

GENERAL NOTES

- 1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY ACQUAINTED WITH THE SITE AS IT EXISTS. THE DRAWINGS, SPECIFICATIONS & NOTES CONTAINED HEREIN ARE INTENDED TO OUTLINE AND CLARIFY THE WORK REQUIRED FOR VARIOUS PROJECTS FOR THE OWNER. HOWEVER, NOT ALL NOTES MAY PERTAIN TO THIS PARTICULAR PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT EXTENT OF THE WORK BY PERSONAL FIELD OBSERVATIONS AND FAMILIARIZATION OF THE DRAWINGS, SPECIFICATIONS & NOTES. IT SHALL BE UNDERSTOOD UPON SUBMITTING A BID THAT THE CONTRACTOR HAS VISITED THE SITE AND IS THOROUGHLY ACQUAINTED WITH THE WORK REQUIRED, AND HAS INCLUDED IN HIS BID TO COMPLY WITH THE INTENT OF THE APPLICABLE DRAWINGS, CODES AND SPECIFICATION.
2. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS AND SHALL ADVISE THE ARCHITECT WRITINGS OF ANY DISCREPANCIES OR CHANGES REQUIRED TO CONFORM TO SITE CONDITIONS. IN CASE OF DISCREPANCY OF THE DRAWING DETAILS SHALL GOVERN OVER OVERALL PLANS AND SCHEDULES.
3. ALL ITEMS SPECIFIED ARE INTENDED TO ESTABLISH QUALITY OF WORK. IF SPECIFICATION CALLS FOR 'OR EQUAL' THEN PRODUCTS OF OTHER MANUFACTURERS EQUAL IN DESIGN, COLOR AND QUALITY MAY BE SUBSTITUTED. APPROVAL IS NECESSARY BY THE ARCHITECT. IN WRITING, PRIOR TO PURCHASE, AS WELL AS MEETING ESTABLISHED DESIGN AND FUNCTION CRITERIA. HOWEVER, ANY SPECIFICATION OMITTING THE 'OR EQUAL' COMMENT CANNOT BE SUBSTITUTED FOR.
4. ALL DRAWINGS AND NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. EACH SUBTRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING HIS WORK AS APPLICABLE. WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE DEEMED AND INCLUDED IN SUB-CONTRACTOR'S COSTS. SAME SHALL APPLY TO GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF ALL DRAWINGS TO ALL SUB-CONTRACTORS.
5. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT AS SHOWN UNLESS OTHERWISE NOTED BY THE ARCHITECT. ALL MATERIAL SHALL BE NEW AND OF BEST QUALITY UNLESS OTHERWISE INDICATED.
6. THE CONTRACTOR SHALL INCLUDE ALL CUTTING, DRILLING, AND PATCHING REQUIRED TO PERMIT THE INSTALLATION OF HIS WORK.
7. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND BUILDING REGULATIONS OR STANDARDS.
8. A COMPETENT PERSON SHALL BE IN DIRECT CHARGE AND SUPERVISION OF THE WORK AND WORKMEN REQUIRED TO FILL THE WORK CALLED FOR ON THE APPLICABLE DRAWINGS AND SPECIFICATIONS, FROM THE BEGINNING TO COMPLETION AND FINAL ACCEPTANCE OF THE PROJECT.
9. ALL WORK SHALL BE PERFORMED IN A WORKMAN LIKE MANNER BY SKILLED WORKMEN IN ACCORDANCE WITH THE BEST ACCEPTED TRADE PRACTICES, STANDARDS, AND IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
10. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL CERTIFICATES AND APPROVALS FOR MATERIALS AND/OR ASSEMBLIES AS PER STATE AND LOCAL CODES. APPROVALS ARE REQUIRED FOR, BUT NOT LIMITED TO COMBUSTIBLE MATERIALS SUCH AS:
A WOOD FRAMING, WOOD RAILS, PLYWOOD PANELS, ETC.
B CARPET
C PLASTIC LAMINATE FACINGS;
D RUBBER BASE;
E ACOUSTICAL CEILING ASSEMBLIES.
11. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES, PREPARE AND FILE ALL NECESSARY FORMS, AND BE RESPONSIBLE FOR ALL REQUIRED APPROVALS BY THE DEPARTMENT OF BUILDINGS AND ALL OTHER AGENCIES HAVING JURISDICTION.
12. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A COMPREHENSIVE PROJECT SCHEDULE. THE ILLUSTRATION IS TO INCLUDE ALL OF THE FOLLOWING:
-CHRONOLOGICAL SEQUENCE OF CALENDAR DAYS INCLUDING WEEKENDS.
-LOGICAL SEQUENCE OF ALL CONSTRUCTION TRADES BY NAME.
-PROJECT COMMENCEMENT DATE.
-ALL CONSTRUCTION PHASES INCLUDING SUBMITTAL PHASES.
-TIME PERIODS NECESSARY TO COMPLETE EACH TASK, PHASE OR TRADE.
-INTERFACE PERIODS FOR ALL INDEPENDENT VENDORS AND INSTALLERS.
-SUBSTANTIAL COMPLETION DATE.
-PUNCH LIST PERIOD.
-FINAL COMPLETION DATE.
THE CONTRACTOR IS TO COORDINATE THE SCHEDULE, AND COOPERATE WITH ALL CONSTRUCTION TRADES, MATERIAL DELIVERIES, INDEPENDENT INSTALLERS AND VENDORS TO INSURE SUFFICIENT TIME WITHIN PROJECT SCHEDULE FOR A COMPLETE AND FULLY FUNCTIONING SPACE.
13. ALL REQUIRED SHOP DRAWINGS, DOOR AND HARDWARE SCHEDULES, AND FIXTURE CUTS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS APPROVAL PRIOR TO COMMENCEMENT OF WORK.
14. THE GENERAL CONTRACTOR SHALL SUBMIT CUTS IN TRIFURCATE FOR ALL GATE AND SLIDE ITEMS INCLUDING BUILDING STANDARD ITEMS CALLED FOR ON DRAWINGS (LIGHT FIXTURES, HARDWARE, ETC.)
15. THE GENERAL CONTRACTOR SHALL SUBMIT FABRICATION SHOP DRAWINGS FOR ALL OFF-SITE FABRICATED ITEMS (ONE TRANSPARENCY) FOR APPROVAL.
16. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL PERFORM THE FOLLOWING TASKS:
A ALL WALL LINES SHALL BE CHALKED ON THE FLOOR;
B ALL DOOR SWINGS SHALL BE CHALKED ON THE FLOOR;
C ALL ELECTRICAL AND TELEPHONE OUTLETS AND SURFACE MOUNTED DUCTS SHALL BE CHALKED ON THE FLOOR;
D UPON COMPLETION OF A, B, C, THE ARCHITECT SHALL BE NOTIFIED AND HIS REPRESENTATIVE SHALL VISIT THE JOB SITE AND APPROVE THE LOCATIONS.

- 17. ALL ARRANGEMENTS FOR CONSTRUCTION PERSONNEL ENTERING THE BUILDING DURING WORKING HOURS, MATERIAL DELIVERY, DEBRIS REMOVAL, MATERIAL RETURNED TO BUILDING, ETC., SHALL BE MADE WITH THE LANDLORD.
18. THE GENERAL CONTRACTOR SHALL CHECK BUILDING OPENING CLEARANCE FOR DELIVERY OF EQUIPMENT AND/OR MATERIALS (ELEVATORS, ELEVATORS, DOORS, CORRIDORS, ETC.)
19. NO WORK WHICH INVOLVES ADDITIONAL COST IS TO COMMENCE WITHOUT HAVING SUBMITTED A WRITTEN ESTIMATE TO THE ARCHITECT AND HAVING RECEIVED A WRITTEN APPROVAL TO PROCEED.
20. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIAL FROM THE JOB SITE AND SWEEP IT BROOM CLEAN ON A DAILY BASIS. UPON COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIALS, TOOLS, ETC., FROM THE PREMISES AND THE ENTIRE AREA LEFT IN A NEAT AND CLEAN CONDITION THROUGHOUT. GENERAL CONTRACTOR IS RESPONSIBLE TO CLEAN-UP AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS AND/OR MATERIALS DELIVERED BY THE DELIVERY AND INSTALLATION OF CARPET, WOODWORK, FURNITURE OR OTHER TRADES EMPLOYED BY THE OWNER.
21. IF THE LOCATION OF THE WORK IS IN AN OCCUPIED AREA THAT MUST REMAIN IN OPERATION DURING THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A MINIMUM OF INTERFERENCE WITH THE OPERATION.
22. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY TEMPORARY SOLID AND/OR PLASTIC DROP CLOTH PARTITIONS TO PROTECT OCCUPIED AREAS WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
23. THE CONTRACTOR SHALL TAKE SPECIAL PRECAUTIONS SATISFACTORY TO THE BUILDING OWNER AND ARCHITECT, TO PROTECT THE WORKMEN AND THE BUILDING OCCUPANTS FROM HAZARDOUS CONDITIONS OR ACCIDENTS IN CONNECTION WITH THE WORK IN PROGRESS.
24. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS FROM ALL AREAS TO THE BUILDING FIRE STAIRS AND TO THE OUTSIDE OF THE BUILDING AT ALL TIMES DURING CONSTRUCTION.
25. THE CONTRACTOR SHALL CONTROL CLEANING AND INSTALL TEMPORARY PROTECTION TO PREVENT DIRT OR DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT. THIS INCLUDES THE ELEVATORS, ELEV. LOBBY, & CORRIDORS. PROTECT ALL AREAS AS REQUIRED.
26. ANY DAMAGES TO EXISTING PARTITIONS, FLOORS, CEILING, FINISHED WORK, FURNITURE AND FURNISHINGS, OR ANY PART OF THE BUILDING OR EQUIPMENT CAUSED BY THE WORK OF THE CONTRACTOR OR HIS WORKMEN SHALL BE MADE GOOD AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE TENANT.
27. UPON COMPLETION OF JOB, THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION FROM ALL THE APPLICABLE DEPARTMENTS.
28. THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE ACCEPTANCE OF THE PROJECT, AGAINST DEFECTIVE MATERIALS OR WORKSMANSHIP.
29. A COPY OF THE LATEST SET OF ARCHITECTURAL DRAWINGS SHALL BE KEPT AT THE JOB SITE. THESE DRAWINGS ARE TO BE MOUNTED AND UPDATED BY THE CONTRACTOR DURING CONSTRUCTION. THE SET IS TO BE RETURNED TO THE ARCHITECT AT THE COMPLETION OF THE PROJECT AS 'AS BUILT'.

CONSTRUCTION NOTES

- GENERAL
1. NOTES ON OTHER DRAWINGS SHALL APPLY TO THIS SECTION OF THE WORK. THE CONTRACTOR SHALL FURNISH ALL NECESSARY LABOR, EQUIPMENT AND MATERIALS FOR THE IMPLEMENTATION OF THE INTENT OF THIS WORK.
2. ALL WORK SHALL CONFORM TO ALL APPLICABLE RULES, REGULATIONS, CODES AND ORDINANCES FOR THE STATE AND LOCAL MUNICIPALITIES.

STRUCTURAL

- 1. REFER TO STRUCTURAL DRAWINGS, SPECIFICATIONS AND GENERAL NOTES FOR FURTHER INFORMATION.

DRYWALL

- 1. THE GENERAL CONTRACTOR IS TO PREPARE THE JOB-SITE PARTITION LAYOUT FOR APPROVAL BY THE ARCHITECT PRIOR TO ERECTING PARTITIONS.
2. ALL DIMENSIONS GIVEN FOR PARTITIONS ARE FROM FACE OF EXISTING WALL (STUD OR CONCRETE SURFACE UNLESS OTHERWISE NOTED. DRAWINGS ARE NOT TO BE SCALED.
3. THE GENERAL CONTRACTOR AND SUBCONTRACTOR ARE TO NOTIFY THE ARCHITECT WHEREVER PARTITION CONFLICTS OCCUR.
4. WHERE INTERFERENCE CAUSED BY DUCTWORK PREVENTS SECURING STUDS TO SLAB SECURE STUDS TO BLACK IRON AND SECURE BLACK IRON TO SLABS IN AN APPROVED METHOD.
5. UNLESS OTHERWISE NOTED GENERAL CONTRACTOR SHALL DOUBLE UP STUDS AT ALL DOORS AND SIDELIGHTS.
6. WHERE STEEL STUDS ADJOIN METAL DUCT OR WHERE TWO METALS ARE AFFIXED TO EACH OTHER, THE GENERAL CONTRACTOR WILL PROVIDE THE NECESSARY INSULATING MATERIAL SO THAT NO VIBRATION OR NOISE IS TRANSMITTED BETWEEN THE METALS.
7. THE WORDING "SHEATH OVER THE ALIGN" DENOTES GYPSUM BOARD SHEATHING OVER FACE OF EXISTING COLUMNS OR EXISTING WALL SURFACE AT JUNCTION WITH NEW CONSTRUCTION TO ALIGN THE TWO DISSIMILAR PARTS AND PROVIDE A SMOOTH, CRACK FREE SURFACE (TYPICAL ALL CONDITIONS).
8. WHERE DOUBLE SHEETROCK WALLS MEET SINGLE SHEETROCK WALLS, STUDS MUST BE STAGGERED TO ALIGN FINISHED SURFACES.
9. THE GENERAL CONTRACTOR IS TO PROVIDE METAL STUDS 12" O.C. AND SUPPORT BLOCKING WHERE REQUIRED FOR HANGING CABINETS AS SHOWN ON FINAL PLANS.
10. WHERE A DRYWALL PARTITION MEETS A WINDOW, PROVIDE A CONTINUOUS COMPRESSIBLE FILLER STRIP WITHIN A CONVECTOR ENCLOSURE PROVIDE SOUND BARRIER FILTER PANEL WITH MATERIAL HAVING AN ACOUSTICAL PERFORMANCE EQUAL TO THE COINCIDENT DRYWALL AND CEILING SYSTEM OF THE ADJACENT OFFICES.
11. ALL DRYWALL PARTITIONS ARE TO BE TAPED, SPACKLED AND POLISHED BETWEEN EACH OF THREE COATS OR AS REQUIRED TO RECEIVE FINAL FINISH.

WOODWORK

- 1. ALL WOODWORK ATTACHED TO PREMISES AND ALL WOOD DOORS SHALL BE FIREPROOFED TO COMPLY WITH THE STATE AND LOCAL BUILDING CODES.
2. ALL WOOD SHALL COMPLY WITH THE COMBUSTIBILITY LIMITATIONS OF THE STATE AND LOCAL BUILDING CODES AND SHALL ALSO MEET WITH WORKING LIMITATIONS OF FIRE RETARDANT WOOD IN CONSTRUCTION OF THE STATE BUILDING CODE. CERTIFICATION SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO INSTALLATION.
3. ALL DOORS REQUIRED TO BE FIRE-RATED SHALL BEAR THE PROPER UL LABELS AFFIXED TO THE STILE ON THE HINGE SIDE OF THE DOOR. THOSE LABELS SHALL NOT BE PAINTED OVER.

FLOOR SLABS

- 1. IF NOT REQUIRED FOR THIS PROJECT, THE GENERAL CONTRACTOR SHALL REMOVE ALL PIPE SLEEVES PROJECTING THROUGH SLAB HOLES, ETC., AND PATCH TO MATCH EXISTING FLOOR SURFACES.
2. THE GENERAL CONTRACTOR SHALL FLASH PATCH ALL CRACKS, HOLES OR OTHER IMPERFECTIONS IN FLOOR SLAB TO PROVIDE A CONTINUOUS SMOOTH FLOOR PRIOR TO INSTALLATION OF ANY FINISH FLOOR MATERIAL.

HARDWARE

- 1. CONTRACTOR TO NOTE- INSTALL ALL THE HARDWARE FOR ALL DOORS IN ALL AREAS AS DESCRIBED ON HARDWARE SCHEDULE.
2. ALL HARDWARE TO BE MEDIUM DUTY COMMERCIAL GRADE AND MEET ALL ADA CODES FOR HANDICAPPED ACCESSIBILITY. CONTRACTOR TO SUBMIT MANUFACTURERS FOR APPROVAL. PROVIDE ALL LOCKSETS/LATCHSET CUTS TO THE ARCHITECT FOR APPROVAL.

GLASS

- 1. ALL GLASS SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE STATE & LOCAL CODES.
2. ALL GLASS WINDOWS, VISION PANELS, ETC. SHALL BE CLEANED WITH MANUFACTURER'S RECOMMENDED METHODS UPON COMPLETION OF PROJECT.
3. CONTRACTOR SHALL REPLACE ANY AND ALL BROKEN GLASS WITHIN THE CONTRACT AREA PRIOR TO TENANT OCCUPANCY.
4. CONTRACTOR TO NOTE WHERE INDICATED ON PLANS GLASS FILM SHALL BE MANUFACTURED BY 3M, FOLLOW ALL RECOMMENDATIONS/INSTRUCTIONS WHEN INSTALLING.

