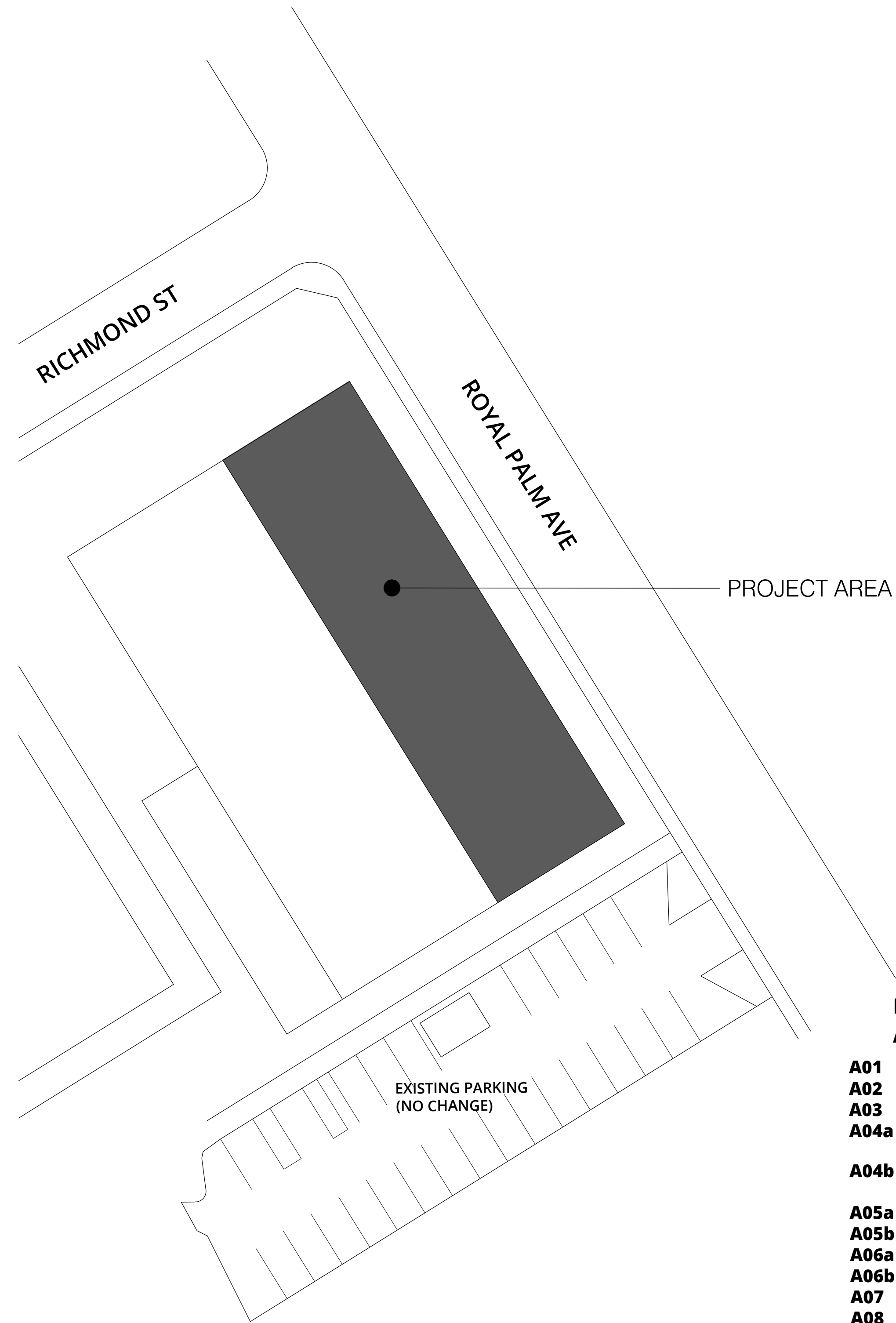


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TENANT IMPROVEMENTS

OFFICE BUILD - OUT

1610 ROYAL PALM AVE, FORT MYERS, FL 33901

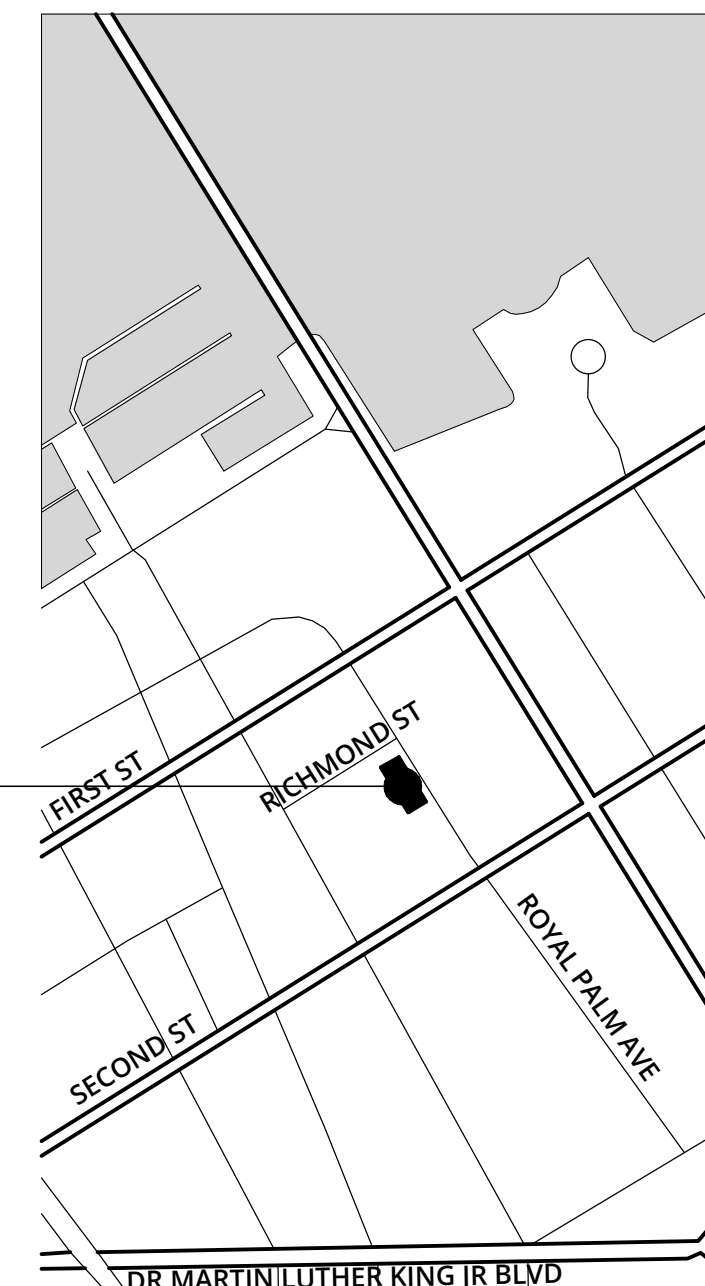


1 | SITE PLAN
A01 | SCALE: N.T.S.

