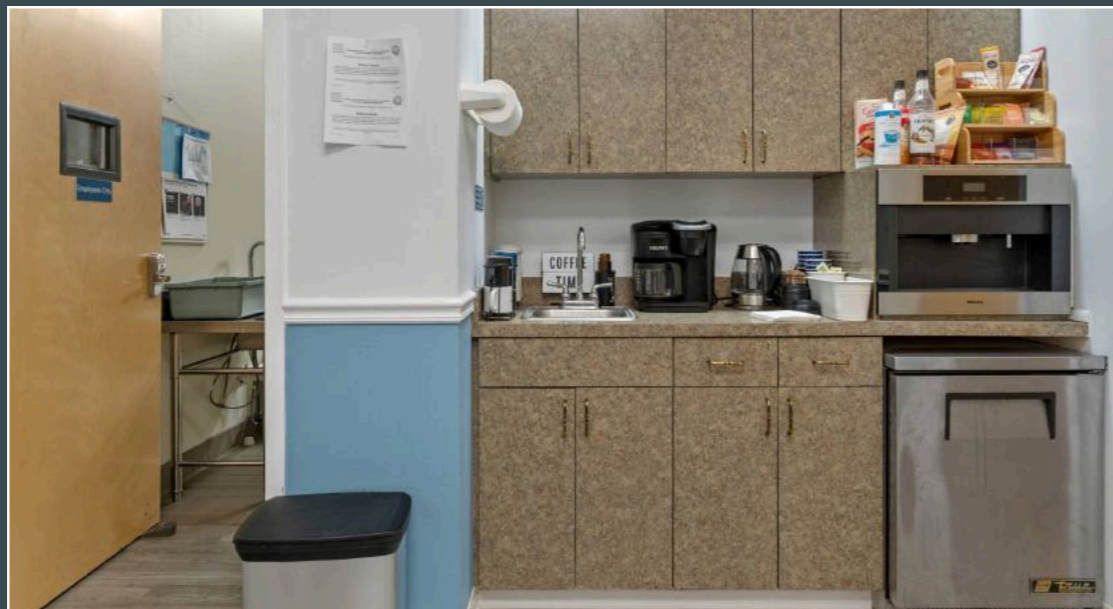
✓ FACILITY COMMON SPACES



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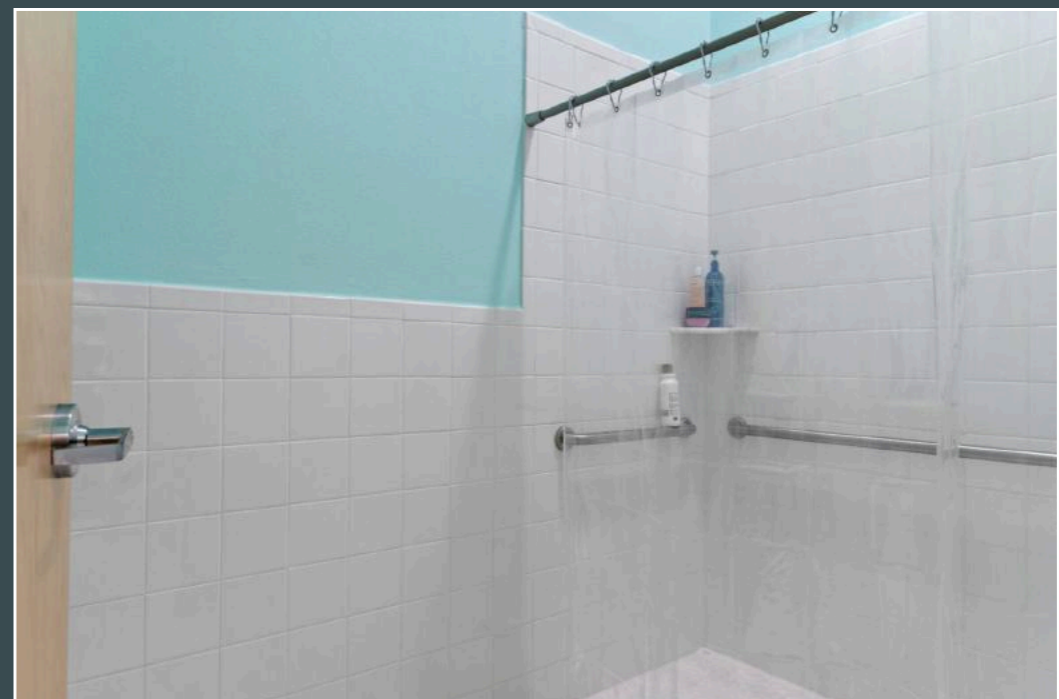
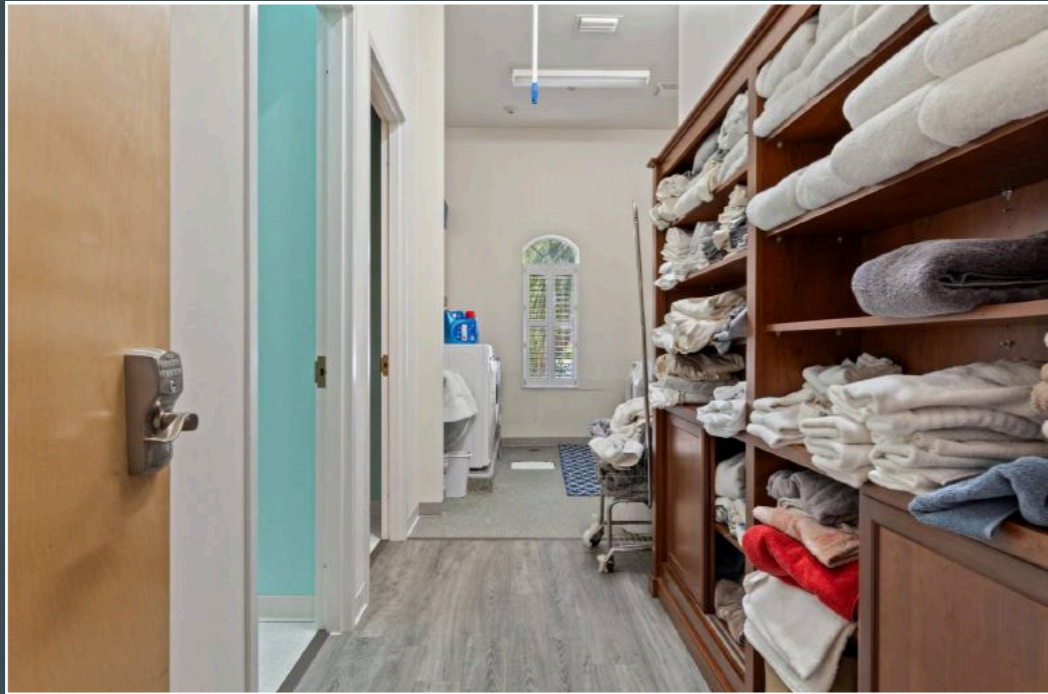
✓ FACILITY COMMON SPACES