FINISHED NOTES

- FLOORING:
1. THE FLOORING CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY OF MATERIALS AND/OR EQUIPMENT PRIOR TO SUBMITTING A BID. IT SHALL BE HIS RESPONSIBILITY TO CHECK THE RULES AND REGULATIONS GOVERNING WORK ON THE PREMISES, INCLUDING THE FOLLOWING:
1.1 DATES AND TIMES OF DELIVERY, INCLUDING ANY OVERTIME CHARGES IF REQUIRED.
1.2 VERIFICATION OF DIMENSIONS, CLEARANCE AND CONDITIONS AT JOB SITE, INCLUDING SIZE OF DOORWAYS, CORRIDORS, WINDOW OPENINGS, ELEVATORS ETC.
2. CONCRETE SLAB TO BE PROPERLY FLASHED AND LEVELED FOR INSTALLATION OF FLOORING MATERIALS BY GENERAL CONTRACTOR.
3. ALL RAM EDGES OF CARPET CUTOUTS MUST BE SEALED WITH A SUITABLE CEMENT.
4. ALL MAJOR CARPET SEAMS SHALL BE SEALED AND TAPED TO ACHIEVE A PERFECTLY FLAT JOINT AS PER MANUFACTURER REQUIREMENTS. WHEN SEAMS ARE AT DOORWAYS OR OPENINGS AND SADDLES OR BINDER BARS ARE NOT UTILIZED THE SEAMS SHALL FALL EXACTLY UNDER THE CENTER LINE OF THE DOOR OPENING.
5. ALL CARPET INSTALLATION DEBRIS SHALL BE REMOVED AND CARPET VACUUM CLEANED AFTER COMPLETION OF INSTALLATION. ALL CARPET SHALL BE PROTECTED UNTIL ALL WORK HAS BEEN COMPLETED. BASE, V.C.T. FLOORING, OTHER HARD FLOOR FINISHES (GRANITE, MARBLE OR CERAMIC TILE) AND GLAZED MATERIALS SHALL BE THOROUGHLY CLEANED AS REQUIRED BY THE TYPE OR FINISH. PROVIDE INITIAL WAXING OR OTHER SUCH TREATMENTS AS SPECIFIED FOR THE VARIOUS FLOOR FINISHES.
6. COLOR PILE OF EACH CARPET TYPE SHALL RUN IN ONE DIRECTION IN ALL UNINTERRUPTED AREAS.
7. AT ALL DOOR OPENINGS WHERE CARPET MEETS RESILIENT FLOOR TILE, STONE, OR CERAMIC TILE THE CARPET CONTRACTOR SHALL INSTALL A RUBBER REDUCER STRIP FASTENED WITH CONTACT CEMENT.
8. INSTALL DIRECTIONAL VGT TILE WITH THE GRAIN IN ONE DIRECTION ONLY IN ANY SINGLE SPACE AS DIRECTED BY THE ARCHITECT. DO NOT CHECKERBOARD.
9. VGT WHICH IS CRACKED, CHIPPED, POCKMARKED, OR OTHERWISE DAMAGED IS NOT TO BE USED.
10. CHECK EACH FINISHED AREA TO INSURE TIGHT SEAMS AND TO BE CERTAIN THAT ALL TRACES OF ADHESIVE HAVE BEEN REMOVED.
11. ALL BASE TO BE CONTINUOUS ROLL TYPE WITH SEAMING TO OCCUR ONLY ON INSIDE CORNERS OR AT LEAST 12" FROM WRAPPED OUTSIDE CORNER.

PAINT

- 1. ALL PRIMERS AND UNDERCOATS SHALL BE TINTED TO APPROXIMATE THE COLOR OF THE FINISHED COAT.
2. CONTRACTOR TO SUBMIT SAMPLES OF ALL FINISHING MATERIALS TO ARCHITECT FOR APPROVAL BEFORE STARTING WORK. (PAINT SAMPLES SHALL NOT BE MANUFACTURER PAINT CHIPS BUT ACTUAL PAINTED SAMPLES. (PAINTED SAMPLES SHALL NOT BE SUBMITTED ON GMB SEGMENTS. SUBMIT SAMPLES ON A PLACARD.
3. ALL CEILING, WALLS, DOORS, FRAMES, SHELVES TO RECEIVE SPECIFIED FINISH AS NOTED ON DRAWINGS.
4. ALL DOORS, BUCKS, CONVECTORS AND TRIM TO BE PAINTED IN A SEMI-GLOSS ENAMEL FINISH EXCEPT WHERE OTHERWISE NOTED.
5. ALL CLOSET INTERIORS TO RECEIVE SAME FINISH AND COLOR AS ADJACENT AREA EXCEPT WHERE NOTED.
6. ALL SURFACES TO RECEIVE FINISHES ARE TO BE CLEANED, DRY AND SMOOTH BEFORE APPLICATIONS OF NEW FINISHES. WALL MARKINGS MUST BE SUFFICIENTLY SEALED BEFORE APPLICATION OF PAINT SO AS TO PREVENT BLEED-THROUGH.
7. PAINTING MATERIAL PRODUCTS TO BE FACTORY PREPARED AND AS RECOMMENDED FOR SPECIFIC TYPE OF PAINTINGS, COLORS TO MATCH THOSE SPECIFIED.
8. CONTRACTOR SHALL OBTAIN APPROVAL OF INSTALLATION OF ALL WORK FROM ARCHITECT PRIOR TO LEAVING THE JOB.
9. REMOVE AND/OR PROVIDE AMPLE PROTECTION IN PLACE FOR HARDWARE, ACCESSORIES, DEVICE PLATES, LIGHTING FIXTURES, FACTORY FINISHED WORK, AND COMPLETED CABINETRY, FURNITURE OR SIMILAR ITEMS. UPON COMPLETION OF EACH SPACE, CAREFULLY REPLACE ALL REMOVED ITEMS AND PROTECTION.
10. ALL ADJACENT WORK AND MATERIALS MUST BE PROTECTED WITH SUITABLE COVERS DURING THE PROGRESS OF THE WORK.
11. THE CONTRACTOR SHALL TOUCH UP AND FINISH ANY PART OF HIS WORK REQUIRING SAME AFTER OTHER TRADES HAVE FINISHED SURFACES NOT EXPOSED TO VIEW NEED NOT BE MATCHED.

ELECTRICAL NOTES:

- 1. CONTRACTOR IS TO REFER TO THE ARCHITECTURAL DRAWINGS FOR THE INTENT AND FUNCTION OF THE ROOMS AND SPACES; AND THE QUANTITY AND LOCATION OF ALL LIGHTING POWER, DATA, TELEPHONE, ALARM AND SPECIAL FUNCTION DEVICES.
2. IT IS THE INTENT OF THIS PROJECT TO PROVIDE FOR THE PROPER ELECTRICAL SERVICES, WIRING AND LIGHTING FOR THE ROOMS, SPACES, EQUIPMENT AND APPLIANCES SHOWN OR REFERRED TO ON THE PLANS.
3. THE CONTRACTOR IS TO SURVEY THE EXISTING CONDITIONS AND SYSTEMS FOR THE ELECTRICAL WORK INTENDED.
4. CONTRACTOR IS TO PREPARE SHOP DRAWINGS FOR TIE-INS TO THE EXISTING ELECTRICAL SERVICE AND ALL NECESSARY WIRING, DEVICES, PANELS, ETC. FOR ALL ELECTRICAL WORK.
5. ALL STATE AND LOCAL BUILDING CODES AND ACCEPTED CONSTRUCTION PRACTICES ARE TO BE ADHERED TO CONCERNING THE INSTALLATION OF ALL ELECTRICAL WORK.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, SIGN OFFS AND ALL FEES AND COSTS RELATED TO THE ELECTRICAL WORK.
7. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, ALARM PERMITS AND ALL REQUIRED INSPECTIONS, APPROVALS AND SIGN-OFFS.

TELEPHONE AND ELECTRICAL NOTES:

- 1. NOTES ON THE OTHER DRAWINGS SHALL APPLY TO THIS SECTION OF THE WORK. THE CONTRACTOR SHALL FURNISH ALL NECESSARY LABOR, EQUIPMENT AND MATERIALS FOR THE IMPLEMENTATION OF THE INTENT OF THIS WORK.
2. CONTRACTOR IS TO REFER TO THE ARCHITECTURAL DRAWINGS FOR THE INTENT AND FUNCTION OF THE ROOMS AND SPACES; AND THE LOCATIONS OF ALL OUTLETS.
3. IT IS THE INTENT OF THIS PROJECT TO PROVIDE FOR THE PROPER ELECTRICAL SERVICE, WIRING AND LIGHTING FOR THE ROOMS, SPACES, EQUIPMENT AND APPLIANCES SHOWN OR REFERRED TO ON THE PLANS.
4. ALL STATE AND LOCAL BUILDING CODES AND ACCEPTED CONSTRUCTION PRACTICES ARE TO BE ADHERED TO CONCERNING THE INSTALLATION OF ALL ELECTRICAL WORK. ALL WORK SHALL CONFORM TO ALL APPLICABLE RULES, REGULATIONS, CODES AND ORDINANCES.
5. CONCEALED 1" EMPTY CONDUITS WITH DRAG LINES SHALL BE PROVIDED FOR USE BY TELEPHONE AND CONTRACTORS FOR NECESSARY FITTINGS AND DEVICES. SEE FURTHER NOTES ON SHEET A-3.
6. ALL NEW ELECTRICAL TELEPHONE & DATA SERVICE TO BE RECEIVED INSTALLATIONS UNLESS OTHERWISE INDICATED.
7. ALL NEW ELECTRIC TELEPHONE AND DATA OUTLETS ARE TO BE MOUNTED VERTICALLY AT A CENTER LINE AND ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED ON PLAN. ALL ELECTRICAL AND TELEPHONE MOUNTED ABOVE COUNTERS OR BACKSPLASHES ARE TO BE MOUNTED HORIZONTALLY AT THE HEIGHT SPECIFIED ON THE PLAN.
8. UNLESS OTHERWISE INDICATED ALL RECEPTACLES MOUNTED SIDE BY SIDE SHALL BE 6" FROM CENTER OF PLATES WITH POSITIONING DIMENSION CENTERED BETWEEN PLATES.
9. CONTRACTOR TO OBTAIN MANUFACTURER'S SPECS FOR INSTALLATION OF MATERIALS FOR ALL ELECTRICAL REQUIREMENTS.
10. A WARRANTY OF ONE FULL YEAR WILL BE PROVIDED FOR ALL MATERIAL AND EQUIPMENT AT NO COST TO THE PROJECT BY THE CONTRACTOR.
11. SWITCHES AND OUTLETS TO BE MANUFACTURED BY LEVITON OR EQUAL. FINISH ON ALL TO BE SATIN/BUSHED NICKEL OR CHROME-SUBMIT SAMPLE.
12. SEE ENGINEERING DRAWINGS FOR ALL OTHER NOTES.

REFLECTED CEILING NOTES:

- 1. NOTES ON OTHER DRAWINGS SHALL APPLY TO THIS SECTION OF THE WORK. THE CONTRACTOR SHALL FURNISH ALL NECESSARY LABOR, EQUIPMENT AND MATERIALS FOR THE IMPLEMENTATION OF THE INTENT OF THIS WORK.
2. ALL WORK SHALL CONFORM TO ALL APPLICABLE RULES, REGULATIONS, CODES AND ORDINANCES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND SIGN OFFS AND SHALL PAY ALL ASSESSMENTS, FEES AND FINES.
4. THE CONTRACTOR SHALL PROVIDE CIRCUITS AS REQUIRED TO ADEQUATELY HANDLE ALL LIGHTING FIXTURES AS SHOWN ON DRAWINGS.
5. THE CONTRACTOR SHALL DETERMINE THE EXACT ROUTINGS OF ALL LIGHTING CONDUITS WITHIN THE SPACE.
6. ALL LIGHTING FIXTURES AND DEVICES SHALL BE AS DESCRIBED ON FIXTURE SCHEDULE AND MOUNTED AS SHOWN ON DRAWINGS.
7. ALL FEED CONDUITS SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
8. ALL REFLECTED CEILING HEIGHTS ARE NOTED ON REFLECTED CEILING PLAN.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF DIRECT RUNS AND DIFFUSERS AND REGISTERS BY MEANS OF SHOP DRAWINGS, ALL LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS FOR INTENT.
10. ALL LIGHT SWITCHES, BUZZERS AND SIMILAR DEVICES TO BE MOUNTED AT 36" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED. WHERE POSSIBLE OR PRACTICAL SWITCHES ARE TO BE GROUPED BEHIND A SINGLE PLATE.
11. CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY FOR ALL MATERIAL AND EQUIPMENT AT NO ADDITIONAL COST TO PROJECT.
12. ONE SET OF REPRODUCIBLE "AS BUILT" DRAWINGS ARE TO BE PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT.

REVISION
NO. DATE
ISSUED FOR CONSTRUCTION
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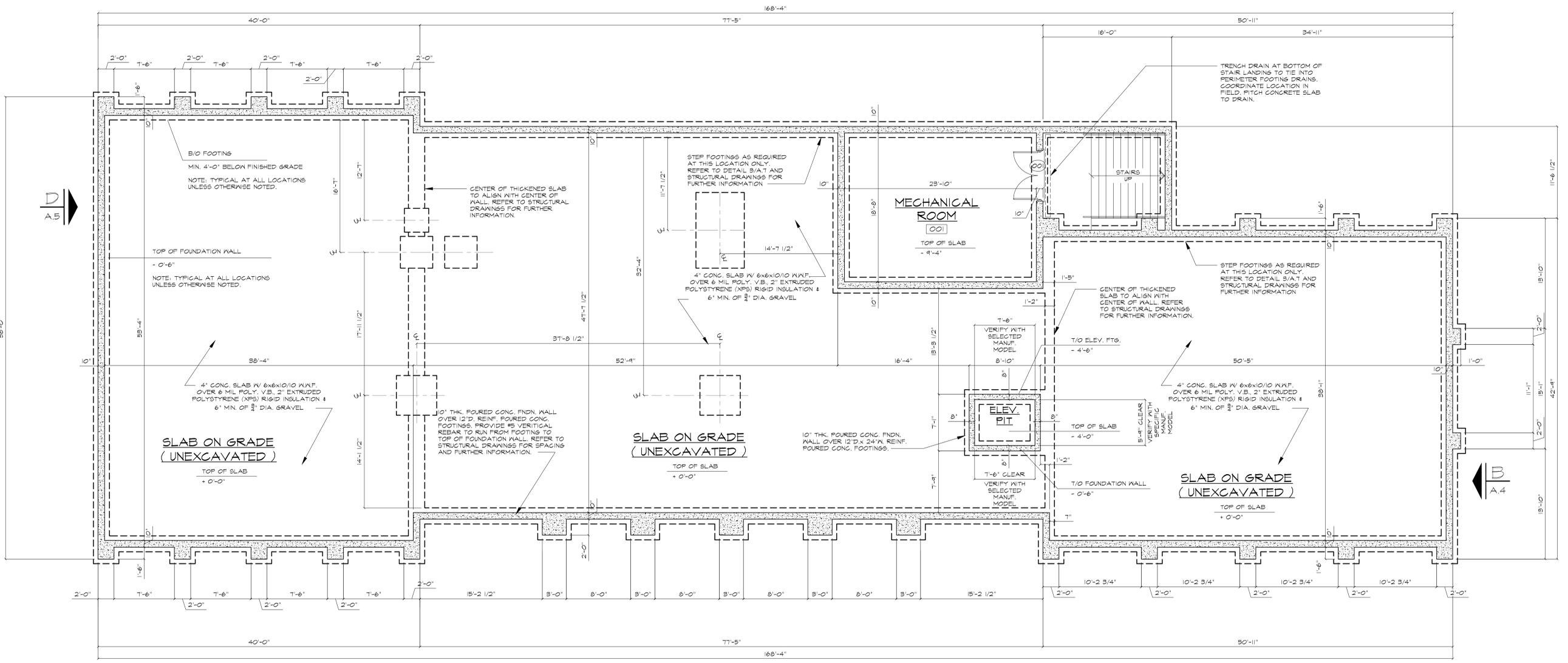
DATE: 11.09.11
DRAWN BY:
CHKD BY:
SCALE: AS NOTED

DRAWING TITLE
SPECIFICATION SHEET
PROJECT No.
DRAWING NUMBER
SHEET 2 OF 15

FOUNDATION NOTES

GENERAL NOTES			
1.	IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, CONTRACTOR SHALL REFER TO STAMPED AND SEALED STRUCTURAL DRAWINGS REVISION DATED 1/16/17 ISSUED FOR CONSTRUCTION AS PREPARED BY STRUCTURAL CONSULTING SERVICES, P.C.		
2.	CONTRACTOR SHALL COORDINATE AND INSTALL TEMPORARY EMERGENCY LIGHTING WITHIN ALL SHELL SPACE IN ACCORDANCE WITH ALL LOCAL AND STATE REQUIREMENT.		