NOTE:
THIS IS NOT A SURVEY.
FOR LOCATION OF BUILDING AND SITE DESIGN ONLY



2 | AERIAL MAP
A01 | SCALE: N.T.S.



3 | LOCATION MAP
A01 | SCALE: N.T.S.

DRAWING INDEX:

ARCHITECTURAL

- A01** SITE PLAN / LOCATION MAP/ AERIAL MAP
- A02** FLORIDA BUILDING CODE ANALYSIS/ KEY PLAN
- A03** PROP. MASTER FLOOR PLAN/ MASTER ELEVATIONS
- A04a** DEMOLITION - FLOOR PLAN 1/ ELEVATION ROYAL PALM AVE 1 ELEVATION RICHMOND ST
- A04b** DEMOLITION - FLOOR PLAN 2/ ELEVATION ROYAL PALM AVE 2 ELEVATION PARKING LOT
- A05a** PROP. PARTIAL FLOOR PLAN 1 W/ LIFE SAFETY PLAN
- A05b** PROP. PARTIAL FLOOR PLAN 2 W/ LIFE SAFETY PLAN
- A06a** EXIST. / PROP. ELEVATION 1 - ROYAL PALM AVE
- A06b** EXIST. / PROP. ELEVATION 2 - ROYAL PALM AVE
- A07** EXIST. / PROP. ELEVATION - RICHMOND STREET
- A08** EXIST. / PROP. ELEVATION - PARKING LOT/ ENLARGED RESTROOM DETAILS
- A09** BUILDING SECTIONS / WALL SECTIONS/ DETAILS
- A10** STOREFRONT DETAILS/ FIRE RATING DETAILS
- A11** PROP. REFLECTED CEILING PLAN/ WINDOW & DOOR SCHEDULE

PLUMBING

- P-1** -
- P-2** -

MECHANICAL

- M-1** -
- M-2** -

ELECTRICAL

- E-1** -
- E-2** -
- E-3** -

STRUCTURAL

- S1** -
- S2** -
- S3** -

CODE COMPLIANCE:

ALL WORK SHALL CONFORM TO THE FOLLOWING CODES AND ORDINANCES, LATEST ADOPTED EDITIONS:
 - FLORIDA BUILDING CODE: 2020 7TH EDITION
 - FLORIDA FIRE PREVENTION CODE: 7TH EDITION
 W/ NFPA 1, 2018 EDITION & NFPA 101, 2018 EDITION
 - FLORIDA PLUMBING CODE: 2020 7TH EDITION
 - FLORIDA MECHANICAL CODE: 2020 7TH EDITION
 - NATIONAL ELECTRIC CODE: 2017 EDITION
 - FLORIDA ACCESSIBILITY CODE: CHAPTER 11- 2020 7TH EDITION
 - FLORIDA EXISTING BUILDING CODE: 2020 7TH EDITION
 - FLORIDA ENERGY CONSERVATION CODE: 2020 7TH EDITION

THESE PLANS WERE PREPARED AND SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE. THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE CODES AND NOTIFY THE ARCHITECT, DESIGNER AND ENGINEER BEFORE STARTING CONSTRUCTION OR ANY DISCREPANCIES BETWEEN DRAWINGS AND/OR FIELD CONDITIONS. THE DESIGNER DOES NOT ASSUME RESPONSIBILITY FOR CONSTRUCTION OBSERVATION OR SUPERVISION.

RONALD REITZ, AIA
AR 92144

COMPLIANCE STATEMENT

GENERAL CONTRACTOR

ARCHITECT

RONALD REITZ, ARCHITECT AIA
PHONE: 239-218-6894 (cell)

PROJECT DATA

TITLE	ROYAL PALM
JOB #	22-cr-03
DATE	6-03-22
DRAWN	es
DR. DATE	
CHECKED	ab
CH. DATE	

PROJECT

1610 ROYAL PALM AVE
FORT MYERS, FL 33901

TENANT IMPROVEMENTS
OFFICE BUILD - OUT

REVISIONS

DATE	REVISIONS

SITE PLAN
LOCATION MAP
AERIAL MAP

SCALE: AS INDICATED

BUILDING CODE ANALYSIS:

A. GENERAL CONDITIONS

1. EXCEPT AS AMENDED BY THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR, THE LATEST EDITION OF A.I.A. DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" SHALL BE CONSIDERED A PART OF THE CONSTRUCTION CONTRACT DOCUMENTS.