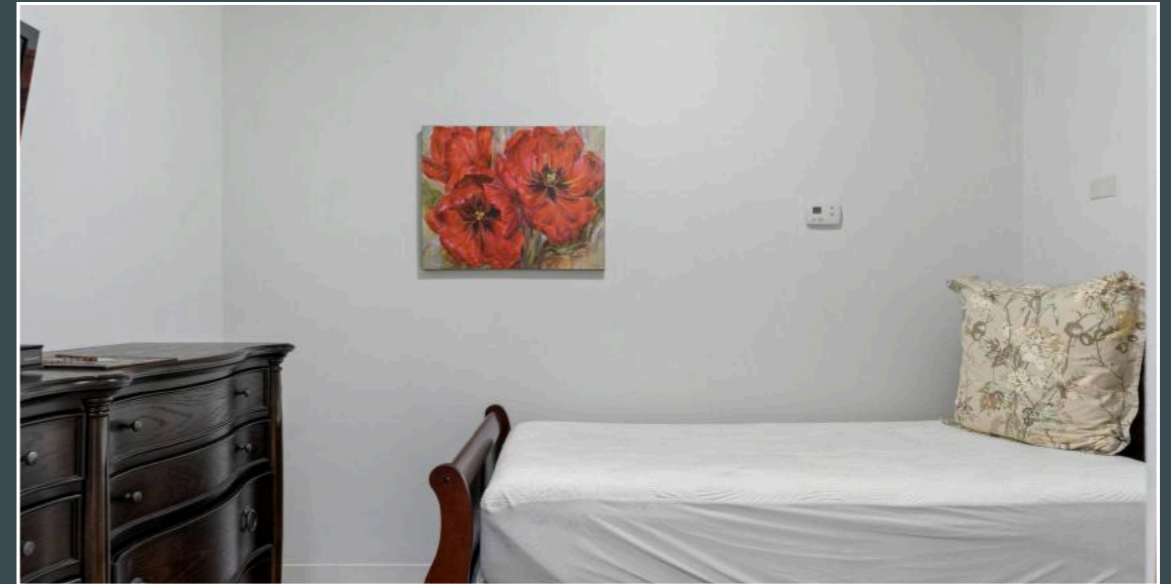
✓ FACILITY COMMON SPACES



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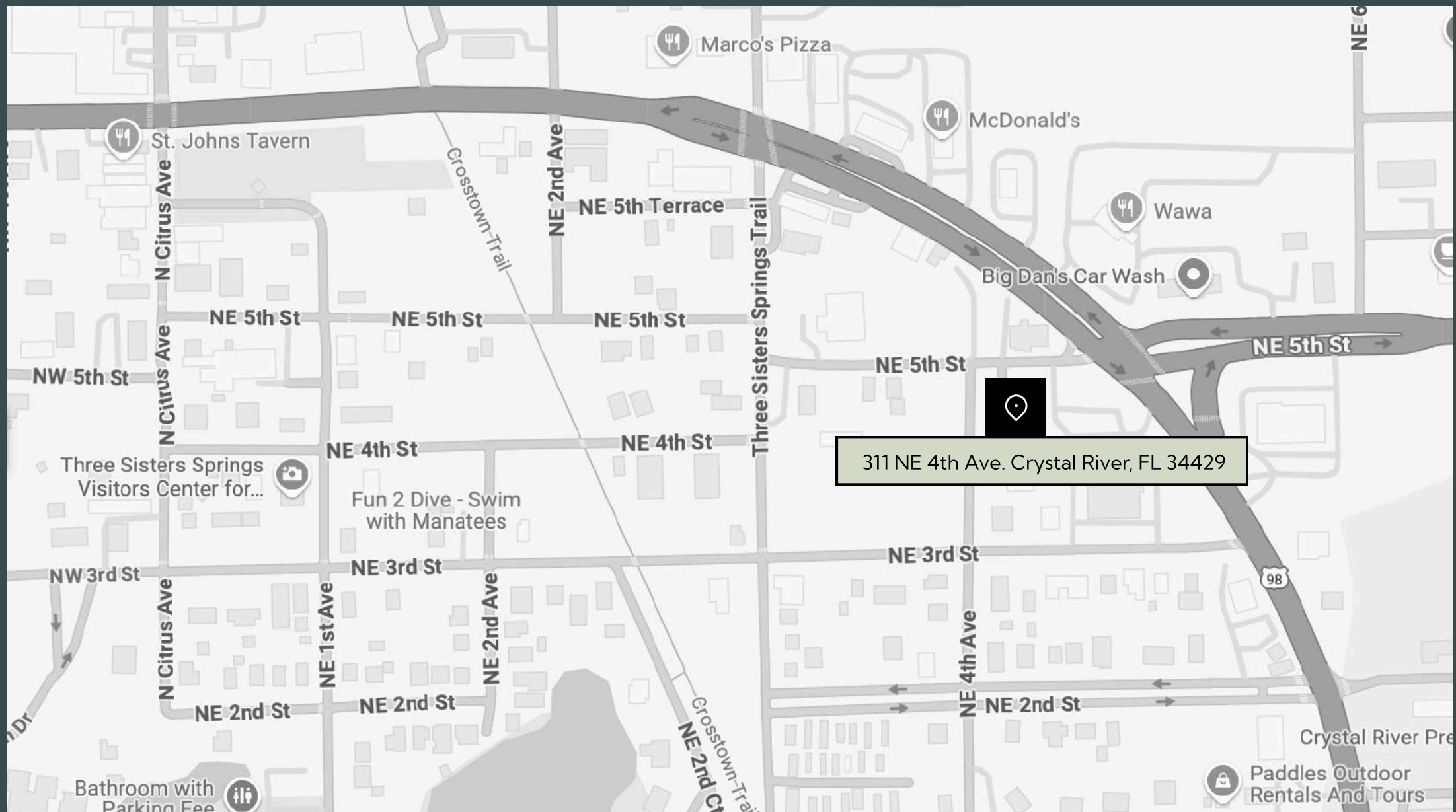


✓ FACILITY COMMON SPACES



LOCA AREA OVERVIEW

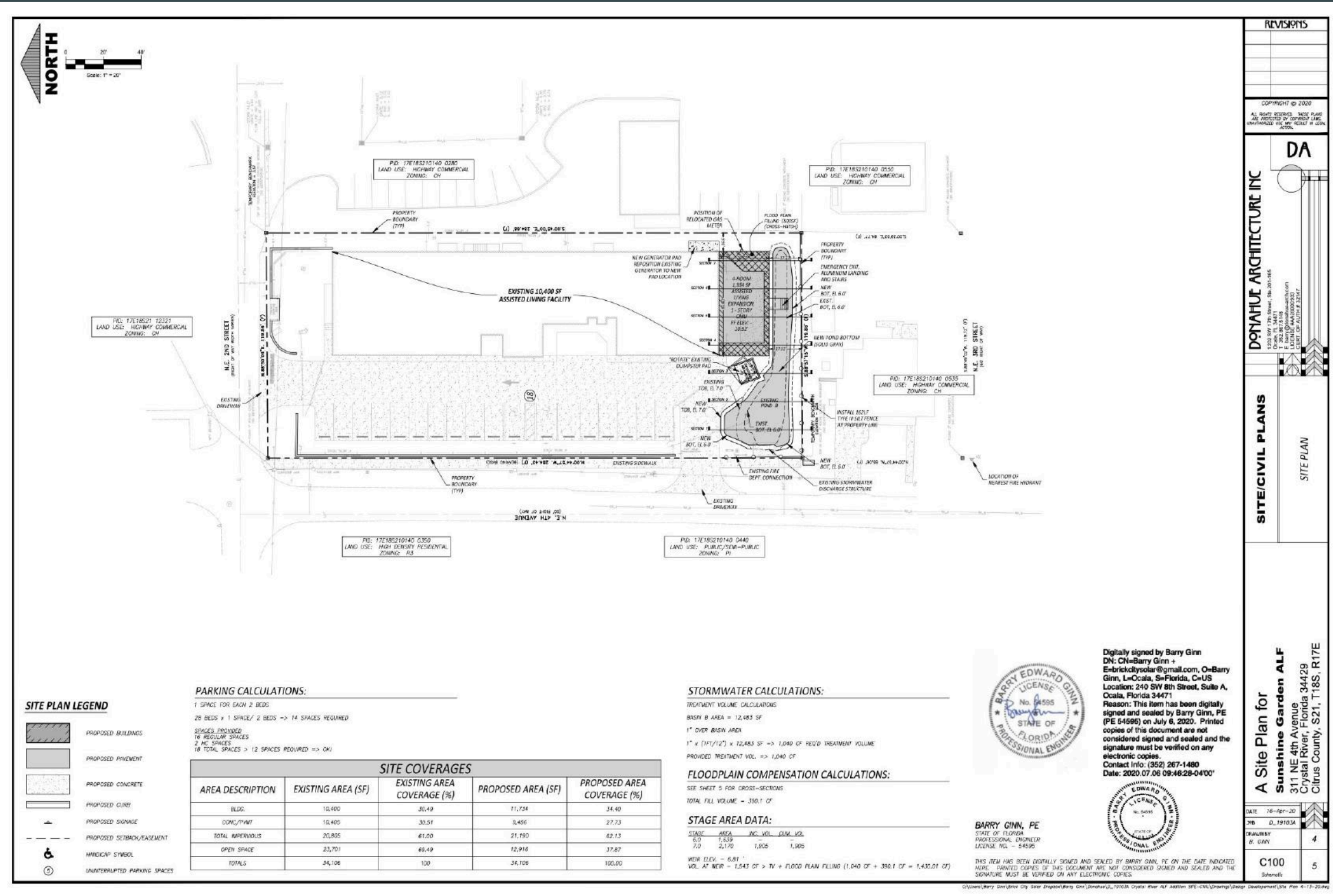
situated in a convenient location that offers a variety of essential commodities and services. Within close proximity, residents can find several supermarkets such as Publix and Walmart, providing easy access to grocery shopping. For healthcare needs, the area is near the Citrus Memorial Hospital, which offers a range of medical services, as well as local clinics and urgent care facilities. Additionally, there are several pharmacies, including CVS and Walgreens, ensuring that prescription medications and health products are readily available. The vicinity also features various dining options, retail shops, and recreational areas, making it a well-rounded community hub with everything needed for convenient living.



LOCA AREA OVERVIEW



✓ SITE PLAN



SITE PLAN LEGEND

- PROPOSED BUILDINGS
- PROPOSED PAVEMENT
- PROPOSED CONCRETE
- PROPOSED CURB
- PROPOSED SIGNAGE
- PROPOSED SETBACK/EASEMENT
- MUNICIPAL SYMBOL
- UNINTERRUPTED PARKING SPACES

PARKING CALCULATIONS:
 1 SPACE FOR EACH 2 BEDS
 28 BEDS x 1 SPACE/ 2 BEDS => 14 SPACES REQUIRED
 SPACES PROVIDED
 16 REGULAR SPACES
 2 HC SPACES
 18 TOTAL SPACES > 14 SPACES REQUIRED => OK!