1. FOOTING AND FOUNDATION DESIGN IS BASED ON A MINIMUM BEARING CAPACITY OF 3500 PSF @ 28 DAYS AND SHALL CONTAIN 6% ± 1% ENTRAINED AIR. CEMENT SHALL BE TYPE I OR II FOR EXTERIOR ONLY. ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL OF AT LEAST THAT VALUE. VERIFY SOIL BEARING CAPACITY IN FIELD.
2. BACKFILL SHALL BE COMPACTED AT ITS OPTIMUM MOISTURE CONTENT TO AT LEAST 95% OF MAXIMUM DRY DENSITY AND PLACED IN 6" LIFTS.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS IN FIELD AND SHALL NOTIFY ARCHITECT OF RECORD OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ELECTRICAL, MECHANICAL, PLUMBING AND FIRE DETECTION SYSTEM DRAWINGS BY OWNER AND GENERAL CONTRACTOR.
5. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
6. REINFORCING STEEL SHALL CONFORM TO ASTM A615.
7. IN THE EVENT THAT ROCK IS ENCOUNTERED IN FIELD ABOVE FOOTING DEPTHS, THE FOLLOWING NOTES SHALL APPLY:
 - A. FOUNDATION WALLS, PIERS AND COLUMNS TO BEAR DIRECTLY ON ROCK AS INDICATED ON THESE PLANS OR AS DIRECTED IN THE FIELD BY ARCHITECT OF RECORD.
 - B. ALL FOOTINGS TO BE PINNED TO ROCK LEDGE WITH #6 REBAR 4'-0" LONG, 18" O.C. MIN. IN EPOXY GROUT. REBAR TO BE SET 12" MIN. INTO ROCK.
 - C. ALL ROCK BELOW POURED CONCRETE SLAB MUST BE LOWERED TO A MIN. OF 1'-0" BELOW SLAB.
8. FOUR SEQUENCE:
 - A. ALL FOUNDATION WALLS ARE TO BE POURED DIRECTLY ONTO FOOTINGS NO SOONER THAN 7 DAYS AFTER FOOTINGS HAVE BEEN INSTALLED.
 - B. EXTERIOR AND INTERIOR BEARING WALLS ARE NOT TO BE CONSTRUCTED AND INSTALLED ON TOP OF FOUNDATION WALLS NO SOONER THAN 14 DAYS AFTER SUCH WALLS HAVE BEEN POURED.
 - C. FOUNDATION WALLS ARE NOT DESIGNED AS RETAINING WALLS.
 - D. BACKFILL SHALL BE COMPACTED AT ITS OPTIMUM MOISTURE CONTENT TO AT LEAST 95% OF MAXIMUM DRY DENSITY AND PLACED IN 6" LIFTS.
 - E. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.



FOOTING and FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

* NOTE:
GENERAL CONTRACTOR TO VERIFY EXTERIOR TOP OF SLAB AND PORCH FOUNDATION WALL HEIGHTS BASED ON FINISHED MATERIAL AS SELECTED BY OWNER PRIOR TO CONSTRUCTION. PROVIDE A MAXIMUM 1/2" RAISE BETWEEN THE INSIDE FINISH FLOOR AND TOP OF FINISHED MATERIAL AT EXTERIOR PORCH. TOP OF PORCH FOUNDATION TO BE ADJUSTED ACCORDINGLY.

NO.	DATE	REVISION
1	12/09/17	ISSUED FOR CONSTRUCTION
2	01/01/18	REV. PER FIELD CONDITIONS

D.C. ENGINEERING, P.C.
OFFICE: 3 MEMORIAL AVE.
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PHONE: (845) 895-2000
FAX: (845) 895-2000
EMAIL: JOELEN@DCENG.COM

PROJECT NAME
LYONS DEVELOPMENT, LTD
ONE STARR RIDGE ROAD
1 STARR RIDGE ROAD TOWN OF SOUTHEAST NEW YORK 10504

DATE: 11/09/17
DRAWN BY:
CHKD BY:
SCALE: AS NOTED

DRAWING TITLE
FOOTING and FOUNDATION PLAN

PROJECT No. _____
DRAWING NUMBER
A.O.
SHEET 3 OF 15

GENERAL NOTES

1. IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, CONTRACTOR SHALL REFER TO STAMPED AND SEALED STRUCTURAL DRAWINGS REVISION DATED 11/06/17 ISSUED FOR CONSTRUCTION AS PREPARED BY STRUCTURAL CONSULTING SERVICES, P.C.
2. CONTRACTOR SHALL COORDINATE AND INSTALL TEMPORARY EMERGENCY LIGHTING WITHIN ALL SHELL SPACE IN ACCORDANCE WITH ALL LOCAL AND STATE REQUIREMENT.

NO	DATE	REVISION
1	12/08/17	ISSUED FOR CONSTRUCTION
2	01/12/18	REV. PER FIELD CONDITIONS

D.C. ENGINEERING, P.C.
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 FAX: (845) 885-2000
 EMAIL: JOEL@DCENG.COM

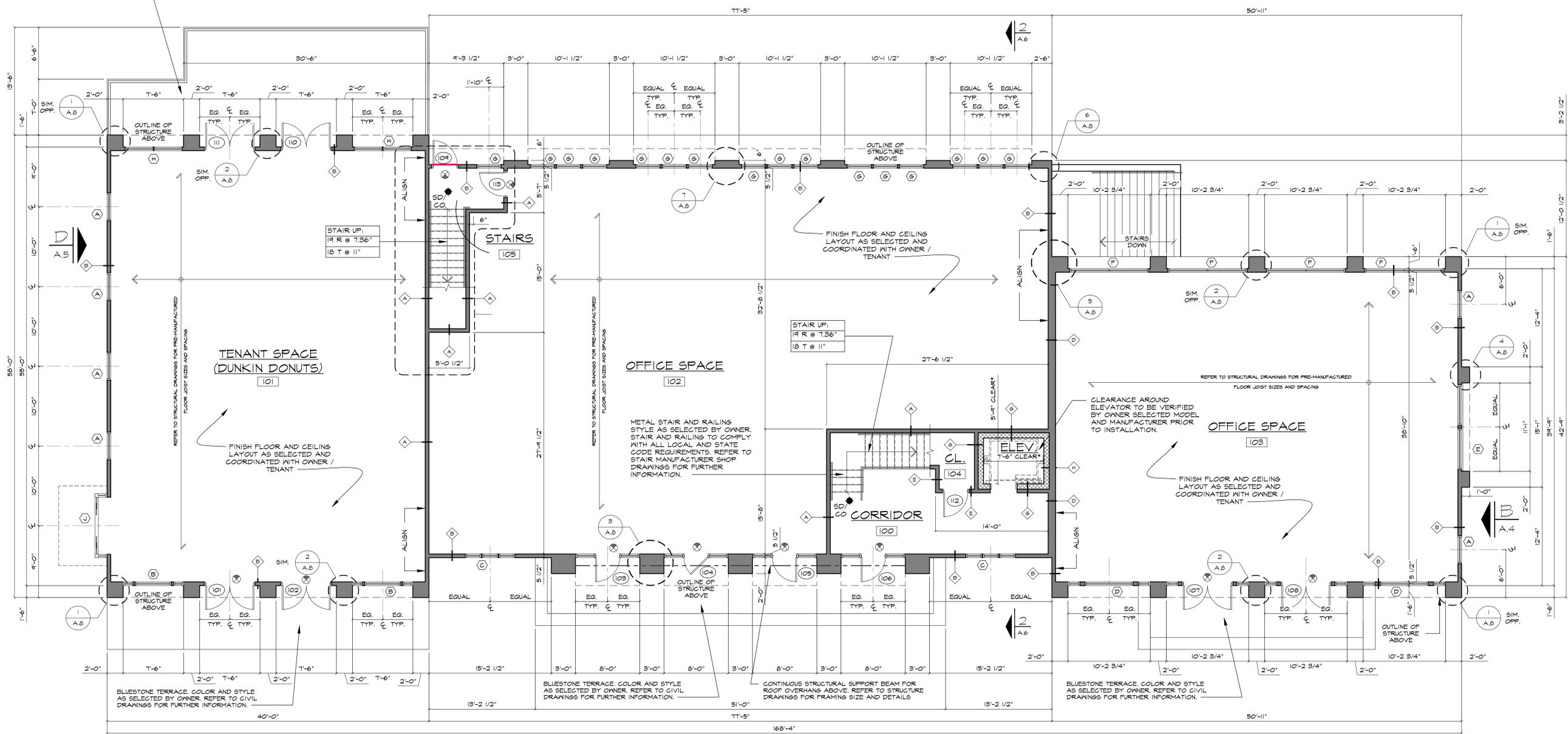
PROJECT NAME
LYONS DEVELOPMENT, LTD
ONE STARR RIDGE ROAD
 TOWN OF SOUTHEAST NEW YORK 10504

DATE: 11.09.17
 DRAWN BY:
 CHKD BY:
 SCALE: AS NOTED

DRAWING TITLE
FIRST FLOOR PLAN

PROJECT No.
 DRAWING NUMBER
A.1
 SHEET 4 OF 15

FOLISHED CONCRETE TERRACE. REFER TO CIVIL DRAWINGS FOR FURTHER INFORMATION.



FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, CONTRACTOR SHALL REFER TO STAMPED AND SEALED STRUCTURAL DRAWINGS REVISION DATED 11/06/17 ISSUED FOR CONSTRUCTION AS PREPARED BY STRUCTURAL CONSULTING SERVICES, P.C.
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NO	DATE	REVISION
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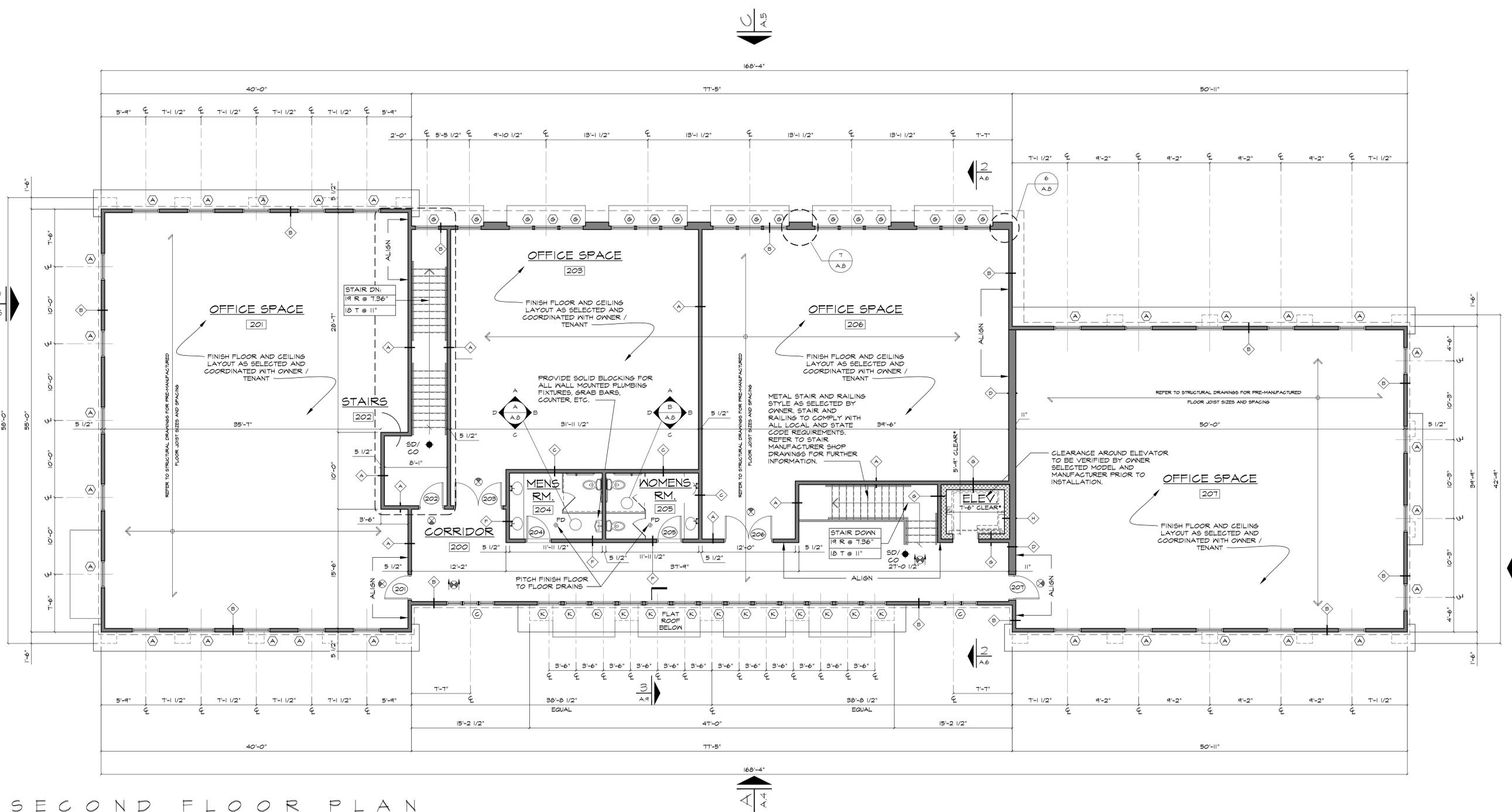
D.C. ENGINEERING, P.C.
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 EMAIL: JOEL@DCEPCON.COM

PROJECT NAME
LYONS DEVELOPMENT, LTD
ONE STARR RIDGE ROAD
 TOWN OF SOUTHEAST NEW YORK 10504

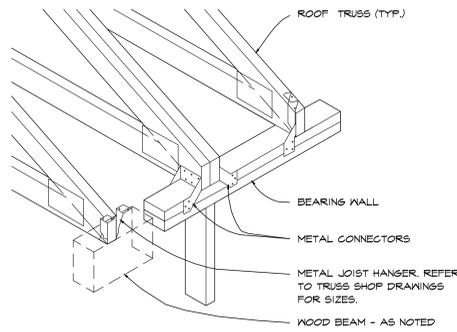
DATE: 11.09.17
 DRAWN BY:
 CHKD BY:
 SCALE: AS NOTED

DRAWING TITLE
SECOND FLOOR PLAN

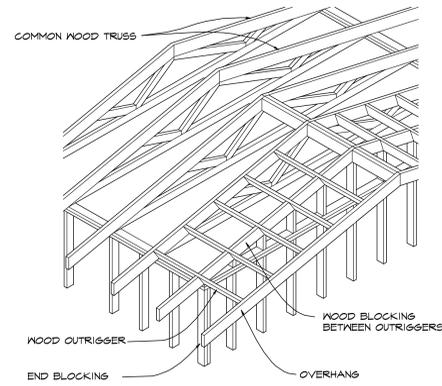
PROJECT No.
 DRAWING NUMBER
A.2
 SHEET 5 OF 15



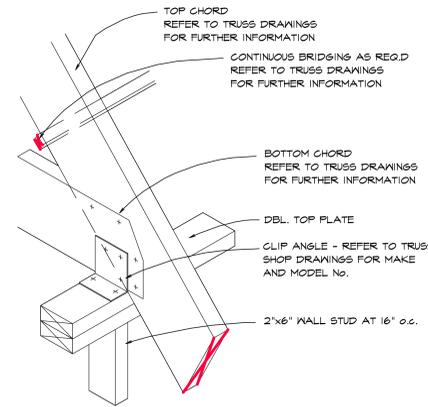
SECOND FLOOR PLAN
 SCALE: 3/16" = 1'-0"



1 TYP. END BEARING ROOF TRUSS DETAIL
A.3 SCALE: NOT TO SCALE



2 TYP. GABLE ROOF TRUSS OVERHANG DETL.
A.3 SCALE: NOT TO SCALE



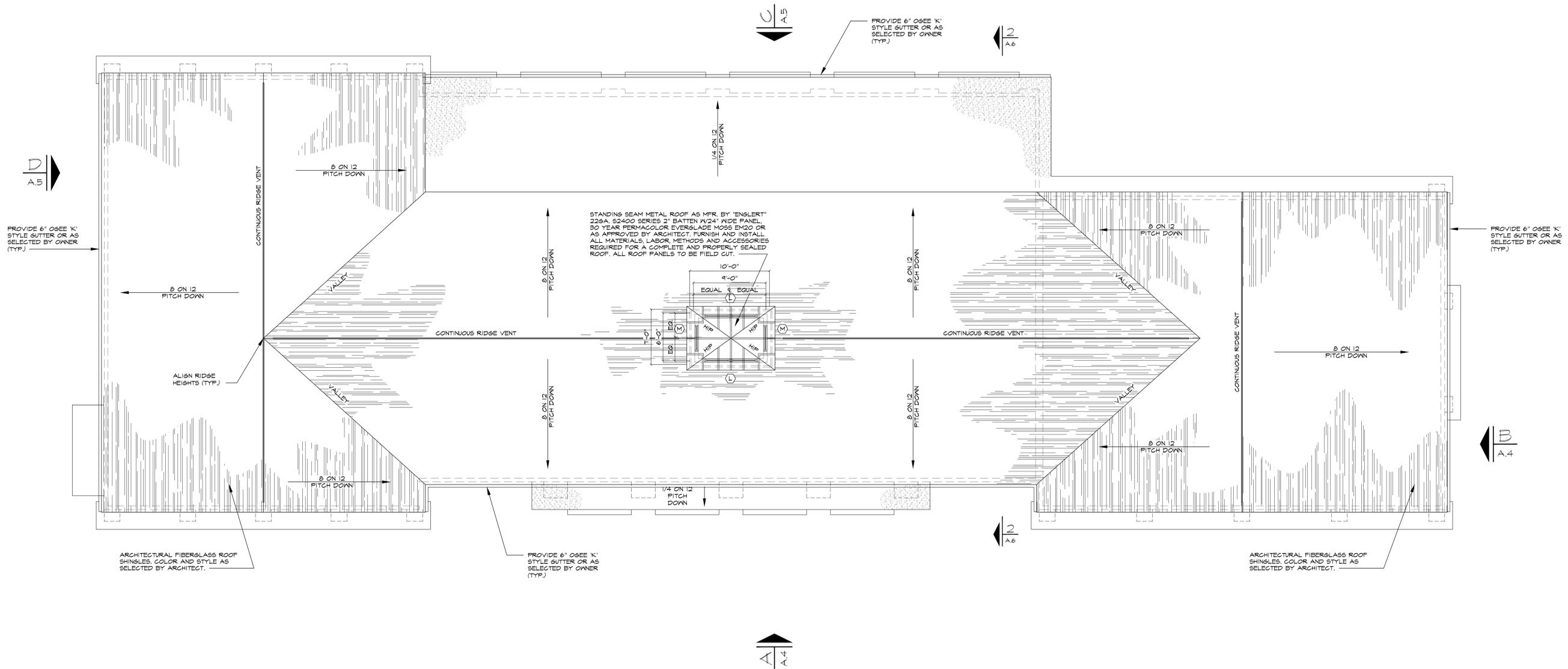
3 TYP. ROOF TRUSS EAVE DETAIL
A.3 SCALE: NOT TO SCALE

TRUSS NOTE: 1. REFER TO SELECTED TRUSS MANUFACTURE FINAL TRUSS DRAWINGS AND CALCULATIONS FOR FURTHER INFORMATION. TRUSS MANUFACTURE DRAWINGS ARE TO BE STAMPED BY A LICENSED PROFESSIONAL IN THE STATE OF NEW YORK FOR THE TOWN OF SOUTHEAST BUILDING DEPARTMENT APPROVAL. THIS IS NOT PART OF ARCHITECTS SERVICE. FINAL TRUSS DESIGN SHALL COMPLY WITH THE LATEST EDITION OF THE NEW YORK STATE BUILDING CODE AS WELL AS ANY ADDITIONAL APPLICABLE CODE REQUIREMENTS SET FORTH BY THE TOWN OF SOUTHEAST BUILDING DEPARTMENT.
2. REFER TO STRUCTURAL DRAWINGS FOR DESIGN CRITERIA.