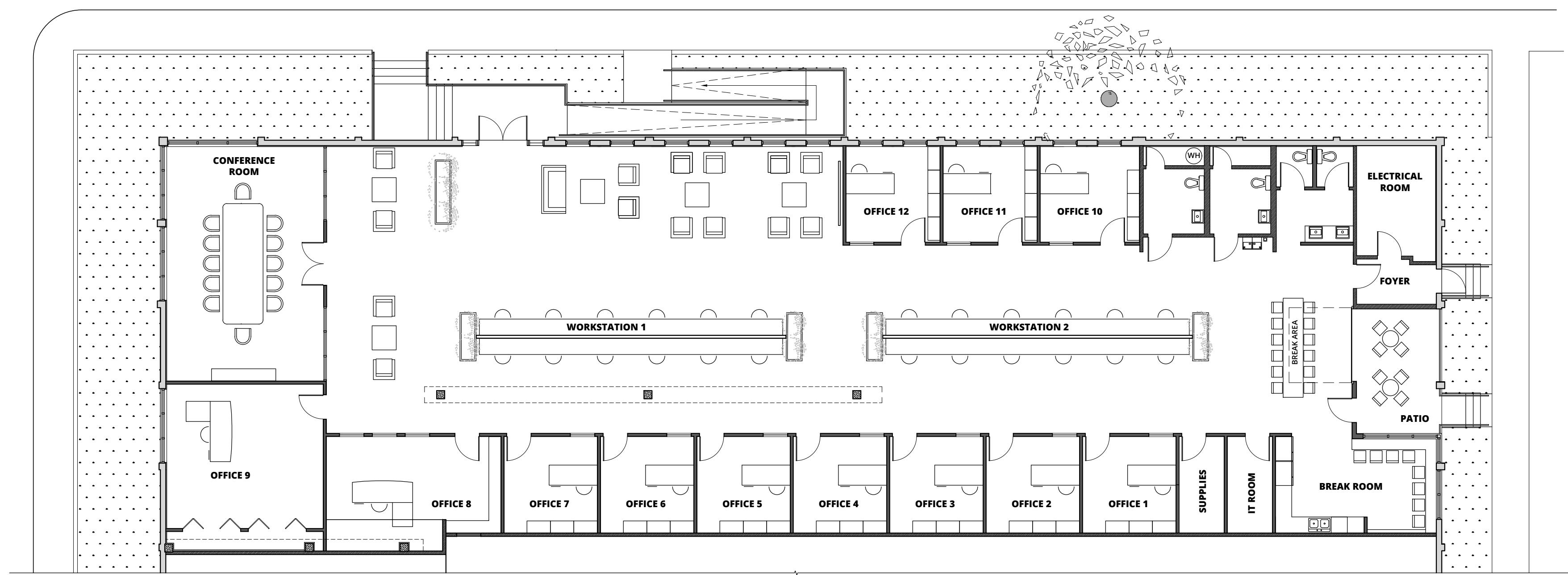
B. SUPPLEMENTARY CONDITIONS

- UNLESS OTHERWISE INSTRUCTED, CONTRACTOR SHALL SECURE AND PAY FOR ALL LICENSES, PERMITS, FEES, INSPECTION COSTS, TAP FEES, IMPACT FEES, UTILITY METER INSTALLATION FEES, AND ALL OTHER GOVERNMENTAL COSTS AND FEES NECESSARY TO PERMIT CONSTRUCTION OF THE PROJECT, AND UNLESS OTHERWISE INSTRUCTED SHALL INCLUDE THESE COSTS AS PART OF THE WORK.
- CONTRACTOR SHALL PURCHASE AND SHALL CAUSE HIS SUBCONTRACTORS TO PURCHASE AND MAINTAIN INSURANCE OF SUCH TYPES AND AMOUNTS AS ARE NECESSARY TO PROTECT THE OWNER AND THE PROJECT. NO WORK SHALL BE COMMENCED UNTIL SUCH TIME AS THE OWNER IS PROVIDED EVIDENCE THAT SUCH INSURANCE IS IN PLACE.
- ABSENT STATUTORY MINIMUMS, OWNER AND CONTRACTOR SHALL MUTUALLY AGREE AS TO THE LIMITS OF COVERAGE IN ADVANCE OF THE EXECUTION OF CONSTRUCTION CONTRACTS. HOWEVER, IN NO CASE SHALL THE LIMITS OF INSURANCE BE LESS THAN STATUTORY MINIMUMS OR THE AMOUNTS COMMON TO THE CONSTRUCTION INDUSTRY FOR SIMILAR PROJECTS.
- ALL WORK SHALL COMPLY WITH CODES, REGULATIONS AND STANDARDS HAVING JURISDICTION OVER THE WORK. VARIATIONS IN MANUFACTURING, FABRICATION, INSTALLATION OR ASSEMBLY OF MATERIALS, COMPONENTS, CAPTIVES FOR FIELD ADJUSTMENT, OR UNIFORMITY IN SIZE, SPACING AND FINISH SHALL BE CONSISTENT WITH SUCH STANDARDS. WHERE DISPUTES ARISE, STANDARDS AS PUBLISHED BY INDEPENDENT CONSTRUCTION INSTITUTES AND/OR ADVISORY BODIES TO THE PRODUCT OR SYSTEM IN QUESTION SHALL BE EMPLOYED AS THE STANDARDS FOR THIS WORK.
- DO NOT ALTER, REMOVE OR MODIFY STRUCTURAL ELEMENTS WITHOUT FIRST CONSULTING THE ARCHITECT.

C. GENERAL REQUIREMENTS

- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
- WHEN WORK IS NOT SPECIFICALLY NOTED BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER, AND SHALL BE OF THE BEST MATERIAL AND WORKMANSHIP.
- THE DOCUMENTS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE OBTAINED FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AND BE ADHERED TO.
- THE CONTRACTORS SHALL VISIT THE JOB SITE AND BECOME FAMILIARIZED WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID.
- THE CONTRACTORS SHALL BE EXPERIENCED IN THIS TYPE OF WORK. NO ALLOWANCES WILL BE MADE AFTER THE BID FOR LACK OF EXPERIENCE.
- THE CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION.
- ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED OR CAPPED, AS REQUIRED BY CODE OR SOUND CONSTRUCTION PRACTICES.
- DAMAGED OR DISRUPTED EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO LANDSCAPING, LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHALL BE REPLACED AT THE END OF CONSTRUCTION TO THE SAME STANDARDS OF QUALITY AS EXISTED PRIOR TO CONSTRUCTION DISRUPTION.
- DISRUPTED ELECTRICAL AND WATER LINES SHALL BE RE-ROUTED DURING PROJECT CONSTRUCTION AND ARE TO REMAIN IN CONTINUOUS SERVICE UNLESS OTHERWISE INDICATED OR INSTRUCTED BY THE OWNER.
- NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT.
- WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- WHEN INSTRUCTED, PROVIDE 6 SETS OF SHOP DRAWINGS FOR ALL PRODUCTS, MATERIALS, AND EQUIPMENT TO ARCHITECT FOR APPROVAL, PRIOR TO ORDERING. EQUIPMENT INSTALLED WITHOUT APPROVAL SHALL BE SUBJECT TO REJECTION AND REPLACEMENT AT CONTRACTOR'S EXPENSE.
- UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE CORRECTLY SIZED TO ACCOMPLISH THIS WITHOUT CREATING VARIATIONS IN THE WALL PLANE.
- PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE AND ACCESSORIES.
- WHEN A PRODUCT, SYSTEM OR ASSEMBLY IS CALLED FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM SHALL BE PROVIDED AND INSTALLED AND INSTALLATION SHALL BE ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.

KEY PLAN NOT TO SCALE



- PRIOR TO PROCEEDING WITH WORK, CONTRACTORS SHALL COORDINATE WITH EACH TRADE THE LOCATIONS OF SLEEVES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.
- DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF MASONRY, AND TO THE EDGE OF ROUGH OPENING. UNLESS NOTED OTHERWISE, ALL DIMENSIONS SHOWN IN PLAN ARE NOMINAL AND ALL DIMENSIONS SHOWN IN DETAIL ARE ACTUAL.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK OF THIS CONTRACT BY OWNER AND THE ARCHITECT, BUT IN NO EVENT LESS THAN AS REQUIRED BY TERMS OF THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR FOR THE CONSTRUCTION OF THE PROJECT, OR STATE STATUTE. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD, TRACEABLE TO MATERIALS OR WORKMANSHIP PROVIDED OR PERFORMED BY THE CONTRACTOR, SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR, NOT THE OWNER. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO CONTRACT BEING AWARDED. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR DEFECTIVE MATERIALS. AT ANY TIME DURING THE CONSTRUCTION PERIOD, OWNER'S REPRESENTATIVES AND THE ENGINEER RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENTED HEREIN OR ON THE DRAWINGS AND AT NO COST TO THE OWNER OR ENGINEER.