SITE COVERAGES				
AREA DESCRIPTION	EXISTING AREA (SF)	EXISTING AREA COVERAGE (%)	PROPOSED AREA (SF)	PROPOSED AREA COVERAGE (%)
BLDG.	10,400	30.49	11,734	34.40
CONC./PVT	10,405	30.51	9,456	27.73
TOTAL IMPERVIOUS	20,805	61.00	21,190	62.13
OPEN SPACE	23,701	69.49	12,916	37.87
TOTALS	34,106	100	34,106	100.00

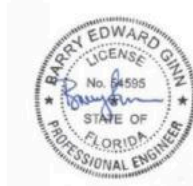
STORMWATER CALCULATIONS:
 TREATMENT VOLUME CALCULATIONS
 BASIN B AREA = 12,485 SF
 1" OVER BASIN AREA
 1" x (121/12") x 12,485 SF => 1,040 CF REQ'D TREATMENT VOLUME
 PROVIDED TREATMENT VOL. => 1,040 CF

FLOODPLAIN COMPENSATION CALCULATIONS:
 SEE SHEET 5 FOR CROSS-SECTIONS
 TOTAL FILL VOLUME = 390.1 CF

STAGE AREA DATA:

STAGE	AREA	INC. VOL.	CUM. VOL.
5.0	1,639	1,639	1,639
7.0	2,170	1,905	1,905

 WEIR ELEV. = 6.81'
 VOL. AT WEIR = 1,543 CF > TV + FLOOD PLAIN FILLING (1,040 CF + 390.1 CF = 1,430.1 CF)



Digitally signed by Barry Ginn
 DN: CN=Barry Ginn + E=brickcitysolar@gmail.com, O=Barry Ginn, L=Ocala, S=Florida, C=US
 Location: 240 SW 8th Street, Suite A, Ocala, Florida 34471
 Reason: This item has been digitally signed and sealed by Barry Ginn, PE (PE 54595) on July 6, 2020. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
 Contact info: (352) 267-1480
 Date: 2020.07.06 09:46:28-0400'

BARRY GINN, PE
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. - 54595



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY BARRY GINN, PE ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS

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DA

DONAHUE ARCHITECTURE INC
 1203 SW 17th Street, Suite 201-165
 Ocala, FL 34471
 N.E. JOE STREET (top half of view)
 LICENSE NO. 1201-165

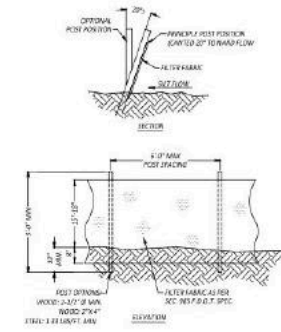
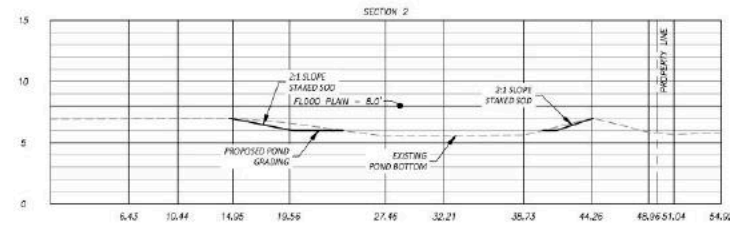
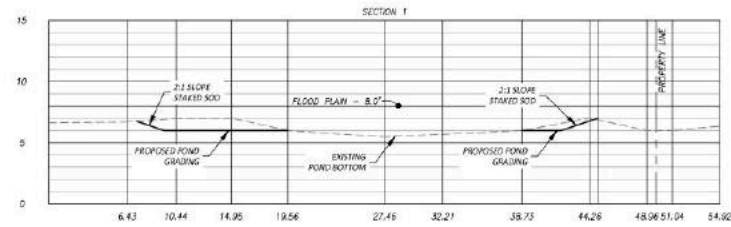
SITE/CIVIL PLANS

SITE PLAN

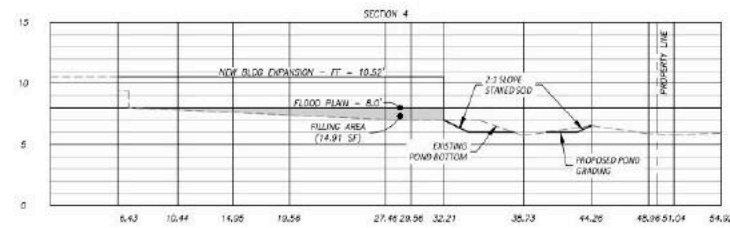
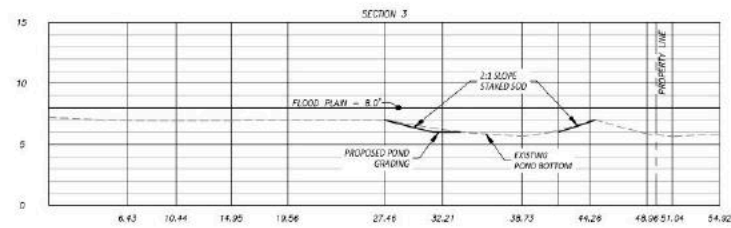
A Site Plan for
Sunshine Garden ALF
 311 NE 4th Avenue
 Crystal River, Florida 34429
 Citrus County, S21, T18S, R17E

DATE	16-Apr-20
JOB	D_191015A
DRAWN BY	B. GINN
CHECKED BY	
SCALE	
SHEET NO.	5

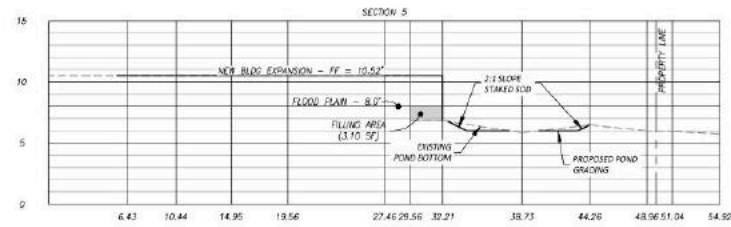
✓ SITE PLAN



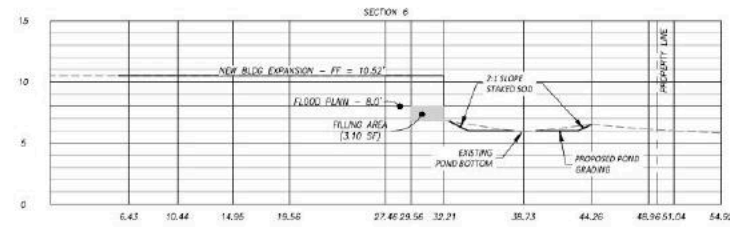
TYPE III SILT FENCE DETAIL
MPS



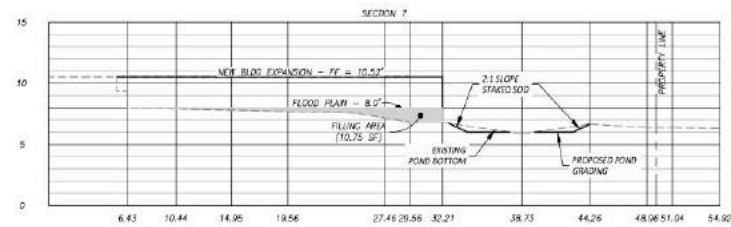
FILLING VOLUME = FILLING AREA x DIST. TO EXISTING WALL
FILL VOLUME = 14.91 SF x 8.99 FT = 104.22 CF



FILLING VOLUME = FILLING AREA x BLDG LENGTH
FILL VOLUME = 3.10 SF x 35.6 FT = 112.36 CF



INCLUDED IN SECTION 5 CALCULATION

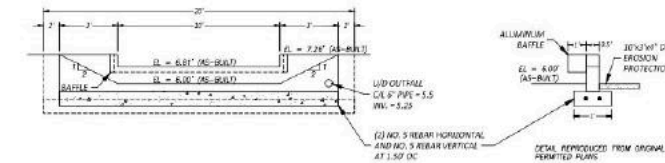


FILLING VOLUME = FILLING AREA x DIST. TO EXISTING WALL
FILL VOLUME = 10.75 SF x 10.56 FT = 103.52 CF

BARRY GINN, PE
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. - 54595



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CONTROL STRUCTURE FOR POND B
MPS

REVISIONS

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DA

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www.donahue-arch.com
LIC. NO. 13010
LIC. EX. 13010-0001

SITE/CIVIL PLANS
CROSS-SECTIONS AND DETAILS

A Site Plan for
Sunshine Garden ALF
311 NE 4th Avenue
Crystal River, Florida 34429
Citrus County, S21, T18S, R17E

DATE 16-Apr-20

306 D_19103A

DRAWN BY B. GINN 5

C101 5

Sheet No.