GENERAL NOTES

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JOHN A. KALIN, P.E.
NY'S LIC. NO. 0719004



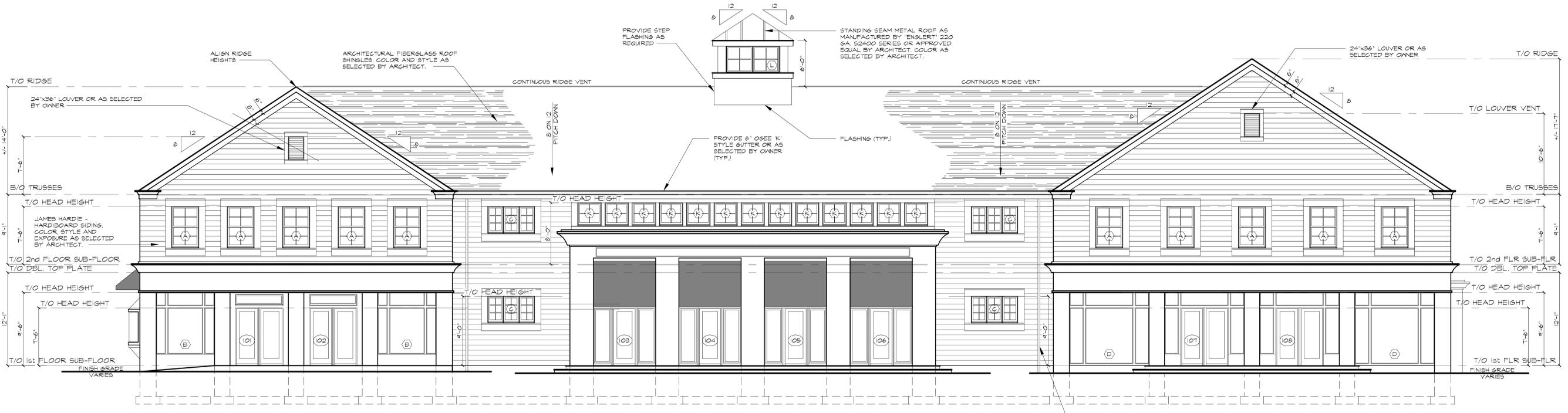
ROOF PLAN
SCALE: 3/16" = 1'-0"

PROJECT NAME
LYONS DEVELOPMENT, LTD
ONE STARR RIDGE ROAD
1 STARR RIDGE ROAD TOWN OF SOUTHEAST NEW YORK 10504

DATE: 11.09.17
DRAWN BY:
CHKD BY:
SCALE: AS NOTED

DRAWING TITLE
ROOF PLAN
and DETAILS

PROJECT No.
DRAWING NUMBER
A.3
SHEET 6 OF 15



A FRONT ELEVATION

A.4 SCALE: 3/16" = 1'-0"



B BRIGHT SIDE ELEVATION

A.4 SCALE: 3/16" = 1'-0"

GENERAL NOTES

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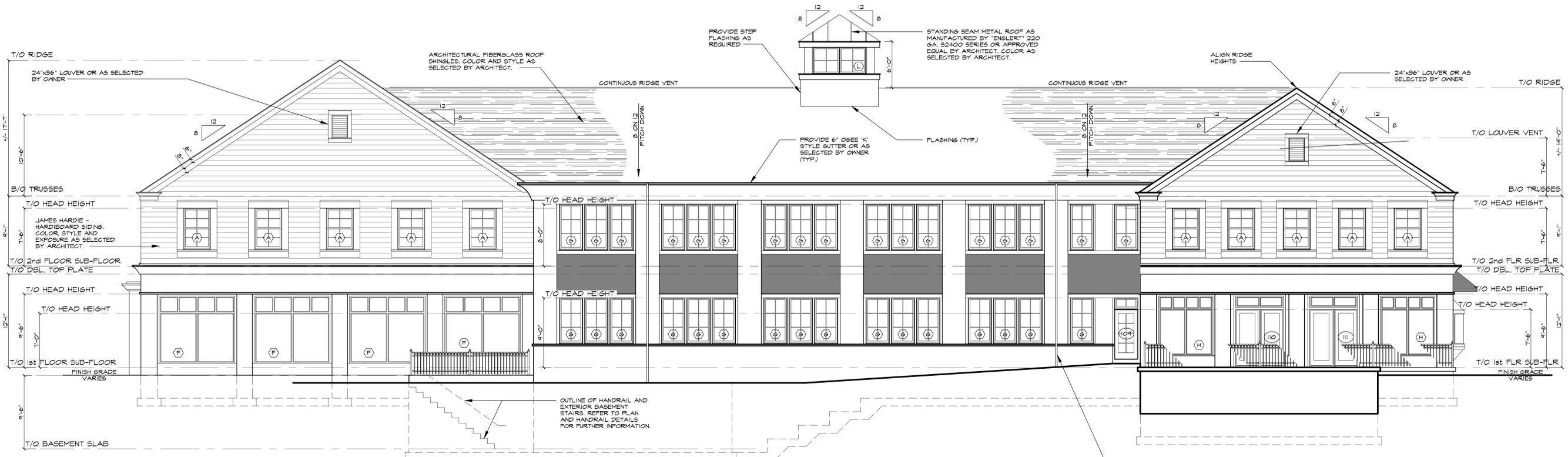
JOHN A. KALIN, P.E.
 NYS LIC. NO. 019004

PROJECT NAME
LYONS DEVELOPMENT, LTD
ONE STARR RIDGE ROAD
 1 STARR RIDGE ROAD TOWN OF SOUTHEAST NEW YORK 10504

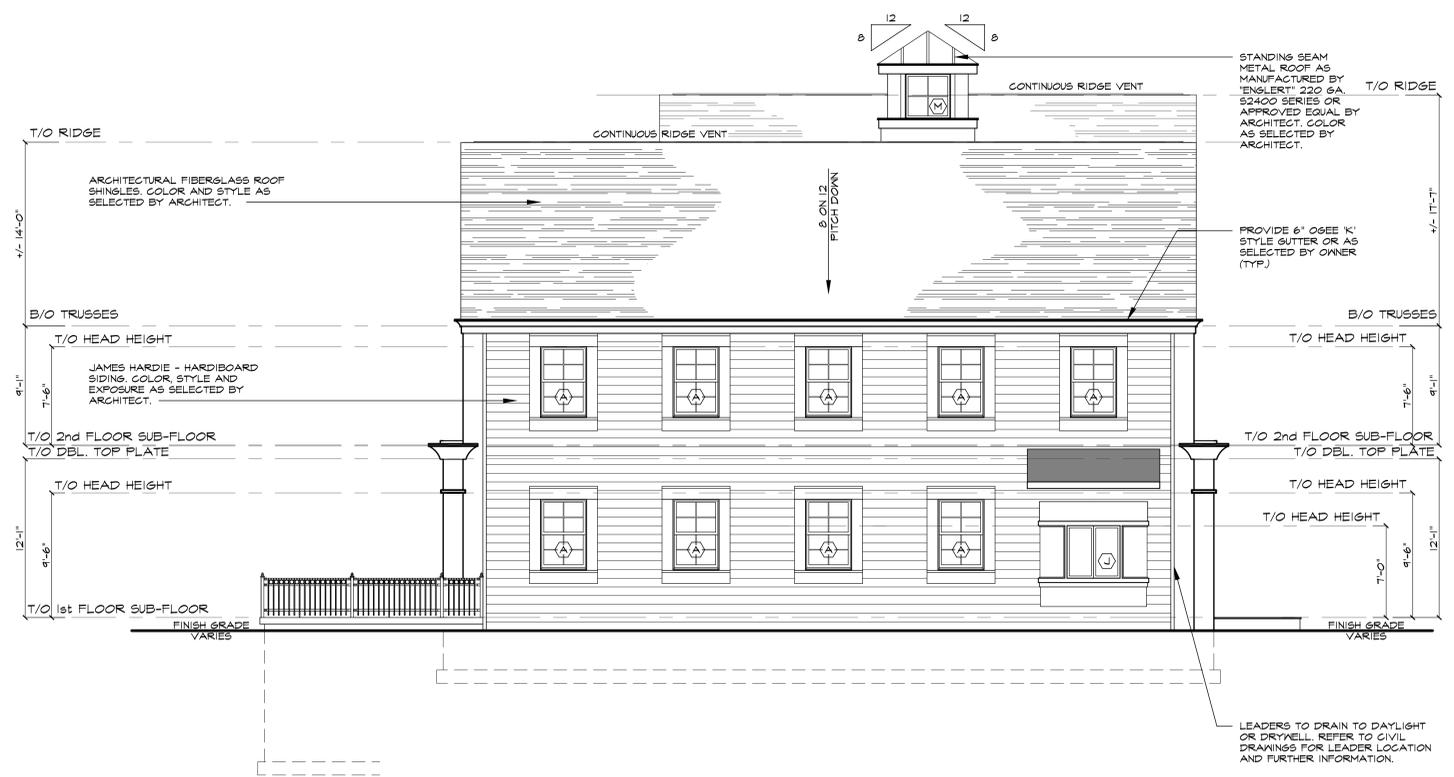
DATE: 11.09.17
 DRAN BY:
 CHD BY:
 SCALE: AS NOTED

DRAWING TITLE
 FRONT ELEVATION
 and
 RIGHT ELEVATION

PROJECT No.
 DRAWING NUMBER
A.4
 SHEET 11 OF 15



C REAR ELEVATION
A.5 SCALE: 3/16" = 1'-0"



D LEFT SIDE ELEVATION
A.5 SCALE: 3/16" = 1'-0"

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PAULING, NY 12564
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JOHN A. KALIN, P.E.
NTS LIC. NO. 0710024

PROJECT NAME
LYONS DEVELOPMENT, LTD
ONE STARR RIDGE ROAD
1 STARR RIDGE ROAD TOWN OF SOUTHEAST NEW YORK 10504

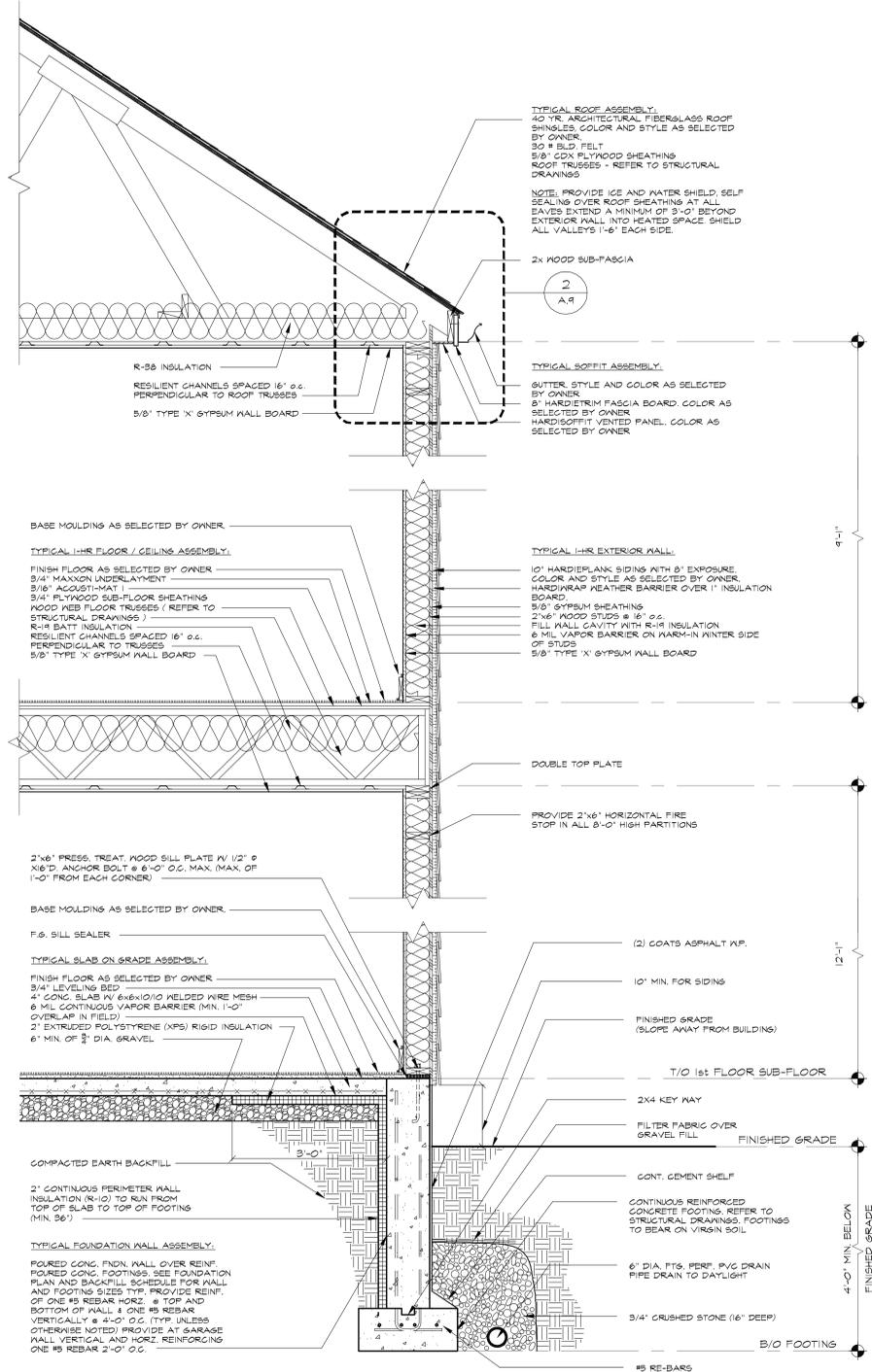
DATE: 11.09.17
DRAN BY:
CHKD BY:
SCALE: AS NOTED