D. CONTRACTOR USE OF PREMISES

- LIMIT USE OF THE PREMISES TO CONSTRUCTION ACTIVITIES AND WORK BY OTHERS.
- AREAS FOR STAGING OF CONSTRUCTION MATERIALS AND EQUIPMENT SHALL BE LIMITED PRINCIPALLY TO PREDETERMINED LIMITS UNLESS OTHERWISE AGREED TO BY THE CONTRACTOR AND OWNER.
- KEEP DRIVEWAYS AND ENTRANCES SERVING THE PREMISES CLEAR AND AVAILABLE TO THE PUBLIC, THE OWNER, AND EMPLOYEES AT ALL TIMES.
- USE OF THE BUILDING:
 - REPAIR DAMAGE CAUSED BY CONSTRUCTION OPERATIONS.
 - TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE BUILDING DURING THE CONSTRUCTION PERIOD.
- PATCHWORK: WHERE A PORTION OF AN EXISTING FINISHED SURFACE IS DAMAGED, REMOVED OR STAINED DURING CONSTRUCTION, PATCH OR REPLACE THE DAMAGED PORTION OF THE SURFACE WITH MATCHING MATERIAL.
- MATCHING: RESTORE WORK THAT IS DAMAGED DURING CONSTRUCTION TO A CONDITION EQUAL TO ITS CONDITION AT TIME OF START OF WORK.
- STANDARDS: THE SPECIFICATIONS WILL DESCRIBE EXISTING PRODUCTS AND/OR STANDARDS OF EXECUTION. THE PRODUCT IS ITS OWN SPECIFICATION AND STANDARD FOR STRENGTH, APPEARANCE AND OTHER CHARACTERISTICS. PROVIDE PRODUCTS IN QUALITY WHICH ARE IN NO WAY INFERIOR TO NOTED OR SPECIFIED PRODUCTS.
- DISTURBED AREAS: LIMIT THE EXTENT OF DEMOLITION TO THE LEAST AMOUNT REQUIRED FOR PROPER CONSTRUCTION, BUT IN NO CASE MORE THAN THE LIMITS OF DEMOLITION AGREED TO.

E. PROJECT / SITE CONDITIONS

- LOCATE, IDENTIFY, AND PROTECT ALL EXISTING UTILITIES ENCOUNTERED DURING THE WORK. IF ANY, NOTIFY UTILITY COMPANIES OF IMPENDING WORK.
- ENSURE THAT ALL UTILITY AND OTHER SERVICES WHICH MAY BE DISTURBED DURING CLOSE EXCAVATION ARE TEMPORARILY STAYED AND BRACED IN POSITION DURING THE WORK.
- PROVIDE SLEEVES APPROPRIATE TO CONSTRUCTION WHERE NEW PIPES, CONDUIT AND DUCTS PENETRATE WALLS AND FLOORS. FILL VOIDS WITH FIRE SAFING INSULATION OR FOAM PENETRATION SEALANT.
- PROGRESS CLEANING: REMOVE DEBRIS FROM INTERIOR OF BUILDING ON A DAILY BASIS AND STORE TEMPORARILY IN COMMERCIAL TRASH CONTAINERS. REMOVE DEBRIS FROM BUILDING SITE AT INTERVALS REQUIRED TO MINIMIZE OVERFLOW AND SPILLAGE.

F. CONTRACTOR RESPONSIBILITIES

- PROVIDE INSPECTIONS, TESTS AND SIMILAR QUALITY CONTROL SERVICES AS REQUIRED BY GOVERNING AUTHORITIES. THESE SERVICES MAY BE PERFORMED BY AN INDEPENDENT OR BY THE CONTRACTOR. INCLUDE COSTS FOR THESE SERVICES IN THE CONTRACT SUM.
- COORDINATE THE SEQUENCE OF ACTIVITIES TO ACCOMMODATE REQUIRED SERVICES WITH A MINIMUM OF DELAY AND COORDINATE ACTIVITIES TO AVOID THE NECESSITY OF REMOVING AND REPLACING CONSTRUCTION TO ACCOMMODATE INSPECTIONS AND TESTS.

G. CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS

- TEMPORARY CONSTRUCTION AND SUPPORT FACILITIES
 - PROVIDE TEMPORARY TOILET FACILITIES FOR CONSTRUCTION USE. USE OF THE OWNER'S TOILET FACILITIES WILL NOT BE PERMITTED.
 - COLLECT WASTE AND DEBRIS FROM CONSTRUCTION AREAS DAILY AND REMOVE FROM BUILDING INTERIOR. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL IN A LAWFUL MANNER.

H. SECURITY AND PROTECTION FACILITIES

- COMPLY WITH LOCAL STANDARDS AND CODE REQUIREMENTS FOR ERECTION OF STRUCTURALLY ADEQUATE BARRICADES, WARNING SIGNS, AND LIGHTS.

I. CONTRACT CLOSEOUT

- FINAL COMPLETION
 - DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE WASTE MATERIALS FROM THE SITE AND DISPOSE IN A LAWFUL MANNER.
 - COMPLETE CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF SUBSTANTIAL COMPLETION AND MAINTAIN BUILDING IN CLEANED CONDITION UNTIL FINAL COMPLETION.
 - REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED FOR PROTECTION OF THE WORK DURING CONSTRUCTION.
 - REMOVE LABELS, CLEAN GLASS SURFACES, AND DUST AND WIPE CLEAN ALL PRODUCTS, MATERIALS, SYSTEMS, FINISHES, EQUIPMENT, AND SURFACES.

J. ARCHITECTS DISCLAIMER

- THE ARCHITECTS CERTIFICATION OF THE DOCUMENTS IS LIMITED TO THE DOCUMENTS AND THE INFORMATION CONTAINED IN THE DOCUMENTS.
- THE ARCHITECTS CERTIFICATION SHALL NOT EXTEND TO REVISIONS TO THE DOCUMENTS OR REVISIONS IN INFORMATION CONTAINED IN THE DOCUMENTS WHERE SUCH REVISIONS WERE NOT PERFORMED AND/OR AUTHORIZED IN WRITING BY THE ARCHITECT.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR REVISIONS TO THE DOCUMENTS OR REVISIONS IN INFORMATION CONTAINED IN THE DOCUMENTS AND WHERE SUCH REVISIONS HAVE BEEN MADE BY OTHERS TO PRODUCTS, MATERIALS, FINISHES, DIMENSIONS, SYSTEMS, ASSEMBLIES OR AESTHETIC INTENT.