INTERIOR RENOVATION

BUILDING CODE SUMMARY:

APPLICABLE CODES:
 FLORIDA BUILDING CODE, 7TH EDITION (2020)
 FLORIDA FIRE PREVENTION CODE, 7TH EDITION
 FLORIDA BUILDING CODE - EXISTING, 7TH EDITION (2020)
 FLORIDA BUILDING CODE - PLUMBING, 7TH EDITION (2020)
 FLORIDA BUILDING CODE - MECHANICAL, 7TH EDITION (2020)
 FLORIDA BUILDING CODE - ACCESSIBILITY, 7TH EDITION (2020)
 2017 NATIONAL ELECTRIC CODE

RESIDENTIAL (R-2) EXTENDED STAY (LONGER THAN 30 DAYS) MOTEL UNITS
 ALTERATION CLASSIFICATION CHANGE OF OCCUPANCY (FROM I-2 TO R-1/R-2)
 TOTAL PROJECT AREA: 10433 SQ. FT.
 OCCUPANT FACTOR (BPPC 7.3.1.2 AND FBCTABLE 3004S):
 RESIDENTIAL = 200 SQ. FT. GROSS PER PERSON
 10433 SQ. FT. RESIDENTIAL / 200 GROSS
 = 52.1 = 53 OCCUPANTS

CONSTRUCTION TYPE CLASSIFICATION:
 EXISTING TYPE IV PER FBCTABLE 503.2 AND TABLE 501, TYPE V (5.0.0) PER NFPA 220
 ALLOWABLE AREA = CHANGE TO AN EQUAL HAZARD PER FBC-E 1012.5 (NO CHANGES REQUIRED)
 ALLOWABLE HEIGHT = CHANGE TO A LESSER HAZARD PER FBC-E 1012.4 (NO CHANGES REQUIRED)

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:
 CHANGE TO AN EQUAL HAZARD PER FBC-E 1012.6 (NO CHANGES REQUIRED)

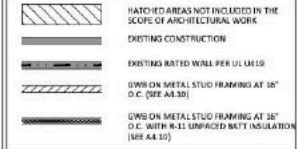
EGRESS REQUIREMENTS:
 MINIMUM NUMBER OF EXITS REQUIRED = 2 - 5 EXITS PROVIDED (FBC 906.2.1 AND 1006.2.2)
 CHANGE TO A LESSER HAZARD PER FBC-E 1012.5 (NO CHANGES REQUIRED)

PORTABLE FIRE EXTINGUISHERS:
 EXISTING, RECEIPT

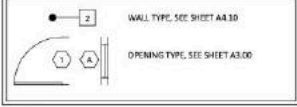
FIRE SPRINKLER:
 EXISTING

FIRE ALARM:
 EXISTING

FLOOR PLAN WALL LEGEND:



FLOOR PLAN LEGEND:

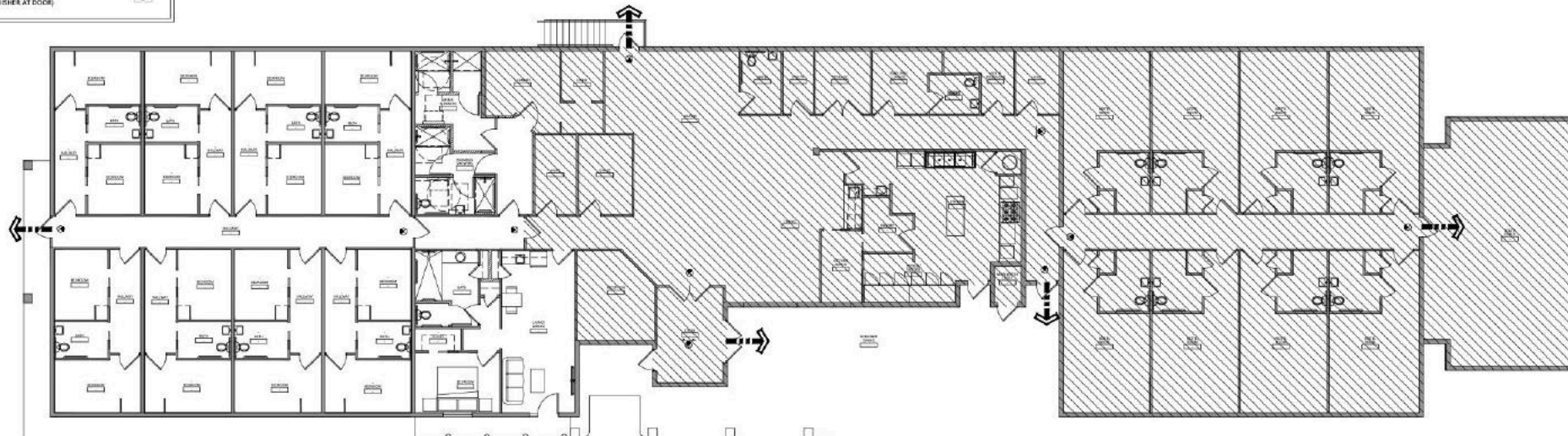


NOTES:
 1. SEE SHEET A1.22 FOR REFLECTED CEILING PLAN.
 2. PROVIDE INTERIOR SIGNS (ACCESSIBLE IN TYPE AND LOCATION) EQUAL TO ASH SYSTEMS SIGN SERIES 6" X 6" AT TOILET ROOMS, STORAGE, MECHANICAL, STAFF ONLY AREAS. INSTALL AT 5'-0" TO CENTER OF SIGN ON WALL ADJACENT TO LATCH SIDE. INSTALL SQUARE AND PLUMB.
 3. PROVIDE TACTILE EXIT SIGNS ADJACENT TO ALL DOORS WITH EXIT SIGNS (SEE A1.01). INSTALL AT 5'-0" TO CENTER OF SIGN ON WALL ADJACENT TO LATCH SIDE. INSTALL SQUARE AND PLUMB.

PLUMBING FIXTURE CALCULATIONS:

WATER CLOSETS: 1 PER SLEEPING UNIT (EXISTING)
 LAVATORIES: 1 PER SLEEPING UNIT (EXISTING)
 BATHUBS/ SHOWERS: 1 PER SLEEPING UNIT (EXISTING)
 DRINKING FOUNTAINS: NOT REQUIRED
 SERVICE SINK: EXISTING

LIFE SAFETY LEGEND:



1 Life Safety Floor Plan
 Scale: 1/8" = 1'-0"

DONNELLY Architecture
 1385 NORTH CRYSTAL AVENUE
 CRYSTAL RIVER, FLORIDA 34429
 825 NW 15TH STREET
 GAINESVILLE, FLORIDA 32603
 352.268.1166
 WWW.DONNELLYARCHITECTURE.COM

SUNSHINE GARDENS MOTEL
INTERIOR RENOVATIONS
Crystal River, Florida

PROJECT LOCATION:
 SUNSHINE GARDENS
 1311 N. 4TH AVENUE
 CRYSTAL RIVER, FLORIDA 34429
 FLORIDA ARCHITECT AR 92950

NOT FOR
 REGULATORY APPROVAL,
 PERMITTING OR
 CONSTRUCTION

OCTOBER 4, 2022

90% CONSTRUCTION
 DOCUMENTS

LIFE SAFETY PLAN,
 CODE SUMMARY

A0.01

Donnelly Project #272017 - Showers

✓ INTERIOR RENOVATION

BUILDING CODE SUMMARY:

APPLICABLE CODES:
 FLORIDA BUILDING CODE, 7TH EDITION (2020)
 FLORIDA FIRE PREVENTION CODE, 7TH EDITION
 FLORIDA BUILDING CODE - EXISTING, 7TH EDITION (2020)
 FLORIDA BUILDING CODE - PLUMBING, 7TH EDITION (2020)
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 FLORIDA BUILDING CODE - ACCESSIBILITY, 7TH EDITION (2020)
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 = 52.1 = 53 OCCUPANTS

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FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:
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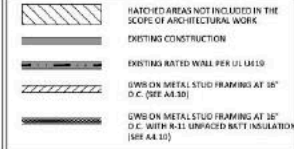
EGRESS REQUIREMENTS:
 MINIMUM NUMBER OF EXITS REQUIRED = 20 = 5 EXITS PROVIDED (FBC 906.2.1 AND 906.2.2)
 CHANGE TO A LESSER HAZARD PER FBC-E 902.2.1 (NO CHANGES REQUIRED)

PORTABLE FIRE EXTINGUISHERS:
 EXISTING, RECEIPT

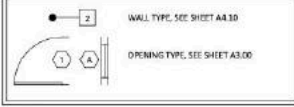
FIRE SPRINKLER:
 EXISTING

FIRE ALARM:
 EXISTING

FLOOR PLAN WALL LEGEND:



FLOOR PLAN LEGEND:

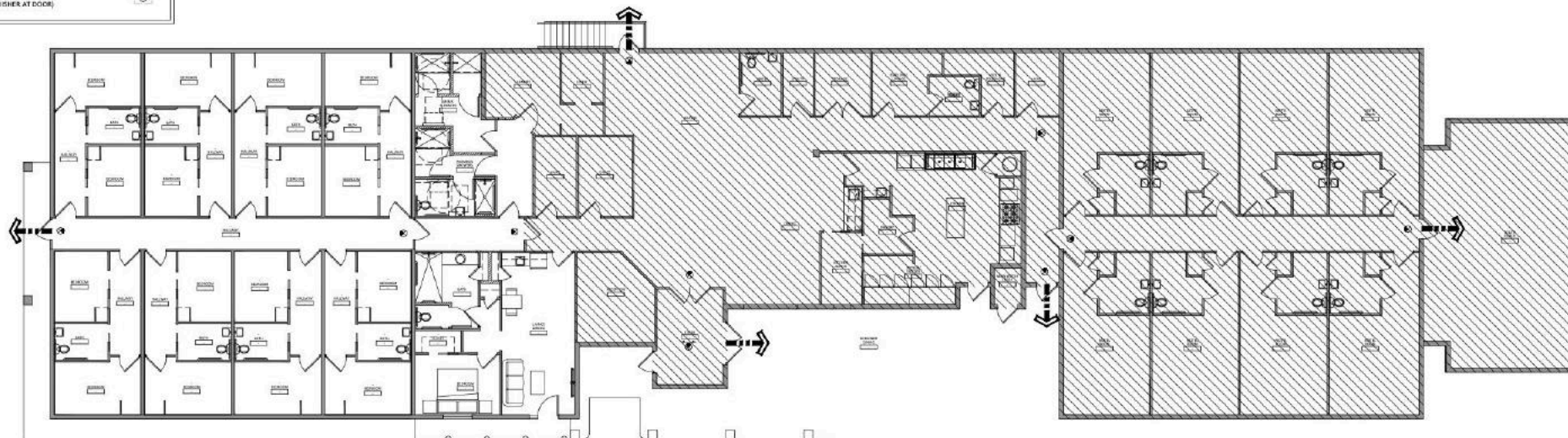


NOTES:
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 SERVICE SINK: EXISTING