DRAWING TITLE
REAR ELEVATION
and
LEFT ELEVATION

PROJECT No.
DRAWING NUMBER
A.5
SHEET 2 OF 15

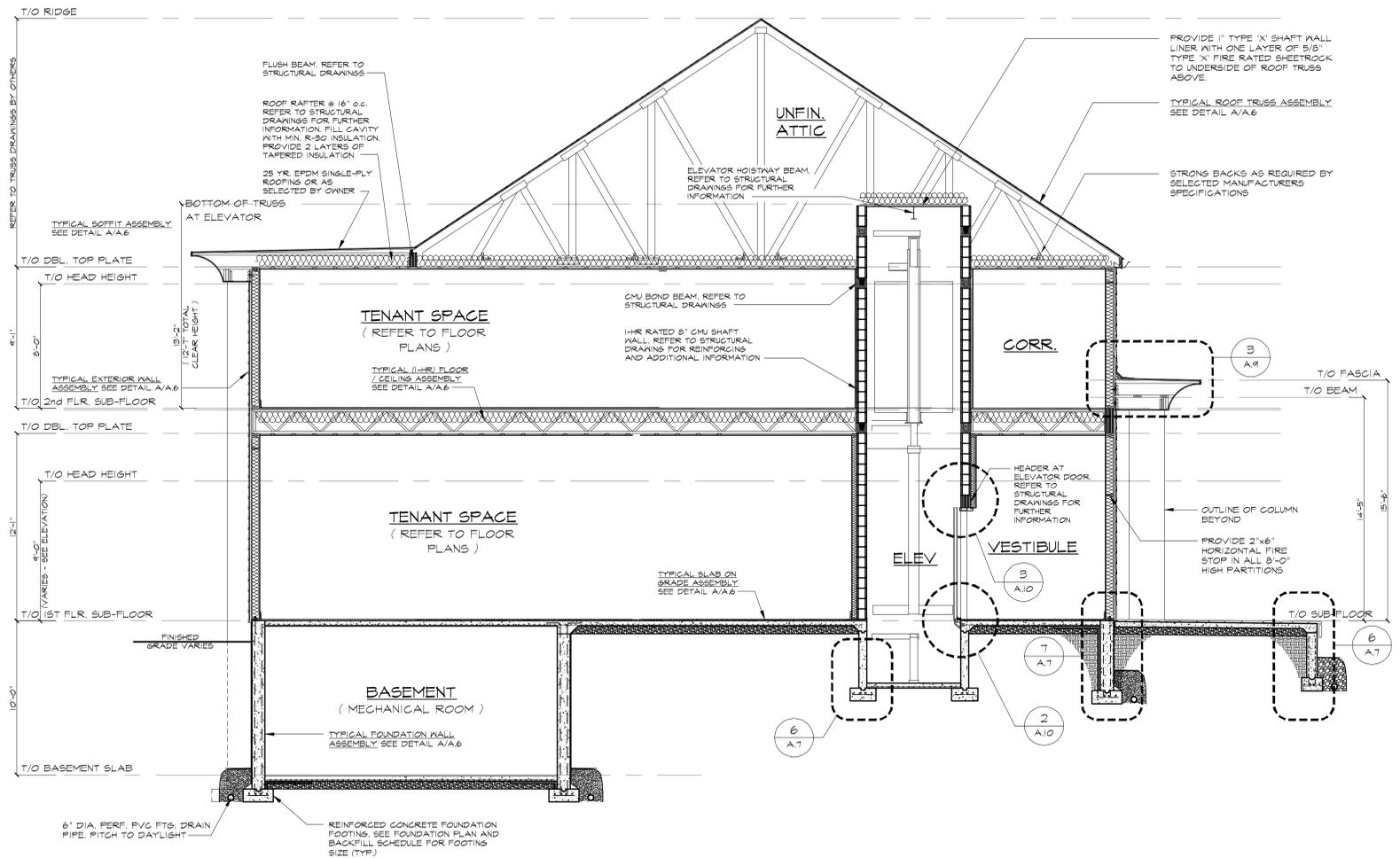
GENERAL NOTES

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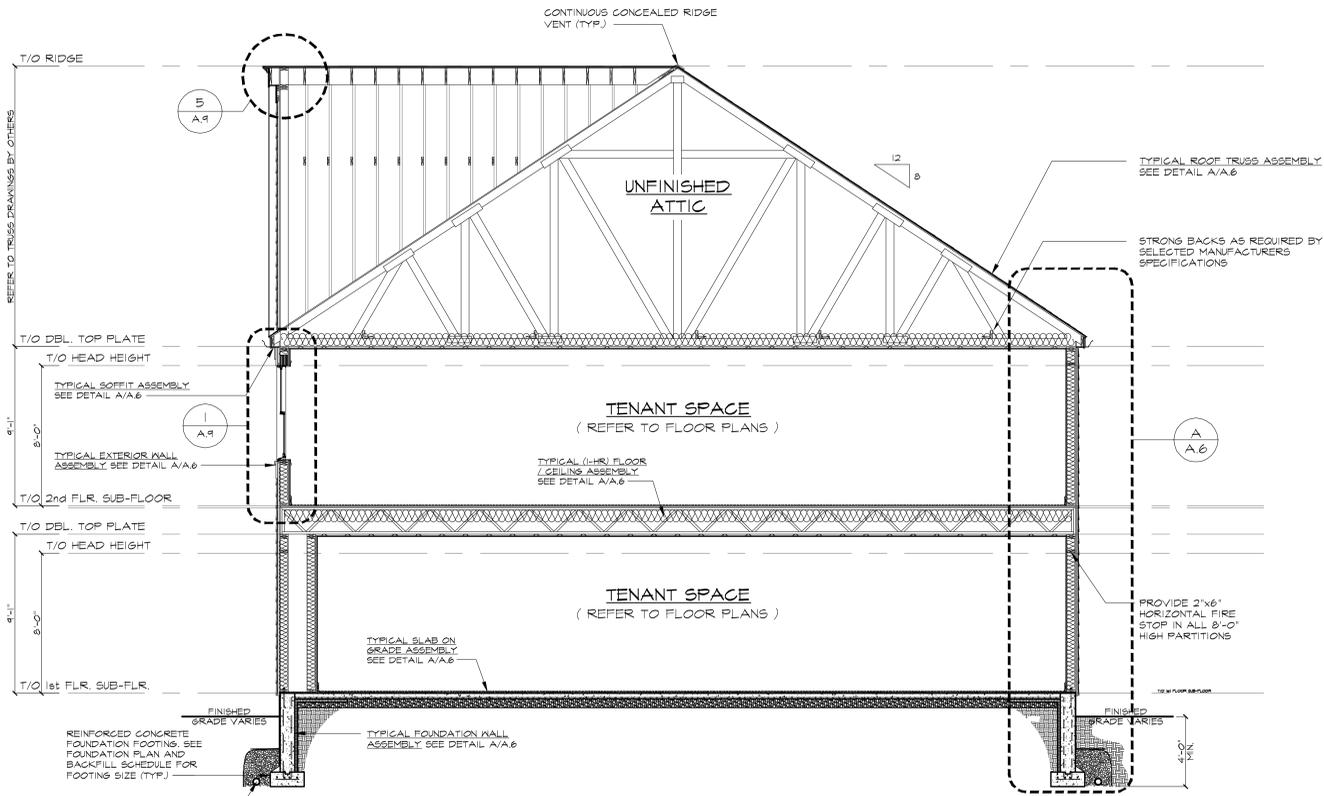
WALL SECTION

SCALE: 3/4" = 1'-0"



CROSS SECTION

SCALE: 1/4" = 1'-0"



TYPICAL CROSS SECTION

SCALE: 1/4" = 1'-0"



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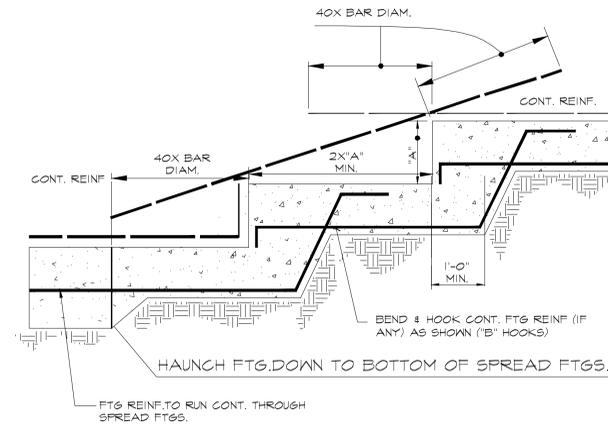
PROJECT NAME:
LYONS DEVELOPMENT, LTD
ONE STARR RIDGE ROAD
 1 STARR RIDGE ROAD TOWN OF SOUTHEAST NEW YORK 10504

DATE: 11/09/17
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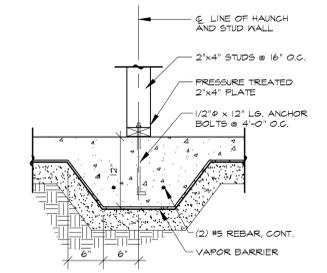
DRAWING TITLE:
SECTIONS

PROJECT No.:
 DRAWING NUMBER:
A.6
 SHEET 9 OF 15

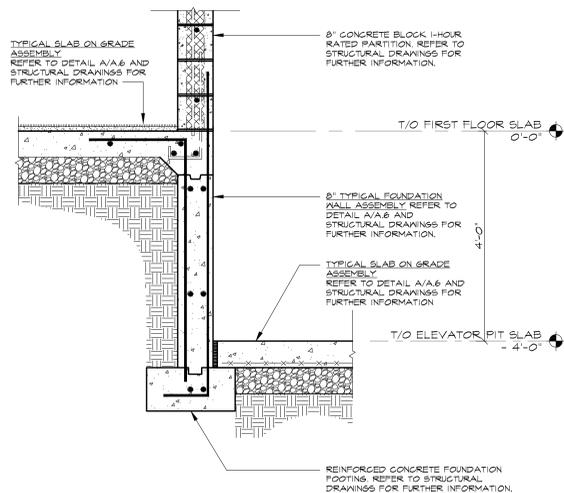
JOHN A. KALIN, P.E.
 NYS LIC. NO. 0719024



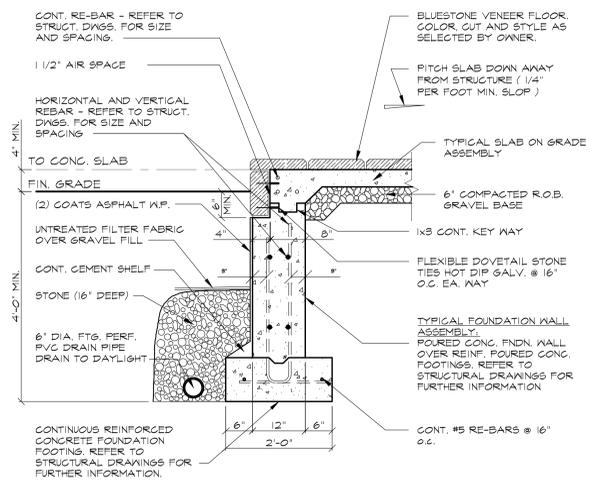
3 STEP FOOTING DETAIL
A.7 SCALE: NTS



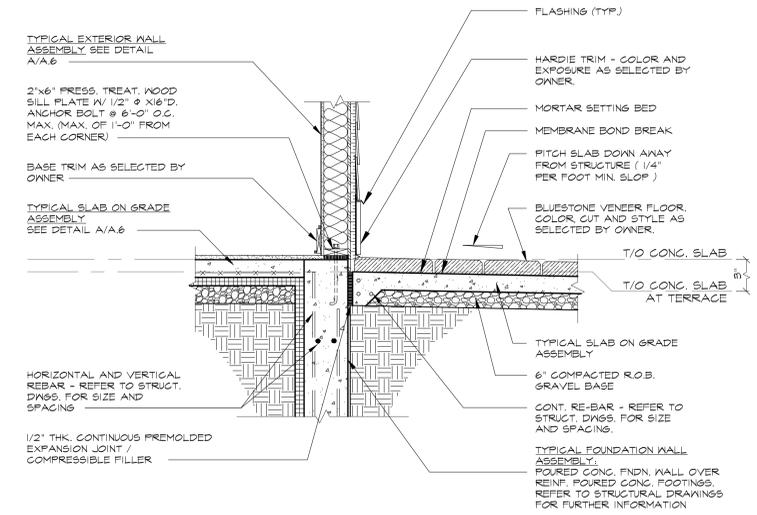
4 HAUNCH DETAIL
A.7 SCALE: 1" = 1'-0"



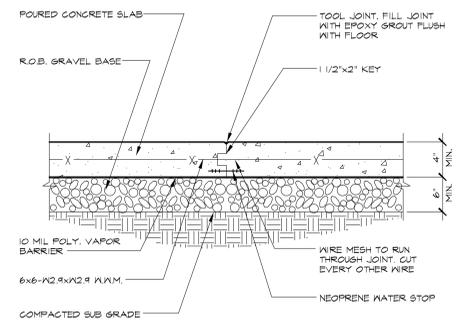
5 FOUNDATION WALL AT ELEVATOR PIT
A.7 SCALE: 3/4" = 1'-0"



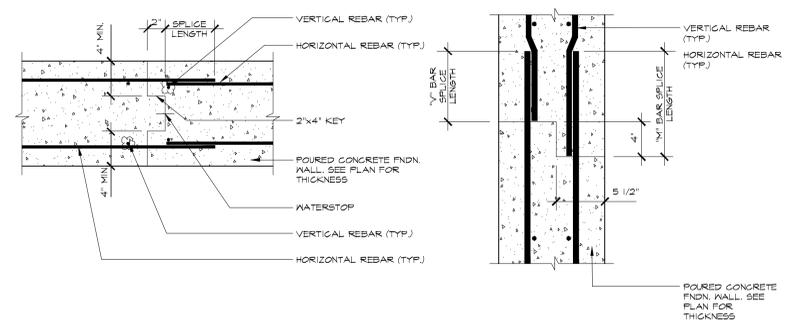
6 FOUNDATION DETAIL AT TERRACE
A.7 SCALE: 3/4" = 1'-0"



7 FOUNDATION DETAIL AT TERRACE
A.7 SCALE: 3/4" = 1'-0"



8 SLAB CONSTR. JOINT
A.7 SCALE: 1" = 1'-0"



9 WALL CONSTRUCTION JOINT
A.7 SCALE: 1 1/2" = 1'-0"

GENERAL NOTES

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NYS LIC. NO. 071904

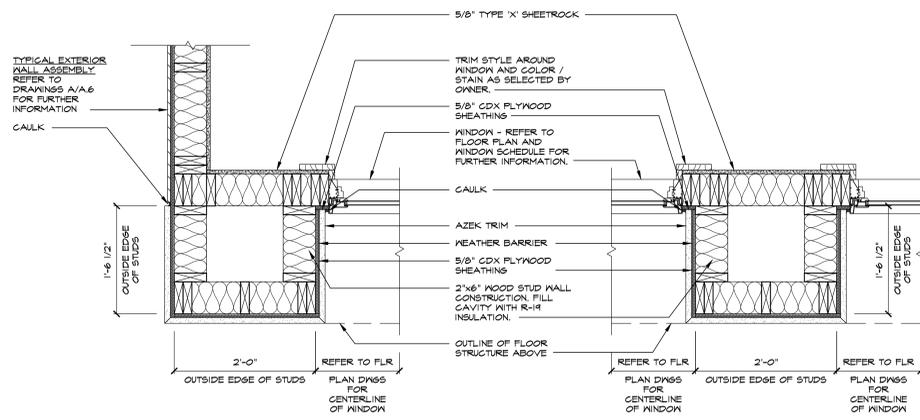
PROJECT NAME
LYONS DEVELOPMENT, LTD
ONE STARR RIDGE ROAD
1 STARR RIDGE ROAD TOWN OF SOUTHEAST NEW YORK 10504

DATE: 11/09/17
DRAWN BY:
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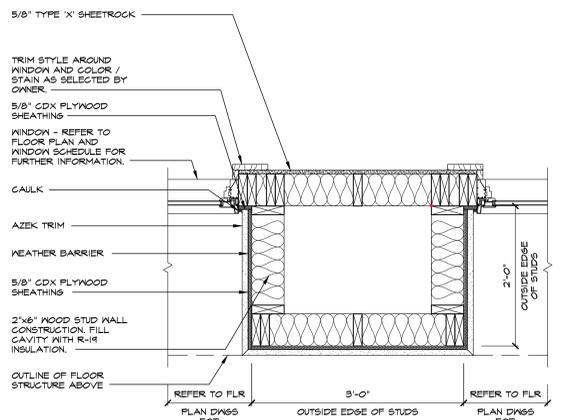
DRAWING TITLE
ENLARGED FOUNDATION PLANS AND DETAILS

PROJECT No.
DRAWING NUMBER

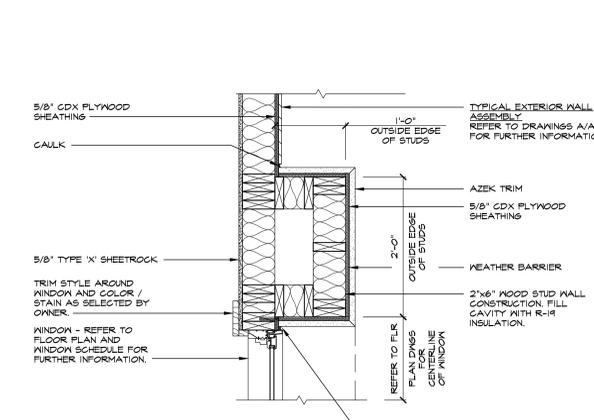
A.7
SHEET 10. OF 15



1 ENLARGED PLAN AT END COLUMN
A.8 SCALE: 1/2"=1'-0"



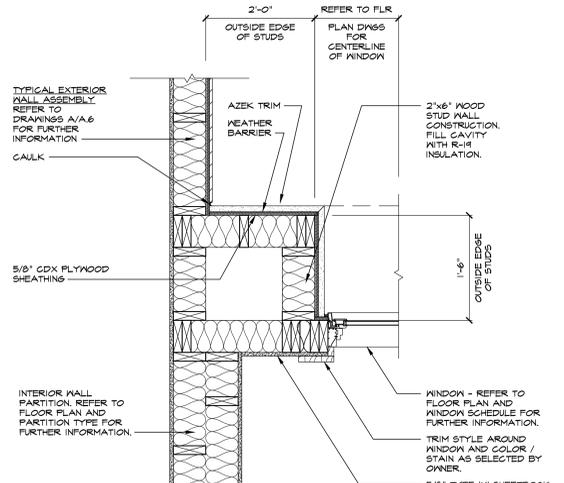
2 ENLARGED PLAN AT MIDDLE COLUMN
A.8 SCALE: 1/2"=1'-0"



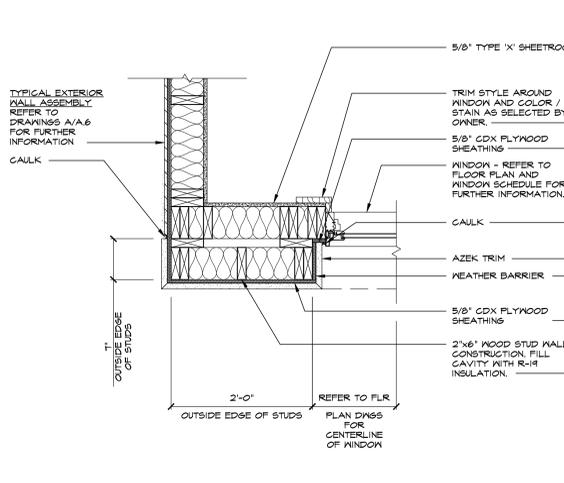
3 ENLARGED PLAN AT MIDDLE COLUMN
A.8 SCALE: 1/2"=1'-0"

GENERAL NOTES

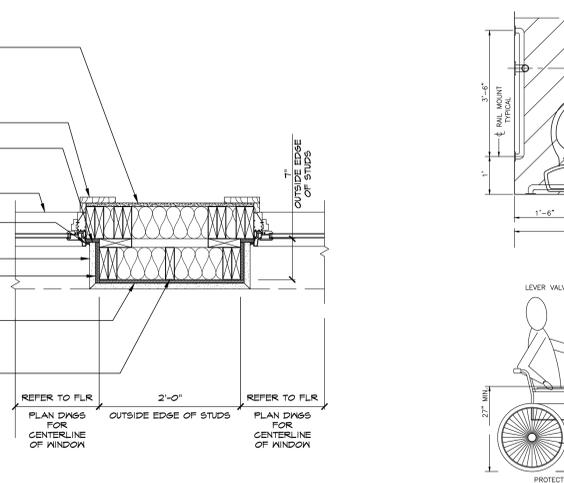
1. IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, CONTRACTOR SHALL REFER TO STAMPED AND SEALED STRUCTURAL DRAWINGS REVISION DATED 11/06/17 ISSUED FOR CONSTRUCTION AS PREPARED BY STRUCTURAL CONSULTING SERVICES, P.C.