K. EXTENT OF REPAIRS AND ALTERATIONS

- THIS PROJECT CONSISTS OF THE INTERIOR ALTERATION OF AN EXISTING TENANT SPACE LOCATED IN AN EXISTING BUILDING CLASSIFIED AS GROUP "B" BUSINESS.
- THE INTERIOR ALTERATIONS SHALL BE CONFINED TO THE AREA BETWEEN THE EXISTING EXTERIOR WALL ASSEMBLIES.
- EXCEPT AS NOTED OR AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE INTERIOR IMPROVEMENTS, THE EXISTING EXTERIOR WALL ASSEMBLIES SHALL BE UNALTERED UNLESS NOTED.
- EXCEPT AS NOTED OR REQUIRED TO PERMIT THE CONSTRUCTION OF THE INTERIOR IMPROVEMENTS, THE FOLLOWING EXISTING ASSEMBLIES AND EQUIPMENT SHALL REMAIN UNALTERED AND SHALL BE REUSED "AS-IS".
 - EXISTING ELECTRIC SERVICE, DISCONNECT + ELECTRICAL PANEL
 - EXISTING SANITARY AND DOMESTIC PIPING SYSTEMS OUTSIDE OF THE EXISTING STRUCTURE AND SERVICING THE PROPOSED AREA.

GENERAL ACCESSIBILITY NOTES: FBC

- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN SHALL BE DISPLAYED AT ALL ACCESSIBLE RESTROOM FACILITIES AND AT ACCESSIBLE BUILDING ENTRANCES UNLESS ALL ENTRANCES ARE ACCESSIBLE. NON-ACCESSIBLE ENTRANCES SHALL HAVE DIRECTIONAL SIGNS INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE.
- DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE (I.E. LEVER OPERATED, PUSH-TYPE, U-SHAPED) MOUNTED NO HIGHER THAN 48 INCHES ABOVE THE FLOOR.
- ALL DOORS SHALL BE OPENABLE BY A SINGLE EFFORT. THE MAXIMUM FORCE REQUIRED TO OPEN A DOOR SHALL NOT EXCEED 8.5 LBS. FOR EXTERIOR SWINGING DOORS AND 5 LBS. FOR ALL SLIDING, FOLDING, AND INTERIOR SWINGING DOORS.
- FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP-RESISTANT. CHANGES IN LEVEL SHALL BE BETWEEN 0.25 INCH AND 0.5 INCH. CHANGES IN LEVEL GREATER THAN 0.5 INCH REQUIRE RAMPS. GRATINGS IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.5 INCH WIDE IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5 INCH HEIGHT.
- TOILET STALL DOORS SHALL BE THE SELF-CLOSING TYPE.
- A TOWEL DISPENSER SHALL BE LOCATED ADJACENT TO ALL LAVATORIES.
- FIXTURE MOUNTING HEIGHTS SHALL COMPLY WITH THOSE INDICATED ON THE STANDARD MOUNTING HEIGHT DIAGRAMS UNLESS NOTED OTHERWISE.
- FIXTURE SPACING AND CLEARANCE SHALL COMPLY WITH THOSE INDICATED ON THE PLANS.

FLORIDA BUILDING AND FIRE CODES:

2020 FLORIDA BUILDING CODE - BUILDING 7TH EDITION
2020 FLORIDA BUILDING CODE - PLUMBING 7TH EDITION
FLORIDA FIRE PREVENTION CODE - 7TH EDITION

ELEMENT / COMPONENT	REQUIRED	EXISTING / PROPOSED	
		EXISTING	PROPOSED
BUILDING HEIGHT	60.0 FEET	UNCHANGED	-
MAXIMUM NUMBER OF STORES	THREE (3)	ONE (1)	-
UNIT FLOOR AREA (BUILDING)	36,000 SQ. FT.	UNCHANGED	-
AREA MODIFICATIONS	NOT EMPLOYED	N/A	N/A

ELEMENT / COMPONENT	REQUIRED	EXISTING / PROPOSED	
		EXISTING	PROPOSED
STRUCTURAL FRAME INCLUDING: COLUMNS, GIRDETS, TRUSSES, BEAMS, SPANDELS & GRAVITY BRACING	Ø	Ø	EXISTING
BEARING WALLS / EXTERIOR	Ø	Ø	EXISTING
BEARING WALLS / INTERIOR	Ø	Ø	EXISTING
NON BEARING WALLS & PARTITIONS / EXTERIOR	(f)	(f)	Ø
NON BEARING WALLS & PARTITIONS / INTERIOR	Ø	Ø	Ø
FLOOR CONSTRUCTION INCLUDING: SUPPORTING BEAMS AND JOISTS	Ø	Ø	EXISTING
ROOF CONSTRUCTION INCLUDING: BEAMS AND JOISTS	Ø	Ø	EXISTING
TENANT SEPARATION WALLS	1 HOUR	Ø	EXISTING

ELEMENT / COMPONENT	FIRE SEPARATION DISTANCE	FIRE RESISTANCE RATING	
		REQUIRED	EXISTING / PROPOSED
FRONT WALL (RICHMOND ST)	EXCEEDS 30 FEET	Ø	Ø
REAR WALL (PARKING AVE)	EXCEEDS 30 FEET	Ø	Ø
RIGHT WALL (ROYAL PALM AVE)	EXCEEDS 30 FEET	Ø	Ø
LEFT TENANT SEPARATION WALL	X < 5	1 HR. RATING	1 HR. RATING (SEE A05) EXIST.
OTHER WALL	N/A	N/A	N/A

ELEMENT / COMPONENT	SECTION / TABLE	REQUIRED		EXISTING / PROPOSED	
		REQUIRED	EXISTING / PROPOSED	EXISTING	PROPOSED
SHAFT ENCLOSURES CONNECTING 4 OR MORE STORES	713	2 HOURS	N/A	N/A	N/A
SHAFT ENCLOSURES CONNECTING LESS THAN 4 STORES	713	1 HOUR	N/A	N/A	N/A
VERTICAL EXIT ENCLOSURES CONNECTING 4 OR MORE STORES	1023.2	2 HOURS	N/A	N/A	N/A
VERTICAL EXIT ENCLOSURES CONNECTING LESS THAN 4 STORES	1023.2	1 HOUR	N/A	N/A	N/A
EXIT PASSAGEWAYS (FLOORS, WALLS, CEILING)	707.3.4(1)(2)	1 HOUR MIN.	N/A	N/A	N/A
HORIZONTAL EXITS FORMED BY FIREWALLS	706/1026	2 HOURS	N/A	N/A	N/A
HORIZONTAL EXITS FORMED BY FIREBARRIERS	707/1026	2 HOURS	N/A	N/A	N/A
INCIDENTAL USE AREA AS A MIXED OCCUPANCY	TABLE 508.4	NO RATING REQUIRED	NO RATING PROVIDED	N/A	N/A
INCIDENTAL USE AREAS/ ACCESSORY OCCUPANCIES:	TABLE 509	1 HOUR	N/A	N/A	N/A
- FURNACE, BOILER, REFRIGERANT ROOMS				N/A	N/A
- LAUNDRY ROOMS LARGER THAN 100 SQ. FT.				N/A	N/A
- STORAGE ROOMS LARGER THAN 100 SQ. FT.				N/A	N/A
- WASTE & LINEN COLLECTION ROOMS LARGER THAN 100 SQ. FT.				N/A	N/A
- STANDBY POWER BATTERY ROOM EXCEPT IN GROUP A, E, I & R				N/A	N/A
INCIDENTAL USE AREAS/ ACCESSORY OCCUPANCIES:	TABLE 509	2 HOURS	N/A	N/A	N/A
- INCINERATOR ROOM				N/A	N/A
- STANDBY POWER BATTERY ROOM IN GROUP A, E, I & R				N/A	N/A
HORIZONTAL FIRE BARRIERS	TABLE 707.3.10	N/A	N/A	N/A	N/A