LIFE SAFETY LEGEND:



1 Life Safety Floor Plan
 Scale: 1/8" = 1'-0"

DONNELLY Architecture
 1385 NORTH CRYSTAL AVENUE
 CRYSTAL RIVER, FLORIDA 34429
 825 NW 15TH STREET
 GAINESVILLE, FLORIDA 32603
 852.268.1166
 WWW.DONNELLYARCHITECTURE.COM

SUNSHINE GARDENS MOTEL
 INTERIOR RENOVATIONS
Crystal River, Florida

PROJECT LOCATION:
 SUNSHINE GARDENS
 1311 N. 4TH AVENUE
 CRYSTAL RIVER, FLORIDA 34429
 FLORIDA ARCHITECT AR 92950

NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION

OCTOBER 4, 2022

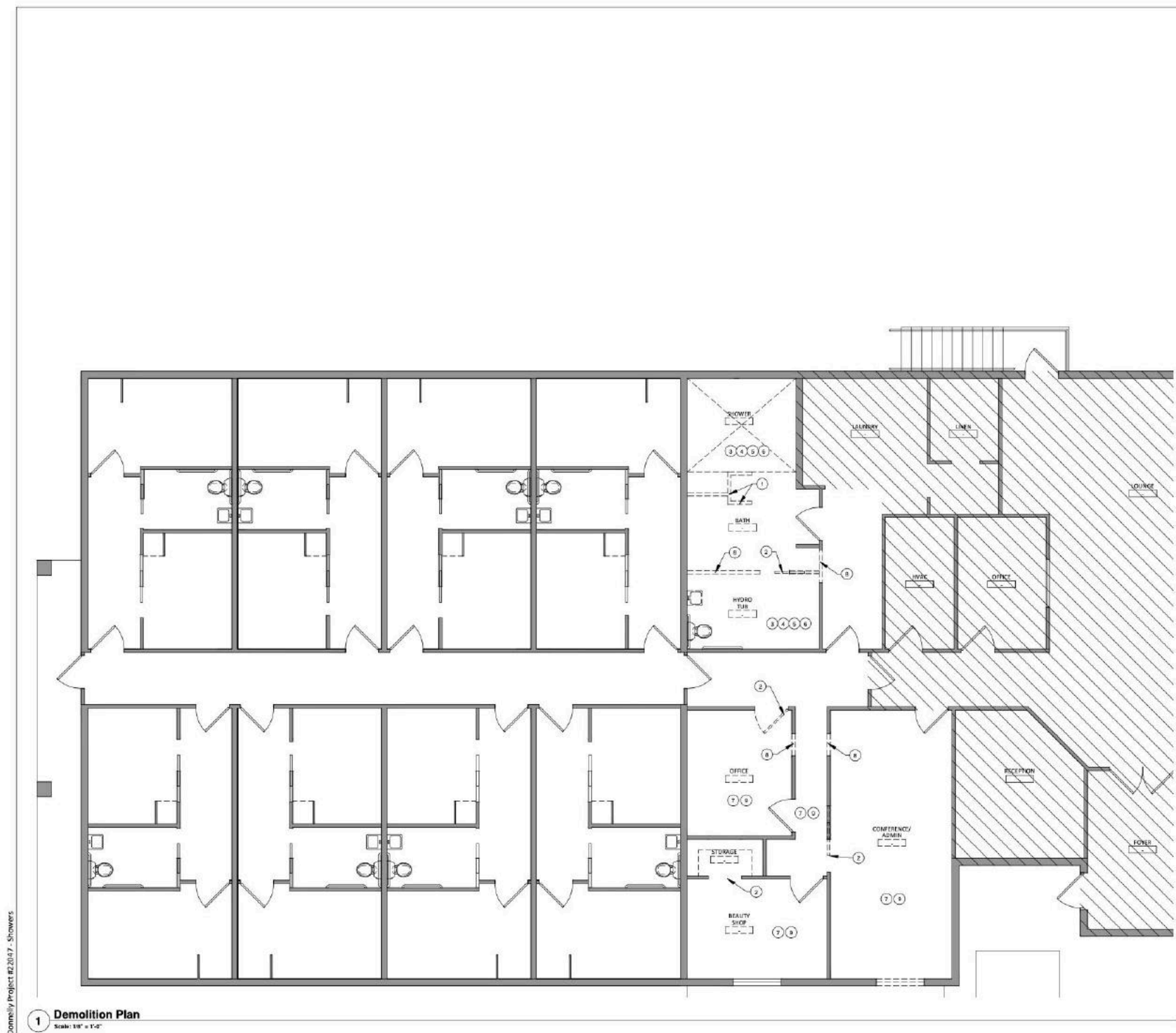
90% CONSTRUCTION DOCUMENTS

LIFE SAFETY PLAN, CODE SUMMARY

A0.01

Donnelly Project #272017 - Showers

✓ INTERIOR RENOVATION



- DEMOLITION PLAN NOTES**
1. REMOVE EXISTING WALL AS SHOWN.
 2. REMOVE EXISTING DOOR AS SHOWN.
 3. REMOVE EXISTING CONCRETE SLAB AS REQUIRED FOR PLUMBING WORK AND TO ADJUST FLOOR SLOPE AS SHOWN.
 4. REMOVE EXISTING PLUMBING FIXTURE AS SHOWN.
 5. REMOVE EXISTING FLOOR FINISH COMPLETE.
 6. PATCH AND REPAIR EXISTING WALLS TO REMAIN.
 7. PATCH AND REPAIR EXISTING WALLS TO REMAIN.
 8. PARTIALLY REMOVE EXISTING WALL FOR NEW OPENING AS SHOWN.
 9. REMOVE ALL VINYL WALL BASE COMPLETE.

- DEMOLITION PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - EXISTING DOOR TO REMAIN
 - EXISTING WINDOW TO REMAIN
 - EXISTING WALL, WINDOW, OR DOOR TO BE REMOVED AS SHOWN
 - HATCHED AREAS NOT INCLUDED IN THE SCOPE OF ARCHITECTURAL WORK

- NOTE:**
1. OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIALS, EQUIPMENT, AND/OR FIXTURES INDICATED TO BE REMOVED.
 2. FOR EXISTING UNANNOUNCED PLUMBING IN WALL, FLOOR, OR CEILING COMPLETELY REMOVE OTHER UTILITIES AS NOTED FOR DEMOLITION, REMOVAL, RELOCATION OF APPLIANCES, EQUIPMENT, FIXTURES, WALLS AS SHOWN.
 3. CUTTING OF STRUCTURAL MEMBERS AND BEARING WALLS NOT SHOWN ON THESE DRAWINGS SHALL ONLY BE DONE WITH WRITTEN APPROVAL OF THE ENGINEER. USE BRACING AND SHORING WHERE NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY OF THE BUILDING.
 4. KEEP BUILDING REASONABLY CLEAN AND SWEEP DAILY.
 5. PROMPTLY REMOVE MATERIALS, RUBBISH, AND DEBRIS FROM THE BUILDING AND PROPERTY.
 6. PROVIDE CUTTING AND PATCHING OF EXISTING WORK AS REQUIRED. VERIFY EXACT LOCATIONS AND MATERIALS OF EXISTING BEFORE PERFORMING WORK.

DONNELLY Architecture
AN LLC
 3384 NORTH CITRUS AVENUE
 CRYSTAL RIVER, FLORIDA 34425
 832 NEW 13TH STREET
 GAINESVILLE, FLORIDA 32601
 352 248.1105
 WWW.DONNELLYARCHITECTURE.COM

SUNSHINE GARDENS MOTEL
INTERIOR RENOVATIONS
Crystal River, Florida

PROJECT LOCATION:
 SUNSHINE GARDENS
 311 NE 4TH AVENUE
 CRYSTAL RIVER, FLORIDA 34429
 FLORIDA ARCHITECT AR 92950

NOT FOR
 REGULATORY APPROVAL
 PERMITTING OR
 CONSTRUCTION

OCTOBER 4, 2022

90% CONSTRUCTION DOCUMENTS

DEMOLITION PLAN AND NOTES

A0.09

Donnelly Project #22047 - Showers

1 Demolition Plan
 Scale: 1/8" = 1'-0"

✓ INTERIOR RENOVATION



DONNELLY
Architecture
ARCHITECTS
1384 NORTH CITRUS AVENUE
CRYSTAL RIVER, FLORIDA 34429
825 NEW 13TH STREET
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SUNSHINE GARDENS MOTEL
INTERIOR RENOVATIONS
Crystal River, Florida

PROJECT LOCATION:
SUNSHINE GARDENS
511 NE 4TH AVENUE
CRYSTAL RIVER, FLORIDA 34429
FLORIDA ARCHITECT AR 92950

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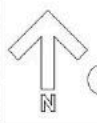
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DOCUMENTS