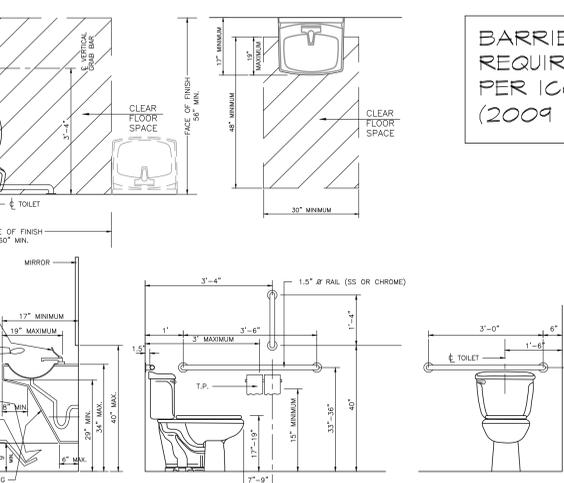
4 ENLARGED PLAN AT CORNER COLUMN
A.8 SCALE: 1/2"=1'-0"



5 ENLARGED PLAN AT END COLUMN
A.8 SCALE: 1/2"=1'-0"

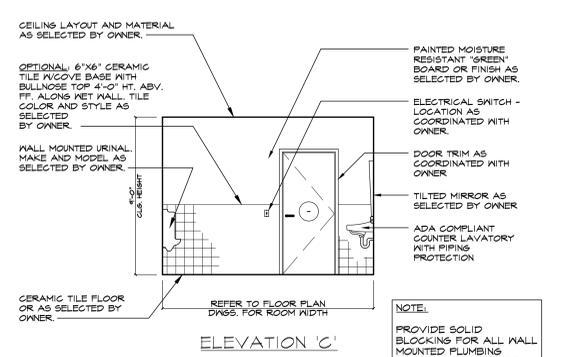
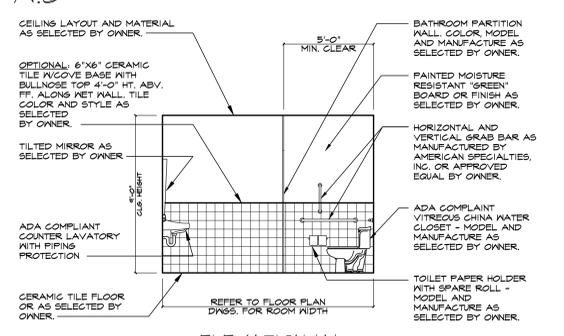


6 ENLARGED PLAN AT MIDDLE COLUMN
A.8 SCALE: 1/2"=1'-0"

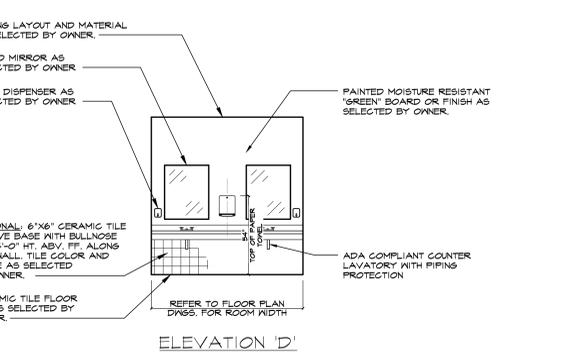
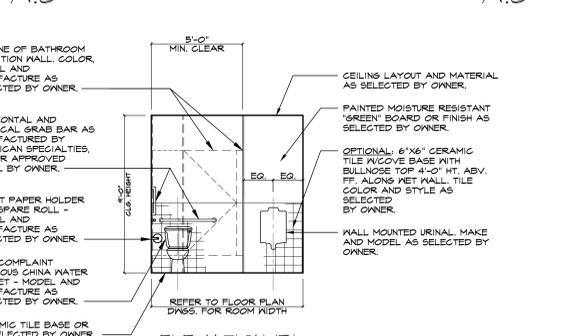


7 ENLARGED PLAN AT MIDDLE COLUMN
A.8 SCALE: 1/2"=1'-0"

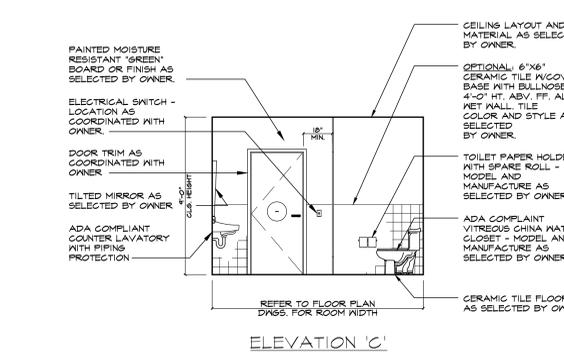
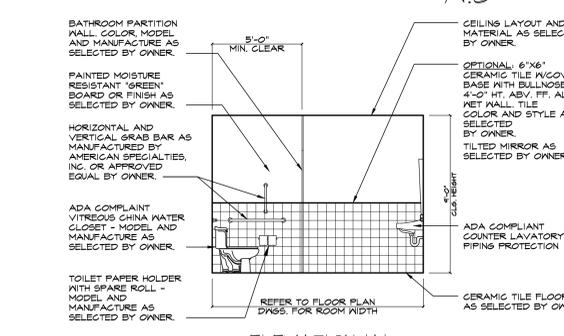
BARRIER FREE REQUIREMENTS PER ICC/ANSI A117.1 (2009 EDITION)



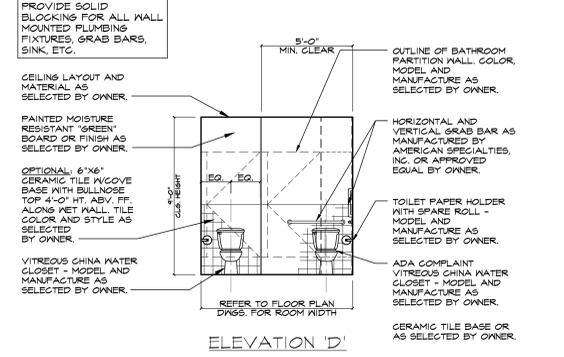
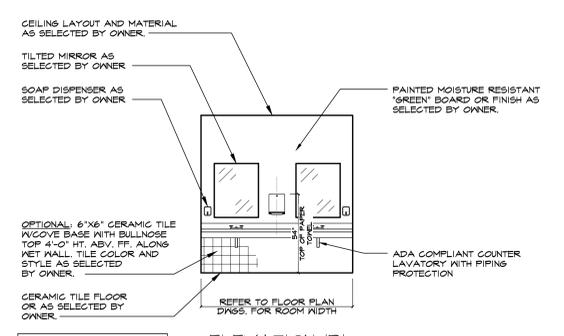
A MEN'S ROOM INTERIOR ELEVATION
A.8 SCALE: 1/4"=1'-0"



B WOMEN'S ROOM INTERIOR ELEVATION
A.8 SCALE: 1/4"=1'-0"



C HANDICAPPED TOILET ROOM INFORMATION
A.8 N.T.S.



D HANDICAPPED TOILET ROOM INFORMATION
A.8 N.T.S.

REVISION	DATE	ISSUED FOR CONSTRUCTION
1	12/08/17	

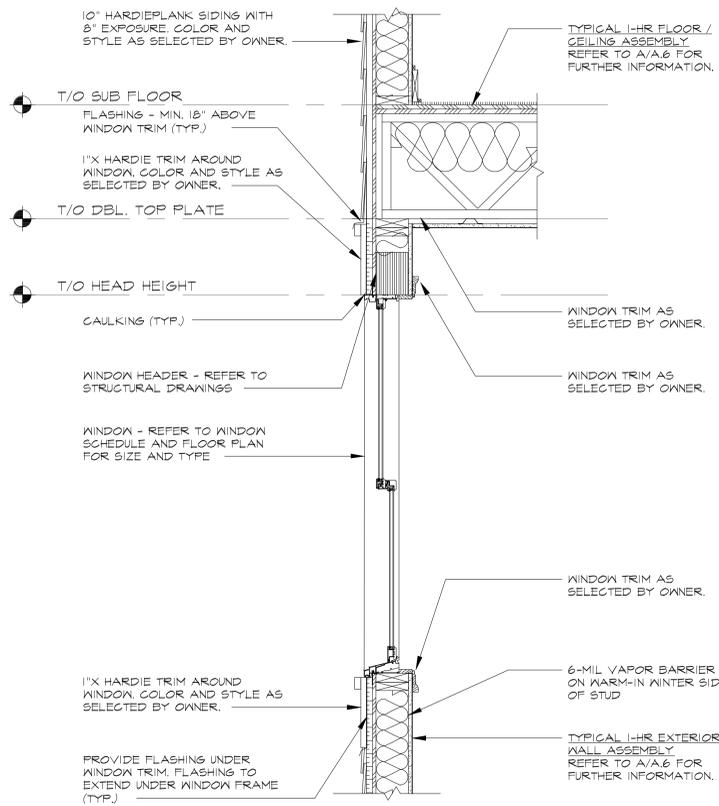
D.C. ENGINEERING, P.C.
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PROJECT NAME
LYONS DEVELOPMENT, LTD
ONE STARR RIDGE ROAD
TOWN OF SOUTHEAST NEW YORK 10504

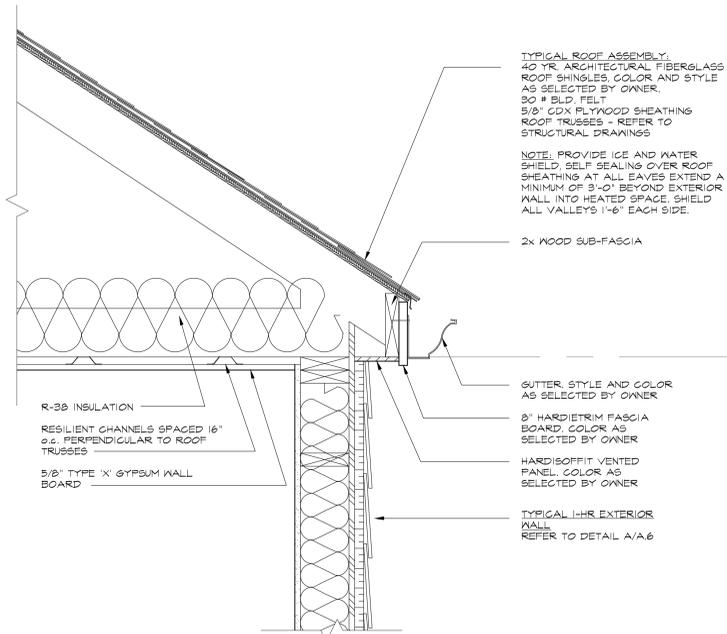
DATE: 11.09.17
DRAWN BY:
CHKD BY:
SCALE: AS NOTED

DRAWING TITLE
ENLARGED PLANS and INTERIOR ELEVATIONS

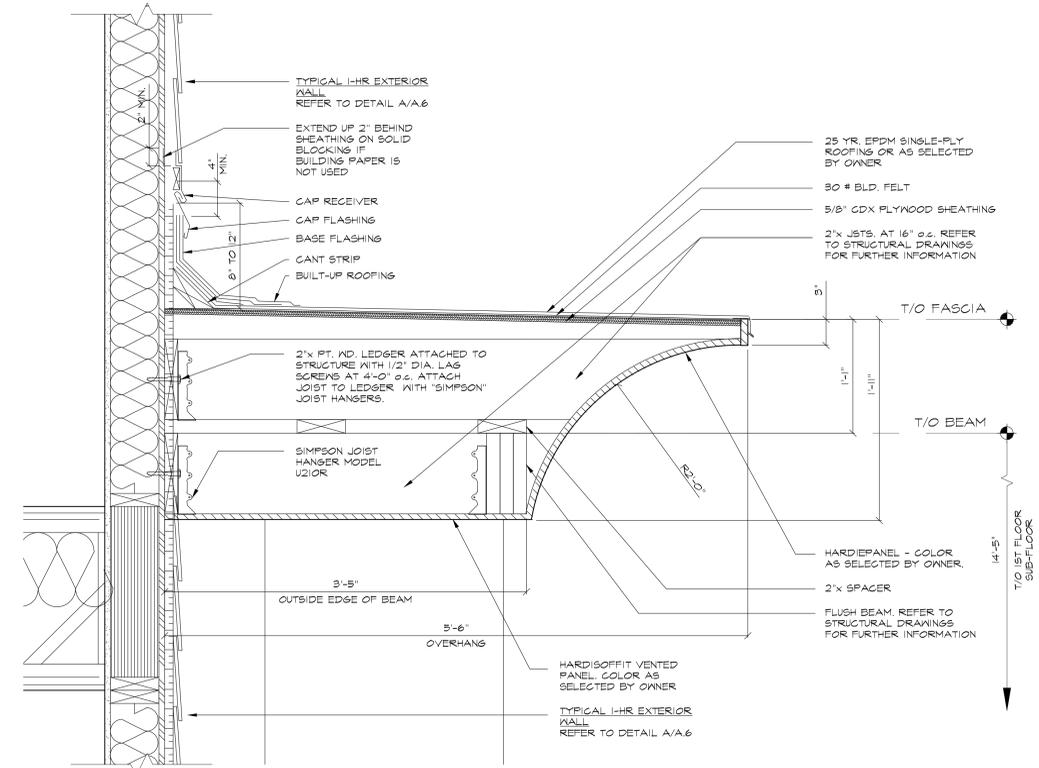
PROJECT No.
DRAWING NUMBER
A.8
SHEET 11 OF 15



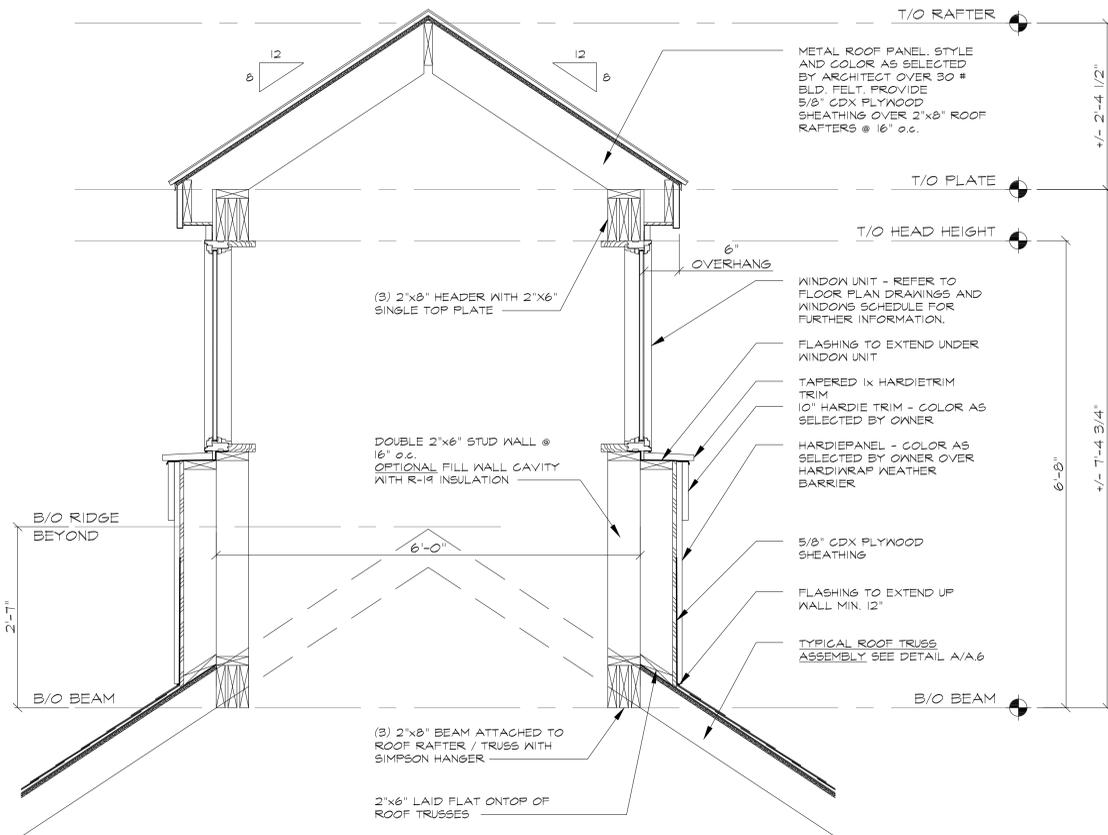
1 WINDOW DETAIL
A.9 SCALE: 1/4"=1'-0"