OCCUPANCY AND FLOOR / AREA	FLOOR AREA PER OCCUPANT	FLOOR AREA	
		(SEE A05 & A05A)	(SEE A05 & A05A)
"B" BUSINESS (FBC)			98

V. EXITS AND EXIT ACCESS: SECTION 1006.3.2 AND SECTION 1017. (FBC 10)
 MINIMUM NUMBER OF EXITS: TWO (2) / NUMBER OF EXITS PROVIDED: TWO (2)
 COMMON PATH OF EGRESS TRAVEL NOT EXCEEDING 100 FEET (SECTION 1006.2.1)

ELEMENT / COMPONENT	REQUIRED		EXISTING / PROPOSED	
	REQUIRED	EXISTING / PROPOSED	EXISTING	PROPOSED
MAXIMUM TRAVEL DISTANCE TO AN EXIT ACCESS (TABLE 1017.2)	300 FEET MAXIMUM	LESS THAN 300 FEET		
MAXIMUM DEAD END CORRIDOR (1020.4)	20 FEET MAXIMUM	N/A		
CORRIDOR FIRE RESISTANCE RATING (TABLE 1020.1)	Ø	N/A		
EGRESS WIDTH PER OCCUPANT SERVED FOR LEVEL SURFACES (TABLE 1005.3.2)	0.2 INCHES / OCCUP.	9.8 INCHES (Ø6' PROVIDED)		
EGRESS WIDTH PER OCCUPANT SERVED FOR STAIRWAYS (TABLE 1005.3.1)	0.3 INCHES / OCCUP.	N/A		
MINIMUM CORRIDOR WIDTH: 1020.2	44 INCHES	44 INCHES		
MINIMUM AISLE WIDTH: 1018, 1005.1, 1020.2 (1020.1 FOR ASSEMBLY)	36 INCHES	N/A		
MINIMUM / MAXIMUM WIDTH OF EXIT DOOR (CLEAR WIDTH) (TABLE 1010.1.1)	32 INCHES	34 INCHES (Ø6' DOOR)		
MINIMUM WIDTH OF STAIRWAYS: 1011.2 (TABLE 1005.3.1, BUT NOT LESS THAN 44 INCHES)	36 INCHES	N/A		

ELEMENT / COMPONENT	REQUIRED		PROPOSED	
	REQUIRED	EXISTING / PROPOSED	EXISTING	PROPOSED
EXIT ENCLOSURES & EXIT PASSAGEWAYS	CLASS B	N/A		
CORRIDORS	CLASS C	N/A		
ROOMS AND ENCLOSED SPACES	CLASS C	CLASS C		

ELEMENT / COMPONENT	REQUIRED		PROPOSED	
	REQUIRED	EXISTING / PROPOSED	EXISTING	PROPOSED
WATER CLOSETS, MALE	46 OCCUPANTS	ONE (1) PER 25 (1ST 50)	N/A	N/A
WATER CLOSETS, FEMALE	46 OCCUPANTS	ONE (1) PER 25 (1ST 50)	N/A	N/A
WATER CLOSETS, UNISEX	92 OCCUPANTS	ONE (1) PER 25 (1ST 50)	2 EXIST. - 2 PROP.	
URINALS, MALE, 424-2 FBC, PLUMBING		67% OF REQUIRED WATER CLOSETS MAX		
LAVATORIES, MALE	46 OCCUPANTS	ONE (1) PER 40 (1ST 80)	N/A	N/A
LAVATORIES, FEMALE	46 OCCUPANTS	ONE (1) PER 40 (1ST 80)	N/A	N/A
LAVATORIES, UNISEX	92 OCCUPANTS	ONE (1) PER 40 (1ST 80)	2 EXIST. - 2 PROP.	
BATHUBS/SHOWERS		NONE (Ø)	NONE (Ø)	
DRINKING FOUNTAIN (*)		(1) PER 100	ONE (1)	
SERVICE SINK		ONE (1)	ONE (1)	

IX. PORTABLE FIRE EXTINGUISHER SECTION 7.6 (FPFCC)
 FIRE EXTINGUISHER SIZE & PLACEMENT FOR HAZARD CLASSIFICATION
 - ONE (1) ORDINARY HAZARD FIRE EXTINGUISHERS FOR CLASS 'A' FIRES - EACH EXIT (SEE NOTE ON SHEET A05 / A05A)

THIS PROJECT CONSISTS OF A LEVEL 2 ALTERATION IN COMPLIANCE WITH CHAPTER 8 OF THE FLORIDA BUILDING CODE EXISTING BUILDING.
 THE PROJECT CONSISTS OF INTERIOR BUILD-OUT, WITHOUT STRUCTURAL ALTERATIONS REQUIRING WORK IN CONNECTION WITH THE STRUCTURAL ELEMENTS OF THE EXISTING BUILDING.

I CERTIFY THAT EXCEPT AS NOTED HEREIN, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, ALTERATIONS AND IMPROVEMENTS TO THE EXISTING BUILDING AS DESCRIBED IN THESE DOCUMENTS COMPLY WITH THE APPLICABLE PROVISIONS AND REQUIREMENTS OF THE CODES IN EFFECT, HAVING JURISDICTION OVER AND GOVERNING THE WORK, AT THE TIME THESE DOCUMENTS WERE PREPARED, INCLUDING THE LATEST EDITION OF THE FLORIDA BUILDING CODES.

(*) 2020 FBC, PLUMBING, SECT. 410.4 SUBSTITUTION WHERE RESTAURANT PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED IN THOSE RESTAURANTS.