OVERALL
FLOOR PLAN

A0.10

Donnelly Project #22047 - Showers



1 Overall Floor Plan (Shown without tags or dimensions to show completed design intent)
Scale: 1/8" = 1'-0"

✓ INTERIOR RENOVATION

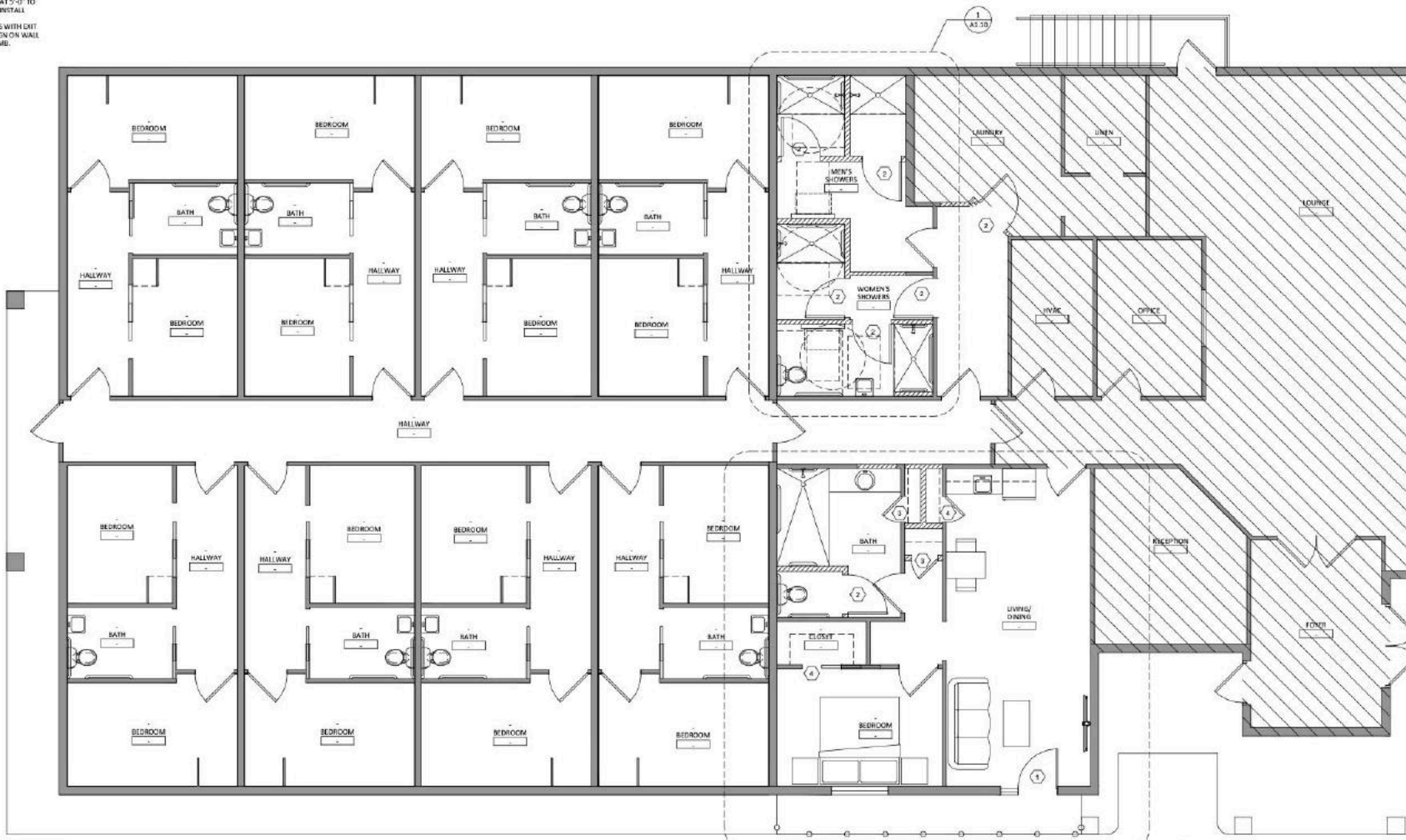
FLOOR PLAN WALL LEGEND:

	HATCHED AREAS NOT INCLUDED IN THE SCOPE OF ARCHITECTURAL WORK
	EXISTING CONSTRUCTION
	EXISTING RATED WALL PER UL 1410
	GWB ON METAL STUD FRAMING AT 16" O.C. (SEE A4.10)
	GWB ON METAL STUD FRAMING AT 16" O.C. WITH R-12 UNFACED BATT INSULATION (SEE A4.10)

FLOOR PLAN LEGEND:

	WALL TYPE, SEE SHEET A4.10
	OPENING TYPE, SEE SHEET A3.00

- NOTES:**
- SEE SHEET A3.21 FOR REFLECTED CEILING PLAN.
 - PROVIDE INTERIOR SIGNS (ACCESSIBLE IN TYPE AND LOCATION) EQUAL TO AS SYSTEMS 9000 SERIES 6" X 6" AT ROUTE ROOMS, STORAGE, MECHANICAL STAFF ONLY AREAS. INSTALL AT 5'-0" TO CENTER OF SIGN ON WALL ADJACENT TO LATCH SIDE. INSTALL SQUARE AND PLUMB.
 - PROVIDE FACILE EXIT SIGNS ADJACENT TO ALL DOORS WITH EXIT SIGNS (SEE A0.01). INSTALL AT 5'-0" TO CENTER OF SIGN ON WALL ADJACENT TO LATCH SIDE. INSTALL SQUARE AND PLUMB.



1 Floor Plan
Scale: 1/4" = 1'-0"

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SUNSHINE GARDENS MOTEL
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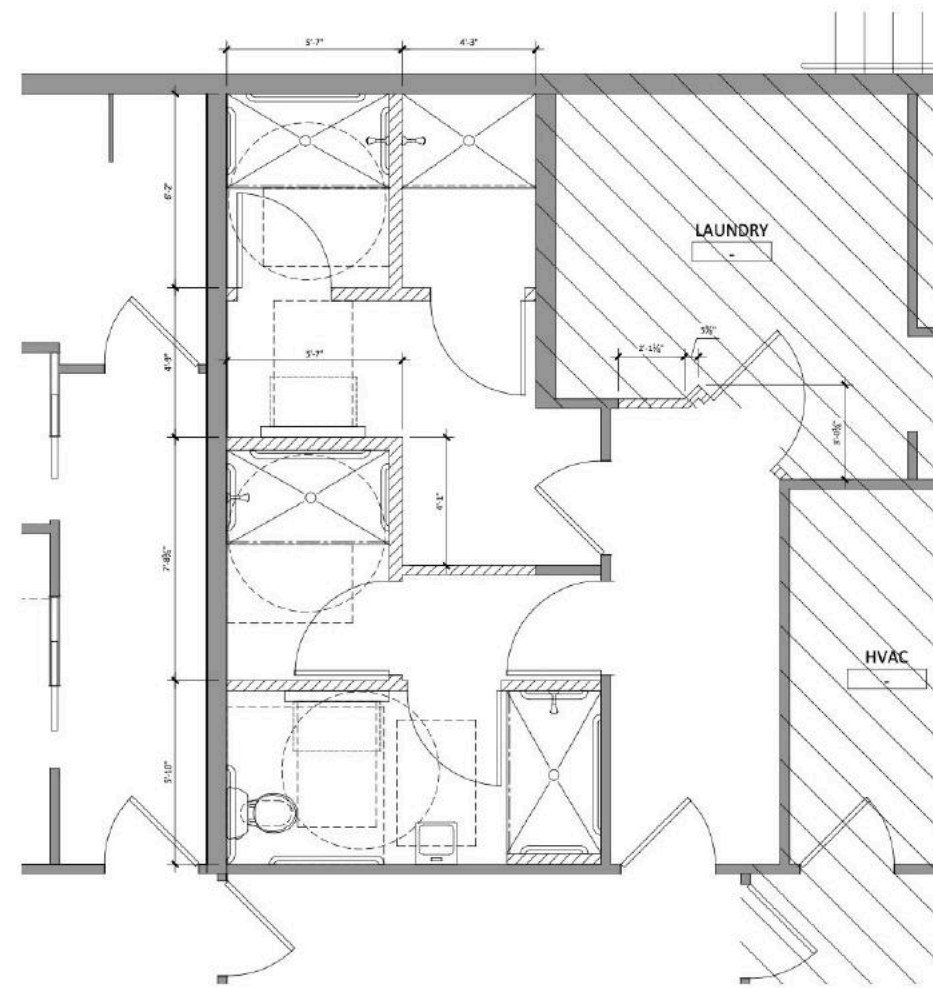
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FLOOR PLAN
AND NOTES

A1.01

Donnelly Project #22047 - Showers

✓ INTERIOR RENOVATION



1 Enlarged Floor Plan
Scale: 1/8" = 1'-0"

TOILET ACCESSORIES			
#	DESCRIPTION	QTY	MANUFACTURER/NOTES
1	PAPER TOWEL DISPENSER	2-262	SOBRICK (SURFACE)
2	TOILET PAPER DISPENSER	2831	AMERICAN SPECIALTIES INC.
3	SOAP DISPENSER	2-2111	SOBRICK (SURFACE)
4	CRAB BAR - 36"	1-6816 x 36	SOBRICK
5	CRAB BAR - 42"	1-6816 x 42	SOBRICK
6	TRASH RECEPTACLE	-	BY OWNER
7	MIRROR	2-385 3826	SOBRICK
8	BIKE CHANGING STATION	1-8202 10002	MOORE CASE
9	SANITARY NAPKIN DISPOSAL	1-220	SOBRICK

- NOTES:
1. MOUNT ALL TOILET ROOM ACCESSORIES IN COMPLIANCE WITH FLORIDA BUILDING CODE, ACCESSIBILITY.
 2. CONTRACTOR MAY PROVIDE OWNER/ARCHITECT APPROVED EQUAL FOR ANY ITEM SCHEDULED ABOVE.
 3. PROVIDE SOFT-CLOSE OPEN TOILET SEAT FOR ALL COMMERCIAL WATER CLOSETS.
 4. FLUSH CONTROLS SHALL BE AUTOMATIC OR, WHERE HAND OPERATED, SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET COMPARTMENT.