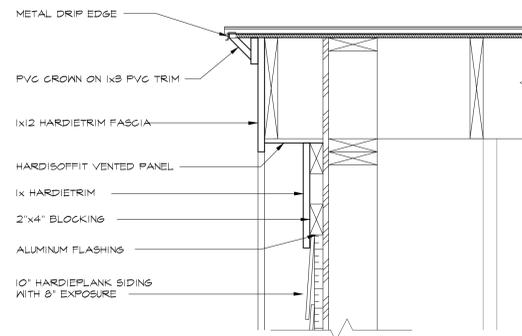
2 SOFFIT DETAIL
A.9 SCALE: 1/2"=1'-0"



3 OVERHANG DETAIL AT ENTRANCE
A.9 SCALE: 1/2"=1'-0"



4 CUPOLA DETAIL
A.9 SCALE: 1/4"=1'-0"



5 RIDGE DETAIL
A.9 SCALE: 1/2"=1'-0"

GENERAL NOTES

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NO.	DATE	REVISION
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EMAIL: JOHNSON@DC-ENGINEERING.COM
JOHN A. KALIN, P.E.
NJ'S LLC NO. 0719024

LYONS DEVELOPMENT, LTD
ONE STARR RIDGE ROAD
1 STARR RIDGE ROAD TOWN OF SOUTHEAST NEW YORK 10504

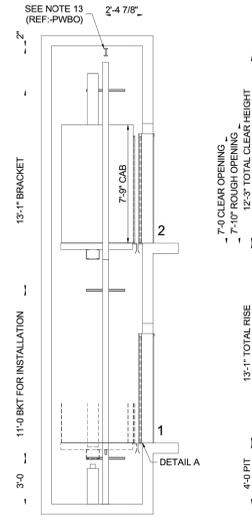
DATE: 11/09/17
DRAWN BY:
CHKD BY:
SCALE: AS NOTED

DRAWING TITLE
SECTION DETAILS

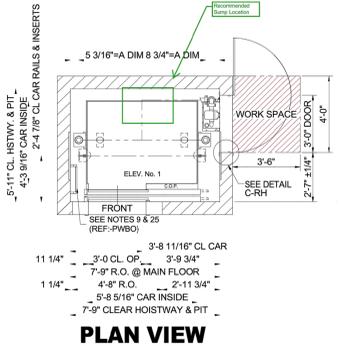
PROJECT No.
DRAWING NUMBER
A.9
SHEET 12 OF 15

GENERAL NOTES

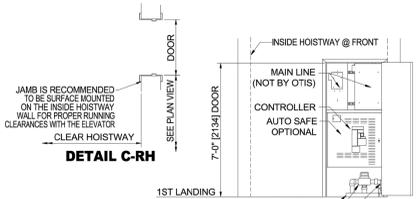
1. IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, CONTRACTOR SHALL REFER TO STAMPED AND SEALED STRUCTURAL DRAWINGS REVISION DATED 11/06/11 ISSUED FOR CONSTRUCTION AS PREPARED BY STRUCTURAL CONSULTING SERVICES, P.C.



SECTIONAL ELEVATION
FOR MAX. SPACING BETWEEN INSERTS SEE RAIL FORCE DETAIL



PLAN VIEW



DETAIL C-RH

CONTROLLER / MAIN LINE / TANK IN PIT @ BOTTOM LANDING REQUIREMENTS

NOTE 18A
DOOR MUST BE LOCATED ON AN INTERIOR WALL OF THE BUILDING. IT CANNOT BE OPENED TO THE OUTSIDE OF A BUILDING.
NOTE 18B
CONTACT OTIS REPRESENTATIVE FOR MRL ACCESS DOOR LOCATION GUIDELINE DRAWINGS.

APPROVAL
THIS ARRANGEMENT AND SUPPLEMENTARY NOTES APPROVED
SIGNED: _____ DATE: _____

PASSENGER
SEISMIC 0/1

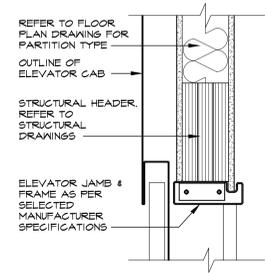


A United Technologies Company

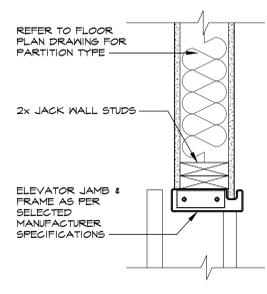
DWG. NO.: **HYD 2100**
BUILDING 1 Starr Ridge Road
LOCATION Brewster New York
CONT. WITH
OWNER
ARCHT.
CONTRACT NO. Prelim Drwg 10-27-17

PLEASE NOTE:
FINAL ELEVATOR MODEL AND MANUFACTURE AS SELECTED BY OWNER.

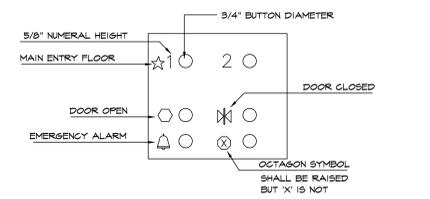
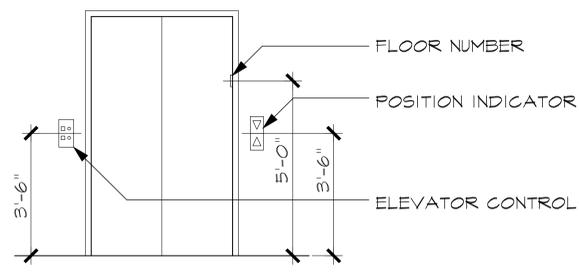
A ENLARGED ELEVATOR PLAN and SECTION
A.10 SCALE: NTS



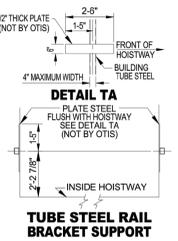
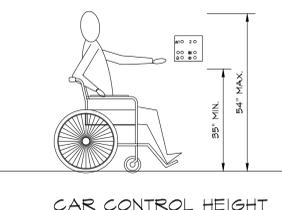
3 ELEVATOR HEAD DTL.
A.10 SCALE: 1/4" = 1'-0"



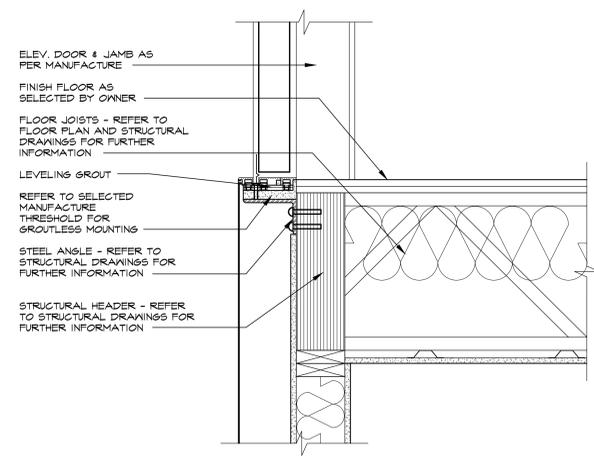
4 ELEVATOR JAMB DTL.
A.10 SCALE: 1/4" = 1'-0"



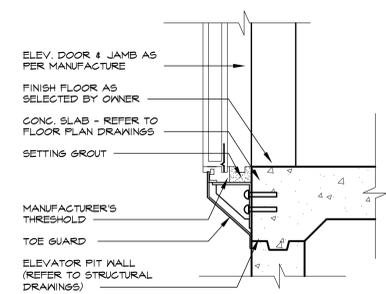
5 ELEVATOR CONTROL PANEL DETAILS
A.10 SCALE: NTS



TUBE STEEL RAIL BRACKET SUPPORT

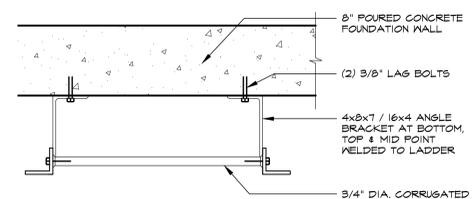


1 ELEVATOR LANDING AT SECOND FLOOR DETAIL
A.10 SCALE: 1/4" = 1'-0"

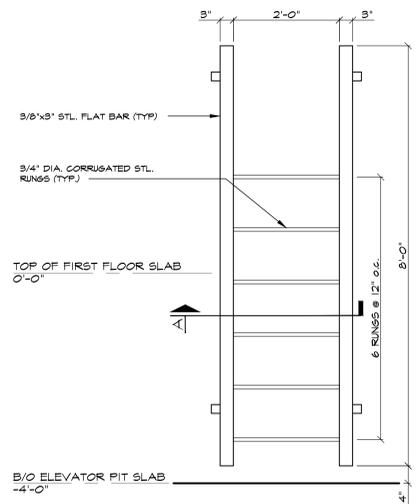


2 ELEVATOR LANDING AT FIRST FLOOR DETAIL
A.10 SCALE: 1/4" = 1'-0"

ELEVATOR NOTE:
HOLELESS HYDRALIC ELEVATOR DETAILS ARE SHOWN WITH WOOD FRAMING AROUND. REFER TO FLOOR PLAN AND STRUCTURAL DRAWINGS FOR WALL TYPE AND REINFORCING.



SECTION 'A'
SCALE: 1/4" = 1'-0"



6 ELEVATOR LADDER DTL.
A.10 SCALE: AS NOTED

NO.	DATE	REVISION
1	12/08/17	ISSUED FOR CONSTRUCTION

D.C. ENGINEERING, P.C.
OFFICE: 3 MEMORIAL AVE.
FAIR HAVEN, NY 12624
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1 STARR RIDGE ROAD TOWN OF SOUTHEAST NEW YORK 10504

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DRAWING TITLE
ELEVATOR DETAILS

PROJECT No.
DRAWING NUMBER
A.10
SHEET 13 OF 15

GENERAL NOTES

1. IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, CONTRACTOR SHALL REFER TO STAMPED AND SEALED STRUCTURAL DRAWINGS REVISION DATED 11/06/17 ISSUED FOR CONSTRUCTION AS PREPARED BY STRUCTURAL CONSULTING SERVICES, P.C.

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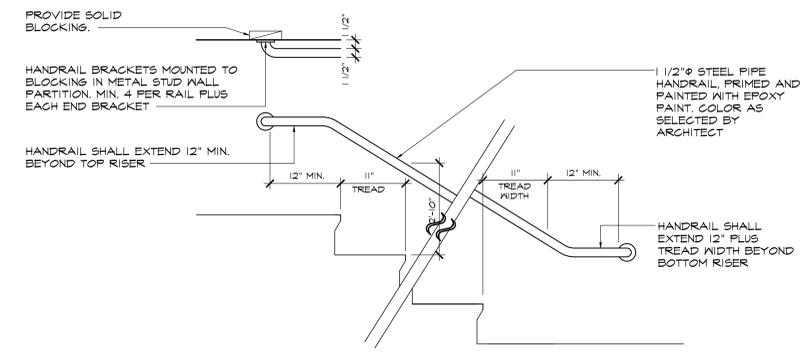
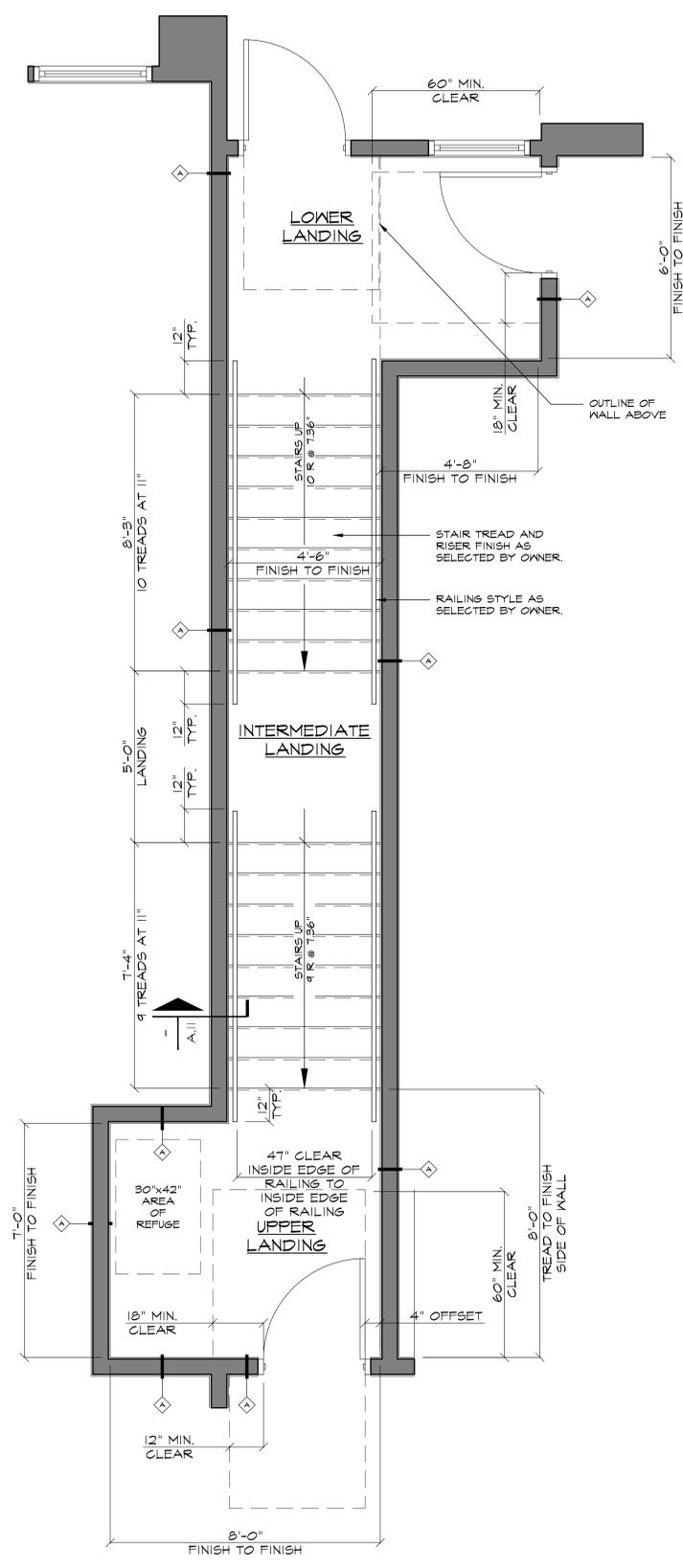
D.C. ENGINEERING, P.C.
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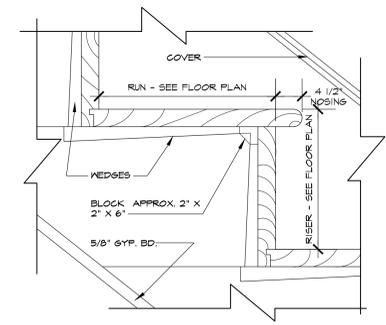
DATE: 11/09/17
 DRAWN BY:
 CHKD BY:
 SCALE: AS NOTED

DRAWING TITLE
STAIR DETAILS

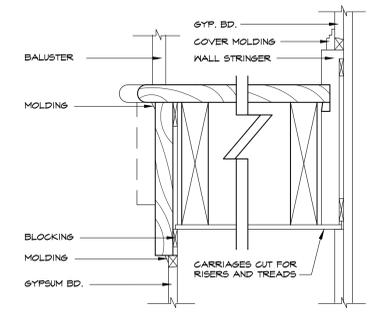
PROJECT No.
 DRAWING NUMBER
A.11
 SHEET 14 OF 15



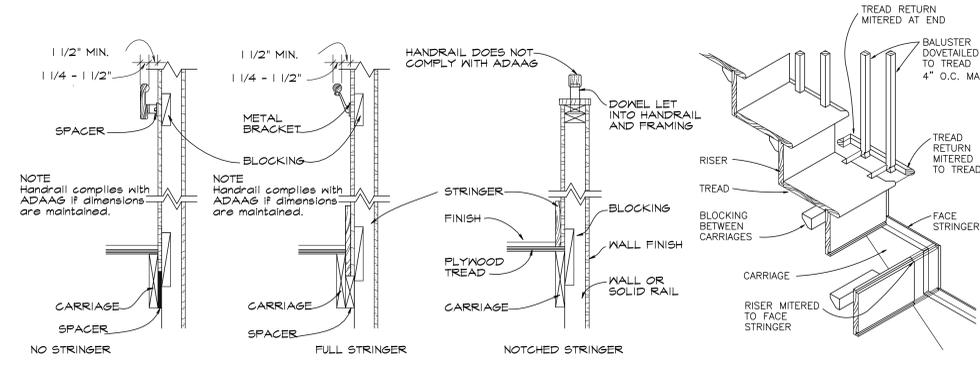
1 HANDRAIL @ WALL DETAIL
 A.11 SCALE: 1" = 1'-0"



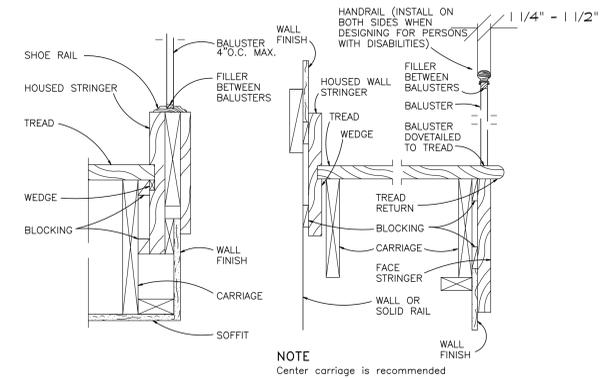
2 TYPICAL STAIR DETAIL
 A.11 SCALE: 3/4" = 1'-0"