THESE PLANS WERE PREPARED AND SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE. THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE CODES, AND NOTIFY THE ARCHITECT, DESIGNER AND ENGINEER BEFORE STARTING CONSTRUCTION OR ANY DISCREPANCIES BETWEEN DRAWINGS AND/OR FIELD CONDITIONS. THE DESIGNER DOES NOT ASSUME RESPONSIBILITY FOR CONSTRUCTION OBSERVATION OR SUPERVISION.	RONALD REITZ, AIA AR 92144
COMPLIANCE STATEMENT	ARCHITECT
GENERAL CONTRACTOR	RONALD REITZ, ARCHITECT AIA PHONE: 239-218-6894 (cell)

designers + planners
 IN ASSOCIATION WITH
Studio for Architecture
 AA 2600397
 FORT MYERS, FL 33901
 1412 DEAN STREET #200

PROJECT DATA	
TITLE	ROYAL PALM
JOB #	22-cl-03
DATE	6-03-22
DRAWN	ms
DIR.DRAWN	-
CHECKED	mb
CH.DATE	-

PROJECT

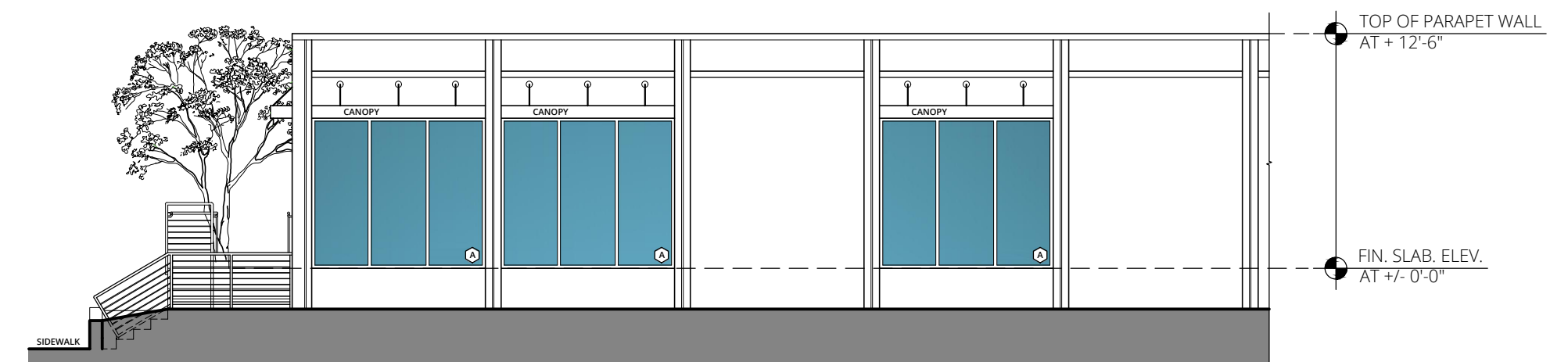
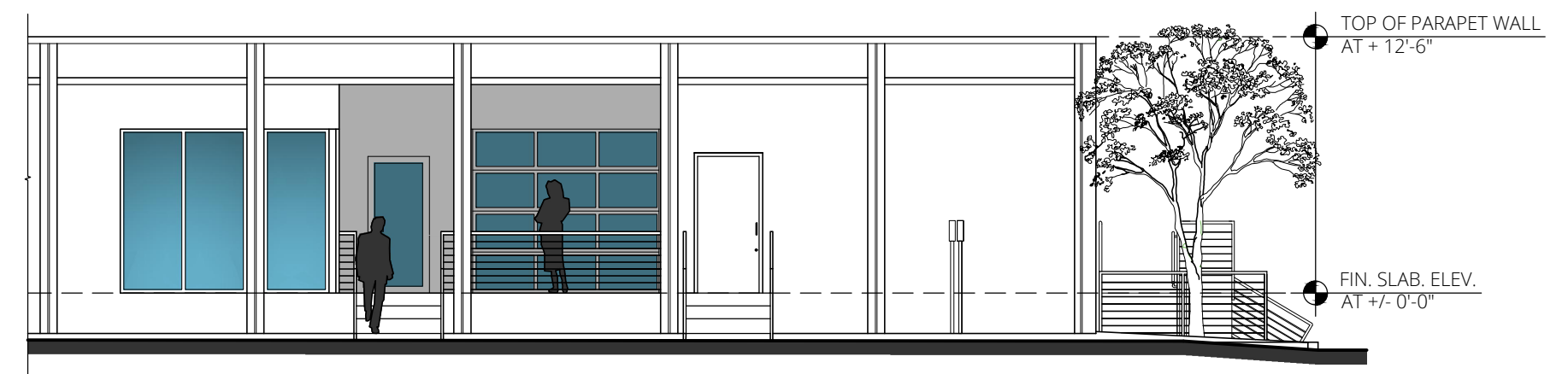
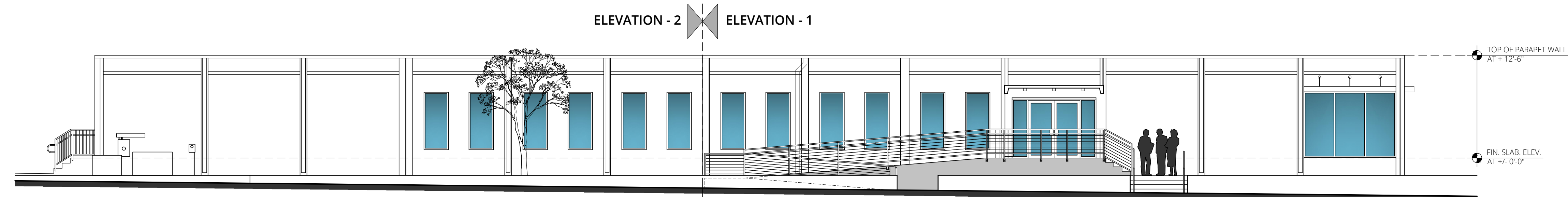
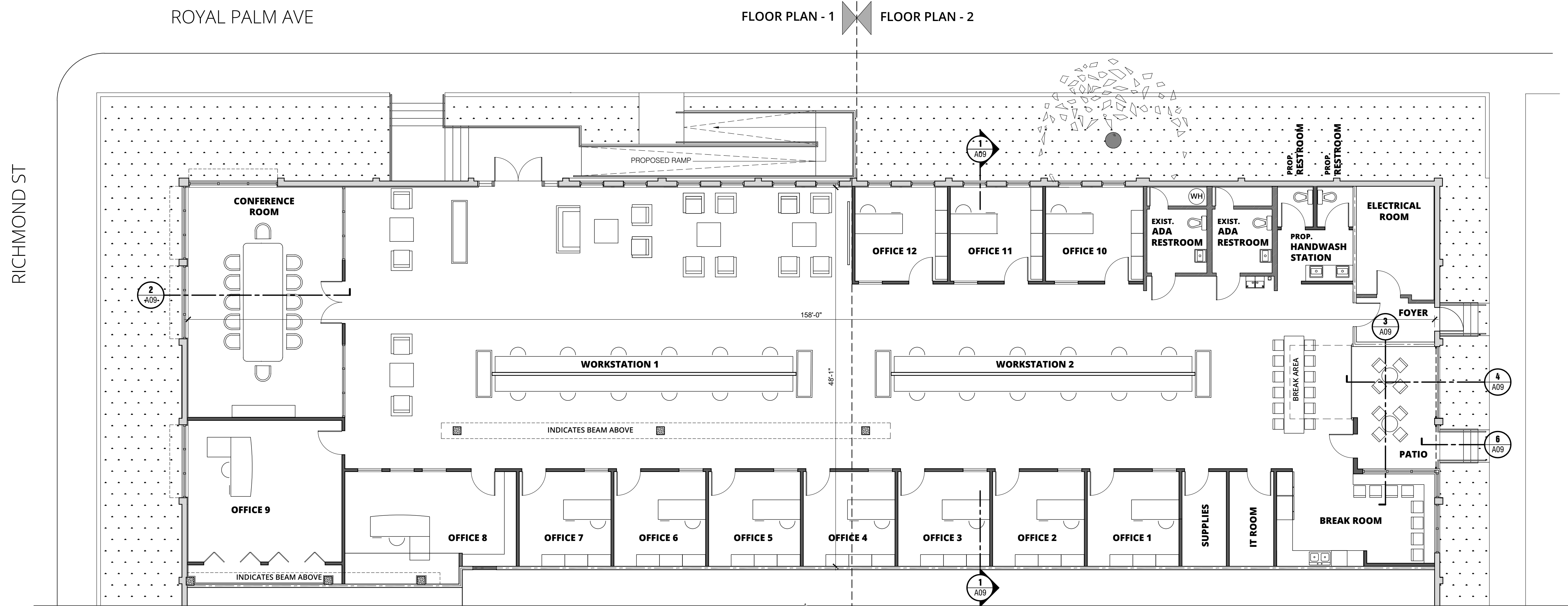
1610 ROYAL PALM AVE
 FORT MYERS, FL 33901