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ENLARGED FLOOR
PLANS AND NOTES

A1.10

Donnelly Project #22047 - Showers

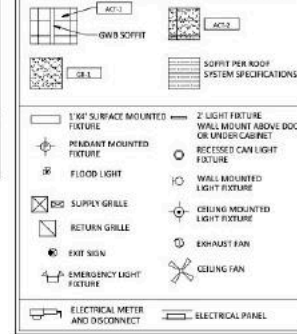
INTERIOR RENOVATION

CEILING FINISH SPECIFICATIONS						
1	LAY IN CEILING	ARMSTRONG (BASIS OF DESIGN), USG, CERTAINTED, APPROVED EQUAL.	TELE ULTIMA REGULAR GRID; PRELUDE ML 3518	WHITE 24x24 TILE, WHITE GRID, EXPOSED TEE	N/A	FASTENERS AND FRAMING WIRES PER MANUFACTURER'S RECOMMENDATIONS
2	PAINT ON GWB	SHERWIN-WILLIAMS (BASIS OF DESIGN), BENJAMIN MOORE, PITTSBURGH PAINTS, APPROVED EQUAL.	PAINT ON 1/2" GWB (UNLESS NOTED OTHERWISE)	FLAT FINISH, 3 COAT SYSTEM	NONE	SEE INTERIOR WALL SECTIONS AND INTERIOR WALL NOTES
3	FOR EXTERIOR CEILING (SEE ALSO A1.21 AND A1.25)	SHERWIN-WILLIAMS (BASIS OF DESIGN), BENJAMIN MOORE, PITTSBURGH PAINTS, APPROVED EQUAL.	PAINT ON DENSGLASS EXTERIOR GYPSUM SHEATHING	FLAT FINISH, 3 COAT EXTERIOR PAINT SYSTEM	NONE, WITH FIBERGLASS MESH TAPE	

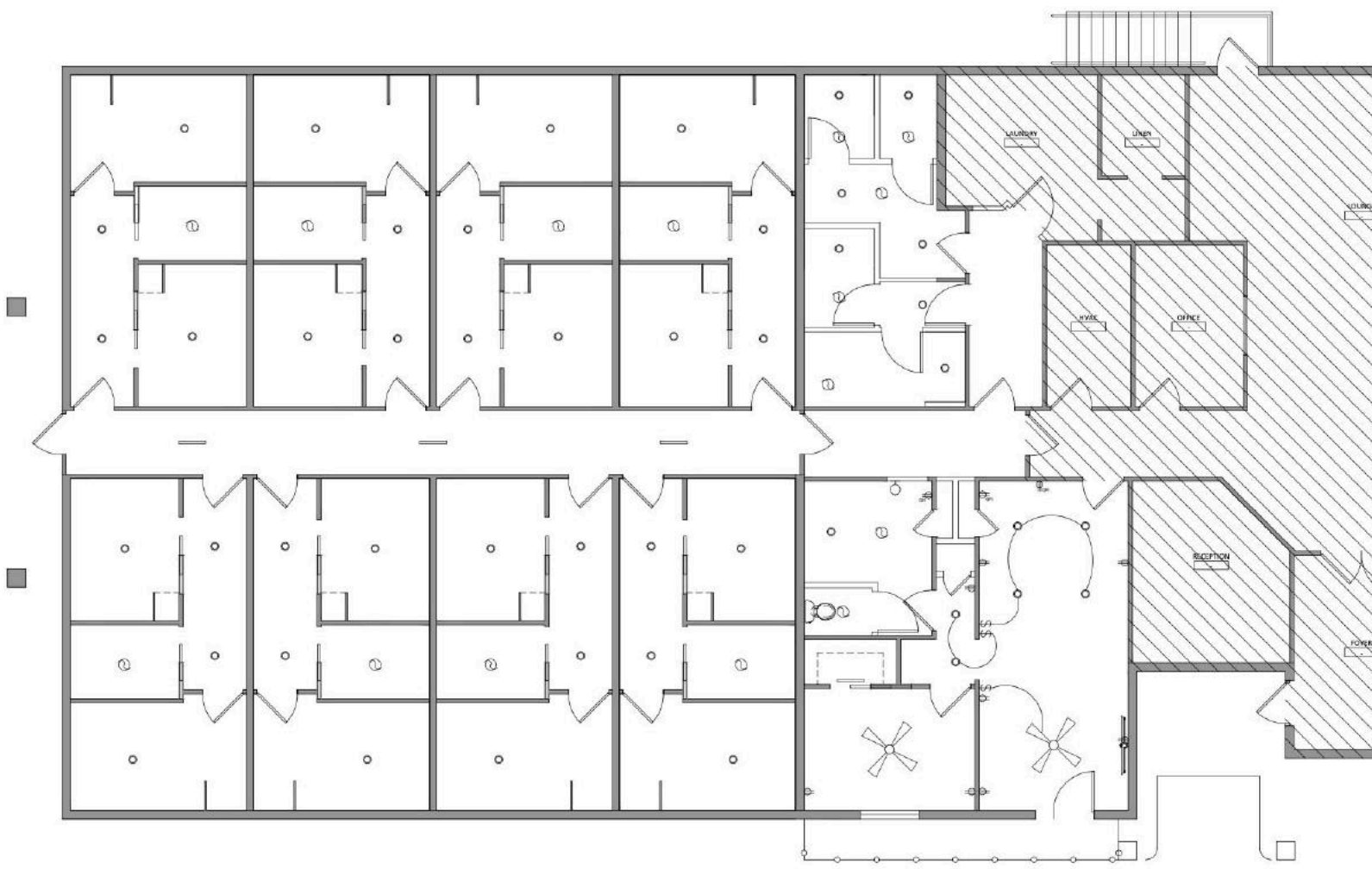
- NOTES:
 1. SEE A1.01 FOR INTERIOR FINISH RATINGS AND CLASSIFICATIONS.
 2. SEAL JOINTS FOR GYPSUM BOARD AND INTERIOR PAINT NOTES.
 3. PROVIDE ATTIC STOODS AS REQUESTED BY OWNER.

NOTE: SEE REFLECTED CEILING PLAN FOR FINISH LOCATIONS.

REFLECTED CEILING PLAN LEGEND:



- NOTES:
 1. GWB SOFFITS SHALL BE 6" BELOW ADJACENT CEILING.
 2. LOCATE LIGHTS, EQUIPMENT, EXIT SIGNS, AND SPREMLER HEADS IN CENTER OF TILE UNLESS SHOWN OTHERWISE.
 3. SEE A1.01 FOR INTERIOR FINISHES.



Donnelly Project #22047 - Showers

1 Reflected Ceiling Plan
 Scale: 1/4" = 1'-0"

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SUNSHINE GARDENS MOTEL
 INTERIOR RENOVATIONS
Crystal River, Florida

PROJECT LOCATION:
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REFLECTED CEILING
 PLAN AND NOTES

A1.21

INTERIOR RENOVATION

EXTERIOR OPENING NOTES:

1. PRE-HUNG EXTERIOR FIBERGLASS DOORS SHALL BE EQUAL TO THERMA TRU SMOOTH STAR OR CLASSIC CRAFT SERIES INSTALLED PER FINISH (SINGLE DOOR) OR FUR 247 (DOUBLE DOOR). (U-VALUE 0.30, SHGC 0.28 MIN.)
- * NOTE: PROVIDE LABEL AT EACH EXTERIOR OPENING LISTING MANUFACTURER, MODEL, PRODUCT APPROVAL NUMBER, AND U-FACTOR

NOTES:
GLASS SHALL BE TEMPERED IN ACCORDANCE REQUIRED BY FLORIDA BUILDING CODE SECTION 2406.4.
1. GLAZING UNITS SHALL BE FULL-FRAME AND UNBREAKABLE PANELS OF SWIMMING, SHOWER, AND WALK-IN DOORS SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPT FOR DECORATIVE GLAZING, GLAZING OPERATED BY A SIDE THROUGH WHICH A 2" DIA. SPHERE TEST PENN. SPECIFIC IS UNABLE TO PASS.
2. GLAZING UNITS TO DOORS, UNLESS IN AN INDIVIDUAL ROOM OR OFFICE AREA, SHALL BE SUBJECT TO A DOOR WHERE THE WIDEST VERTICAL EDGE OF THE GLAZING IS WITHIN A 36-INCH (914 MM) WAVE OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND HANGING THE BOTTOM HORIZONTAL EDGE OF THE GLAZING IS LESS THAN 48 INCHES (1219 MM) ABOVE THE WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. EXCEPT FOR DECORATIVE GLAZING, WHERE THERE IS AN OPERABLE PANEL OR OTHER PERMANENT BARRIERS BETWEEN THE DOOR AND GLAZING, WHICH ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA, SET OR HANGING OF GLAZING IN THIS LOCATION SHALL COMPLY WITH TABLE 2406.4.2. GLAZING IN WALLS AND THE LATCH SIDE OF ONE PROJECTIONS TO THE PANEL OF THE DOOR IN A CLOSED POSITION IN ONE AND TWO PANEL DOORINGS OR WITH PROJECTIONS UNITS IN GROUP 3.2.