3 TYPICAL STAIR DETAIL
 A.11 SCALE: 3/4" = 1'-0"



4 STAIR RAILING DETAIL
 A.11 SCALE: 1" = 1'-0"

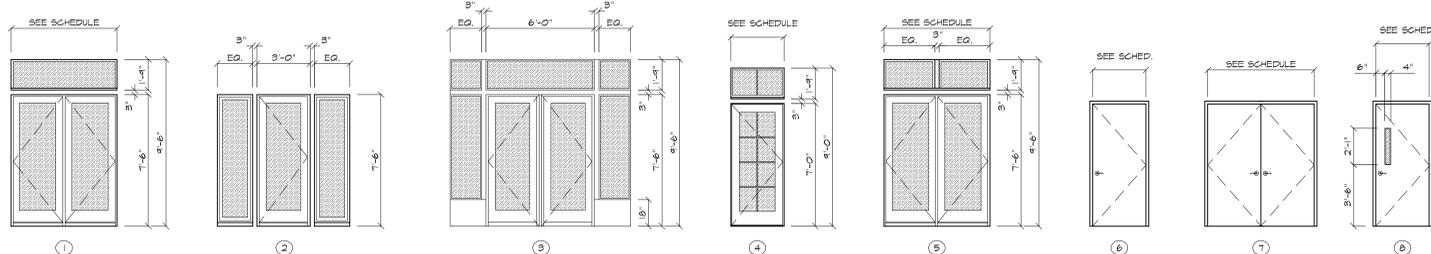


5 STAIR DETAIL
 A.11 SCALE: NTS

DOOR SCHEDULE													
BASEMENT													
NO.	TYPE	DOOR SIZE		MANUF.	MODEL	MAT.	LIGHT (SQ. FT.)	VENT (SQ. FT.)	SWING	HARD.	SADDLE	RATING	REMARKS
		WIDTH	HEIGHT										
(06)	1	6'-0"	7'-0"	1 7/8"	BY OWNER	BY OWNER	ALUM.	-	-	D-R	-	-	ENTRY, METAL
FIRST FLOOR													
(01)	1	6'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	D-R	-	-	ENTRY, TEMP INSUL GL, LOW E
(02)	1	6'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	D-R	-	-	ENTRY, TEMP INSUL GL, LOW E
(03)	2	3'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	LHR	-	-	ENTRY, TEMP INSUL GL, LOW E
(04)	2	3'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	RHR	-	-	ENTRY, TEMP INSUL GL, LOW E
(05)	2	3'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	RHR	-	-	ENTRY, TEMP INSUL GL, LOW E
(06)	2	3'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	LHR	-	-	ENTRY, TEMP INSUL GL, LOW E
(07)	3	6'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	D-R	-	-	ENTRY, TEMP INSUL GL, LOW E
(08)	3	6'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	D-R	-	-	ENTRY, TEMP INSUL GL, LOW E
(09)	4	3'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	RH	-	-	ENTRY, TEMP INSUL GL, LOW E
(10)	5	6'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	D-R	-	-	ENTRY, TEMP INSUL GL, LOW E
(11)	5	6'-0"	7'-6"	1 7/8"	BY OWNER	SEE ELEV TYPE	ALUM.	-	-	D-R	-	-	ENTRY, TEMP INSUL GL, LOW E
(12)	6	3'-0"	7'-0"	1 3/4"	BY OWNER	BY OWNER	WD	-	-	LHR	-	-	SOLID CORE
(13)	8	3'-0"	7'-0"	1 3/4"	BY OWNER	BY OWNER	WD	-	-	LHR	-	-	RATED - SELF CLOSING
SECOND FLOOR													
(20)	6	3'-0"	7'-0"	1 3/4"	BY OWNER	BY OWNER	WD	-	-	LH	-	-	
(21)	8	3'-0"	7'-0"	1 3/4"	BY OWNER	BY OWNER	WD	-	-	RH	-	-	RATED - SELF CLOSING
(22)	7	6'-0"	7'-0"	1 3/4"	BY OWNER	BY OWNER	WD	-	-	DEL	-	-	
(23)	6	3'-0"	7'-0"	1 3/4"	BY OWNER	BY OWNER	WD	-	-	LH	-	-	
(24)	6	3'-0"	7'-0"	1 3/4"	BY OWNER	BY OWNER	WD	-	-	RH	-	-	
(25)	7	6'-0"	7'-0"	1 3/4"	BY OWNER	BY OWNER	WD	-	-	DEL	-	-	
(26)	6	3'-0"	7'-0"	1 3/4"	BY OWNER	BY OWNER	WD	-	-	RH	-	-	

1 DOOR SCHEDULE

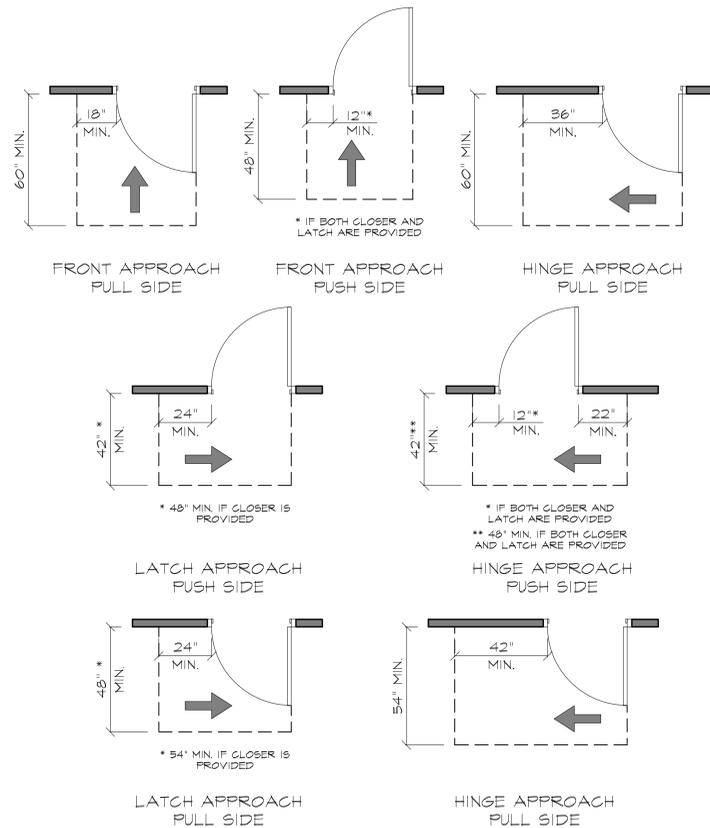
A.12 SCALE: NTS



NOTES:
KICKPLATES SHALL BE 3" HIGH X 2" LESS THAN NOMINAL DOOR WIDTH EXCEPT WHERE GLASS PANELS ARE SPOTTED. HOLD OUTSIDE GLASS FRAME DIMENSION. KICKPLATES SHALL BE CLEAR PLASTIC BEVELED FOUR SIDES (TYP.).

3 DOOR TYPES

A.12 SCALE: NTS



5 ADA DOOR CLEARANCES

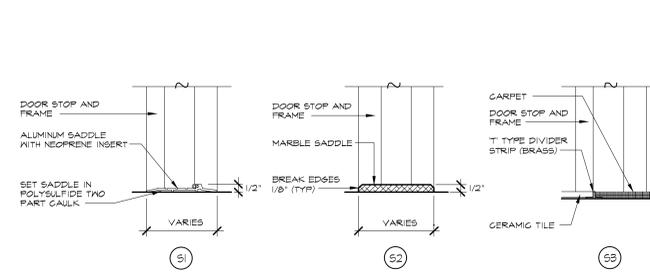
A.12 SCALE: NTS

2 WINDOW SCHEDULE

NO.	WINDOW SIZE	MANUF.	MODEL	LIGHT (SQ. FT.)	VENT (SQ. FT.)	SCREEN	QUANTITY	REMARKS	
	WIDTH (SQ.)								
(A)	3'-6"	5'-4"	MARVIN	17D4264	13.56	1.46	YES	35	WD, TILT WASH, DH
(B)	SEE ELEVATION	-	-	-	-	-	NO	2	CUSTOM STATIONARY - SEE ELEVATION
(C)	6'-0"	3'-6"	MARVIN	WUGA2040-3	4.9	-	YES	4	TRIPLE STATIONARY CASEMENT - MOLDED TOGETHER
(D)	SEE ELEVATION	-	-	-	-	-	NO	2	CUSTOM STATIONARY - SEE ELEVATION
(E)	SEE ELEVATION	-	-	-	-	-	NO	1	CUSTOM STATIONARY - SEE ELEVATION
(F)	SEE ELEVATION	-	-	-	-	-	NO	5	CUSTOM STATIONARY - SEE ELEVATION
(G)	3'-0"	6'-0"	MARVIN	WUGA3672	14.7	14.0	YES	13	OPERABLE CASEMENT
(H)	SEE ELEVATION	-	-	-	-	-	NO	2	CUSTOM STATIONARY - SEE ELEVATION
(J)	-	-	-	-	-	-	NO	1	EXTERIOR TRANSACTION WINDOW - SIZE AS PER SELECTED MANUF.
(K)	3'-0"	3'-0"	MARVIN	WUGA3636	6.8	6.5	NO	13	WD, PICTURE - OPERABLE
(L)	6'-0"	3'-0"	MARVIN	1CA373T 2X	13.6	-	NO	2	STATIONARY AWNING, MOLDED TOGETHER
(M)	3'-0"	3'-0"	MARVIN	1CA373T	6.8	-	NO	2	STATIONARY CASEMENT

2 WINDOW SCHEDULE

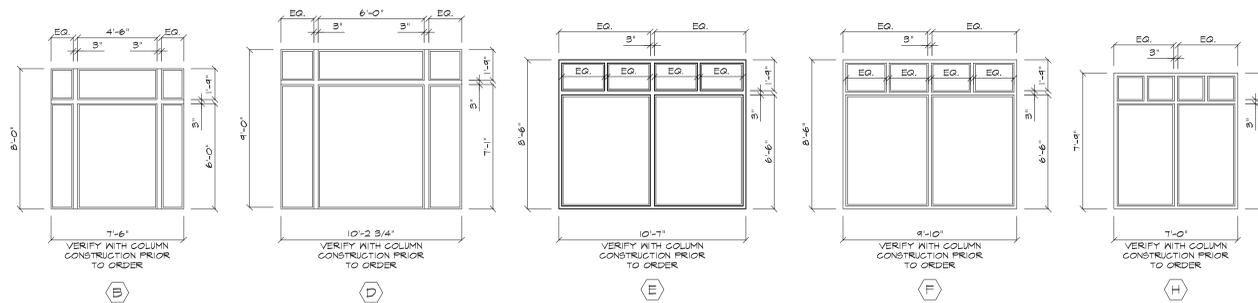
A.12 SCALE: NTS



NOTE: ALL SADDLES SHALL COMPLY WITH THE MOST RECENT A.D.A. CODES AND REGULATIONS.

4 SADDLE TYPES

A.12 SCALE: 1/4" = 1'-0"



6 WINDOW ELEVATIONS

A.12 SCALE: 1/4" = 1'-0"

PT-A TYPICAL 2"x6" SMOKE RATED WALL PARTITION
2"x6" WOOD STUDS @ 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE.
PROVIDE ONE (1) LAYER OF 5/8" GYPSUM BOARD EACH SIDE OF STUD TO RUN FROM CONCRETE SLAB / SUB-FLOOR TO UNDERSIDE OF STRUCTURE ABOVE. TAPE AND SPACKLED JOINTS. POLISH BETWEEN EACH OF THREE COATS. PRIME AND PAINT. SEAL ALL PENETRATION WITH FIRE / SMOKE CAULK.
FILL WALL CAVITY WITH SOUND ATTENUATION BLANKET TO EXTEND MIN. 6" ABOVE FINISHED CEILING.
PROVIDE SEALANT AT TOP AND BOTTOM OF SHEETROCK.

PT-B TYPICAL 2"x6" EXTERIOR WALL PARTITION WITH SIDING
2"x6" WOOD STUDS @ 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE TOP.
PROVIDE ONE (1) LAYER OF 5/8" GYPSUM BOARD ON OCCUPANT SIDE OF STUD. WOOD STUD AND GYPSUM BOARD TO RUN FROM CONCRETE SLAB / SUB-FLOOR TO UNDERSIDE OF STRUCTURE ABOVE. TAPE AND SPACKLED JOINTS. POLISH BETWEEN EACH OF THREE COATS. PRIME AND PAINT. PROVIDE SEALANT AT TOP AND BOTTOM OF SHEETROCK. PROVIDE 6 MIL VAPOR BARRIER ON WARMER WINTER SIDE OF STUD BETWEEN STUD WALL AND GYPSUM BOARD.
FILL WALL CAVITY WITH R-18 ACOUSTIC POLY-FACED INSULATION.
ON EXTERIOR SIDE OF STUD - 1" HARD-PLANK SIDING WITH 6" EXPOSURE. COLOR AND STYLE AS SELECTED BY OWNER OVER HANDWRAP WEATHER BARRIER OVER 1" INSULATION BOARD OVER 5/8" GYPSUM SHEATHING.

PT-C TYPICAL 2"x6" SMOKE RATED WALL PARTITION AT TOILET
2"x6" WOOD STUDS @ 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE.
PROVIDE ONE (1) LAYER OF 5/8" GYPSUM BOARD ON OCCUPANT SIDE OF STUD TO RUN FROM CONCRETE SLAB / SUB-FLOOR TO UNDERSIDE OF STRUCTURE ABOVE. TAPE AND SPACKLED JOINTS. POLISH BETWEEN EACH OF THREE COATS. PRIME AND PAINT. SEAL ALL PENETRATION WITH FIRE / SMOKE CAULK.
PROVIDE ONE (1) LAYER OF 5/8" MOISTURE RESISTANCE GYPSUM BOARD ON TOILET ROOM SIDE OF STUD. SEAL ALL PENETRATION WITH FIRE / SMOKE CAULK.
FILL WALL CAVITY WITH SOUND ATTENUATION BLANKET TO EXTEND MIN. 6" ABOVE FINISHED CEILING.
PROVIDE SEALANT AT TOP AND BOTTOM OF SHEETROCK.

PT-D DOUBLE 2"x6" STUD SMOKE RATED WALL PARTITION
(2) ROWS OF 2"x6" WOOD STUDS @ 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE.
PROVIDE ONE (1) LAYER OF 5/8" GYPSUM BOARD EACH SIDE OF STUD TO RUN FROM CONCRETE SLAB / SUB-FLOOR TO UNDERSIDE OF STRUCTURE ABOVE. TAPE AND SPACKLED JOINTS. POLISH BETWEEN EACH OF THREE COATS. PRIME AND PAINT. SEAL ALL PENETRATION WITH FIRE / SMOKE CAULK.
FILL WALL CAVITY WITH R-18 ACOUSTIC BATT INSULATION WHERE NOTED.
PROVIDE SEALANT AT TOP AND BOTTOM OF SHEETROCK.

PT-E TYPICAL 2"x6" INTERIOR WALL PARTITION
2"x6" WOOD STUDS @ 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE TOP.
PROVIDE ONE (1) LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE OF STUD.
FILL WALL CAVITY WITH R-18 ACOUSTIC BATT INSULATION WHERE NOTED.

PT-F TYPICAL 2"x6" INTERIOR WALL PARTITION AT TOILET ROOM
2"x6" WOOD STUDS @ 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE TOP.
PROVIDE ONE (1) LAYER OF 5/8" GYPSUM BOARD ON OCCUPANT / CORRIDOR SIDE OF STUD.
PROVIDE ONE (1) LAYER OF 5/8" MOISTURE RESISTANCE GYPSUM WALL BOARD ON TOILET ROOM SIDE OF STUD.
FILL WALL CAVITY WITH SOUND ATTENUATION INSULATION.

PT-G TYPICAL 8" CMU BLOCK WALL WITH STUD PARTITION
8" CMU BLOCK WALL PARTITION. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
PROVIDE 2"x6" WOOD STUDS @ 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE TOP PLATE.
PROVIDE ONE (1) OF 5/8" GYPSUM BOARD APPLIED TO FINISHED SIDE OF STUD - JOINTS TO BE STAGGERED.
FILL WALL CAVITY WITH R-18 ACOUSTIC BATT INSULATION.
PROVIDE 6 MIL VAPOR BARRIER BETWEEN STUD WALL AND CMU BLOCK WALL.

PT-H TYPICAL 8" CMU BLOCK WALL WITH DOUBLE STUD WALL PARTITION
8" CMU BLOCK WALL PARTITION. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
PROVIDE (2) ROWS OF 2"x6" WOOD STUDS @ 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE TOP PLATE.
PROVIDE ONE (1) OF 5/8" GYPSUM BOARD APPLIED TO FINISHED SIDE OF STUD - JOINTS TO BE STAGGERED.
FILL WALL CAVITY WITH SOUND ATTENUATION INSULATION.
PROVIDE 6 MIL VAPOR BARRIER BETWEEN STUD WALL AND CMU BLOCK WALL.

7 PARTITION TYPES

A.12 SCALE: NTS

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SHEET 13 OF 15