INTERIOR OPENING NOTES:

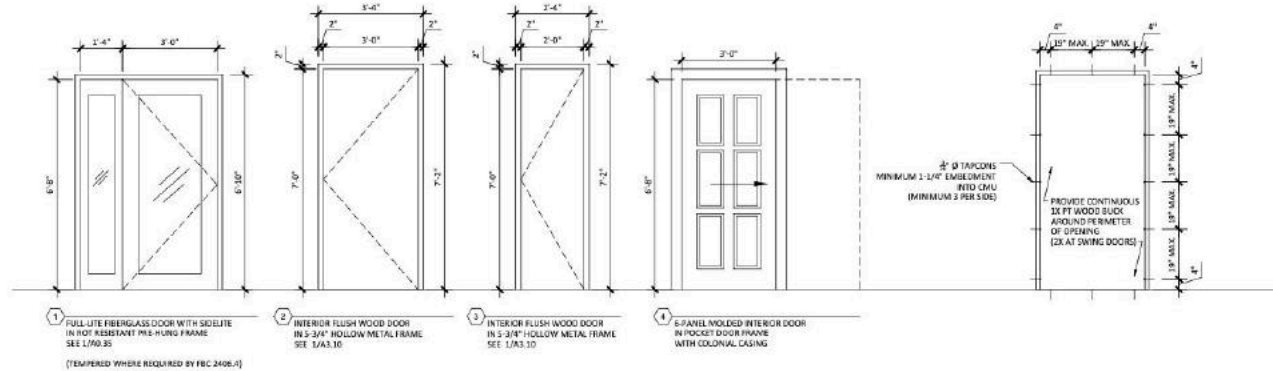
1. INTERIOR FLUSH WOOD DOORS SHALL BE 1-3/4" SOLID CORE, 5-PLY CONSTRUCTION WITH VENEER SUITABLE FOR TRANSPARENT FINISH, EQUAL TO MAGNOLIA ASP-80 (MARSHFIELD AUGOMAL, EGGERS, MOHAWK, VT INDUSTRIES, OR APPROVED EQUAL).
- GLASS SHALL BE TEMPERED WHERE REQUIRED BY FBC 2406.3

OPENING & HARDWARE SCHEDULE

ROOM NAME	OPENING TYPE / MATERIAL GROUP	DOOR AND HARDWARE FINISH	DOOR HARDWARE FUNCTION
MEN'S SHOWERS	2	-	PRIVACY FUNCTION
WOMEN'S SHOWERS	2	-	PRIVACY FUNCTION
LIVING / DINING	1	-	ENTRY FUNCTION
BATH	2, 3	-	PRIVACY FUNCTION, PASSAGE FUNCTION
BEDROOM CLOSET	4	-	PASSAGE FUNCTION

PROVIDE CYLINDRICAL LEVER LOCK SETS EQUAL TO SCHLAGE AL SERIES COMMERCIAL STANDARD DUTY LOCK SETS WITH LEVER STYLE LEVER HANDLES, SATIN NICKEL FINISH.
LEVER LOCKSETS, CLOSERS, AND MOUNTING HEIGHTS OF ALL DOOR HARDWARE SHALL COMPLY WITH FLORIDA BUILDING CODE, ACCESSIBILITY.

- NOTE:
1. DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS SHALL BE MOUNTED 36" MINIMUM AND 48" MAXIMUM ABOVE FINISHED FLOOR OR GRADELINE.
 2. CLOSERS SHALL BE ADJUSTED SO THAT FROM OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 22 DEGREES FROM THE LATCH IS 5 SECONDS MAXIMUM.
 3. OPENING OR CLOSING A DOOR SHALL NOT REQUIRE A FORCE GREATER THAN 5 POUNDS.
 4. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.



2 Interior Opening Types
Scale: 1/2" = 1'-0"

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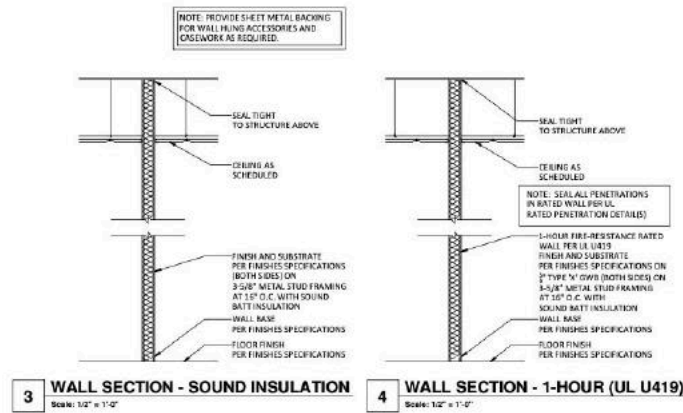
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INTERIOR OPENING TYPES AND NOTES

A3.00

INTERIOR RENOVATION



INTERIOR WALL NOTES

NON-BEARING METAL FRAMING:

- PROVIDE STEEL STUDS AND RUNNERS EQUAL TO ASTM C 445, 22 GAUGE MINIMUM FOR WALLS (INTERIOR NON-BEARING), 3-5/8 INCHES UNLESS NOTED OTHERWISE ON DRAWINGS.
- FLAT STRAP AND BRACING PLATE: THREE FOR BRACING OR BRACING IN LENGTH AND WIDTH AS INDICATED, AND WITH MINIMUM GAGE METAL (UNCOATED) 0.0273" THICK.
- FASTENERS SHALL BE THE MATERIAL, SIZE, CORROSION RESISTANCE, HOLDING POWER AND OTHER PROPERTIES REQUIRED TO FASTEN STEEL FRAMING AND FINISH MEMBER SECURELY TO SUBSTRATES INVOLVED, COMPLY WITH RECOMMENDATIONS OF GYPSUM BOARD MANUFACTURERS FOR APPLICATIONS INDICATED.
- STIFFEN STEEL FRAMED WALLS WITH 1" COLD-ROLLED CHANNELS PLACED HORIZONTALLY APPROXIMATELY 4'-0" ABOVE FLOOR AND SECURELY ATTACH TO EACH STUD. REMOVE OPENINGS FOR WINDOWS AND DOORS WITH 1" COLD-ROLLED CHANNELS PLACED HORIZONTALLY APPROXIMATELY 4'-0" ABOVE FLOOR AND SECURELY ATTACH TO EACH STUD EXTENDING 1'-0" MINIMUM EACH SIDE OF OPENING.
- BRICK PARTITION FRAMING: NOT EXTENDING FULL HEIGHT TO STRUCTURE ABOVE, WITH STUDS SAME SIZE AND THICKNESS AS PARTITION FRAMING. BRIDGE BRACING AT 4'-0" O.C. INTERVALS ABOVE; LENGTH OF PARTITIONS, NOT LESS THAN 4'-0" FROM PARTITION ENDS AND CORNERS.

INTERIOR FINISHES:

- SEE INTERIOR FINISHES SPECIFICATIONS.

SOUND BATT INSULATION:

- PROVIDE SOUND BATT UNFACED R-11 INSULATION.

FASTENER NOTES

METAL STUD FASTENERS: SCREWS AND SPACING SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS.

GYPSUM BOARD ATTACHMENT:

- 1/4" x 1/8" CORNERS IN APPROXIMATELY 1" WITH THE GYPSUM ASSOCIATION HANDBOOK AT 8" O.C. PANEL EDGES AND 12" O.C. FIELD.
- 1/2" GYPSUM CEILING: 8D AT 6" O.C. EDGES (SILE & NAIL) AT 12" O.C. FIELD.

SEE 90.02 FOR FASTENER TYPE AND PATTERN FOR FIRE RATED ASSEMBLIES.

GYPSUM ASSEMBLIES NOTES

STEEL FRAMING SHALL COMPLY WITH ASTM C754 AND GYPSUM CONSTRUCTION HANDBOOK.

BRICK PARTITIONS: NOT EXTENDING FULL HEIGHT OF STRUCTURE ABOVE AT 48" O.C. MINIMUM WITH SAME SIZE STUDS AND THICKNESS AS PARTITION FRAMING.

STIFFEN STEEL FRAMED WALLS WITH CONTINUOUS 1" COLD-ROLLED CHANNELS PLACED HORIZONTALLY APPROXIMATELY 4'-0" ABOVE FLOOR AND SECURELY ATTACHED TO EACH STUD.

PROVIDE GYPSUM FINISH LEVEL IN COMPLIANCE WITH 6A 214-LEVEL 1: AT ABOVE CEILING AND CONCEALED AREAS EXCEPT WHERE HIGHER LEVEL OF FINISH IS REQUIRED FOR FIRE RATING LEVEL 2: GYPSUM SUBSTRATE AT TILE LEVEL 3: AT AREAS OF TEXTURED FINISHES AND HEAVY DUTY WALL COVERINGS LEVEL 4: AT ALL AREAS UNLESS NOTED OTHERWISE ABOVE.

PROVIDE GYPSUM BOARD CONTROL JOINTS AT 30' O.C.

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INTERIOR
WALL TYPES

A4.10

Donnelly Project #22047 - Showers



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