TENANT IMPROVEMENTS OFFICE BUILD - OUT

REVISIONS	
DATE	

FLORIDA BUILDING CODE ANALYSIS
KEY PLAN
 SCALE: AS INDICATED

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LEGEND:

SYMBOL	DESCRIPTION
[Solid Grey Box]	EXISTING EXTERIOR WALL (CONCRETE)
[Hatched Box]	EXISTING INTERIOR MTL STUD WALL
[Dark Grey Box]	PROPOSED INTERIOR MTL STUD WALL
[Thin Line Box]	PROPOSED INTERIOR MTL STUD WALL TOP @ 4'-6" A.F.F.
[Dotted Box]	EXIST. CONCRETE COLUMN

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RONALD REITZ, AIA
AR 92144

COMPLIANCE STATEMENT | GENERAL CONTRACTOR | ARCHITECT

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PHONE: 239-218-6894 (cell)

designers + planners
IN ASSOCIATION WITH

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AA 2000897
FORT MYERS, FL 33901
1412 DEAN STREET #200
PHONE: 239.791.0088

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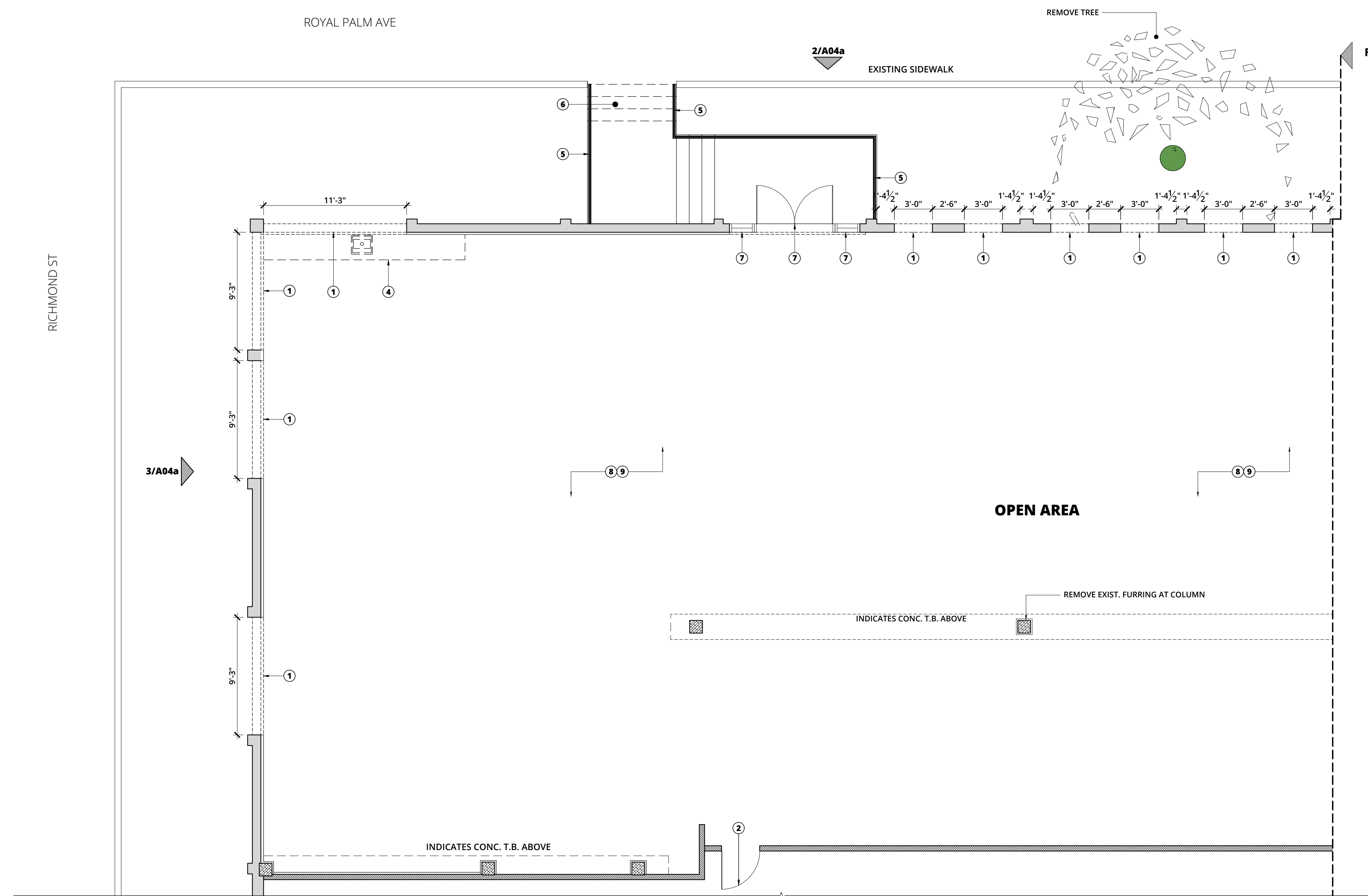
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1610 ROYAL PALM AVE
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REVISIONS

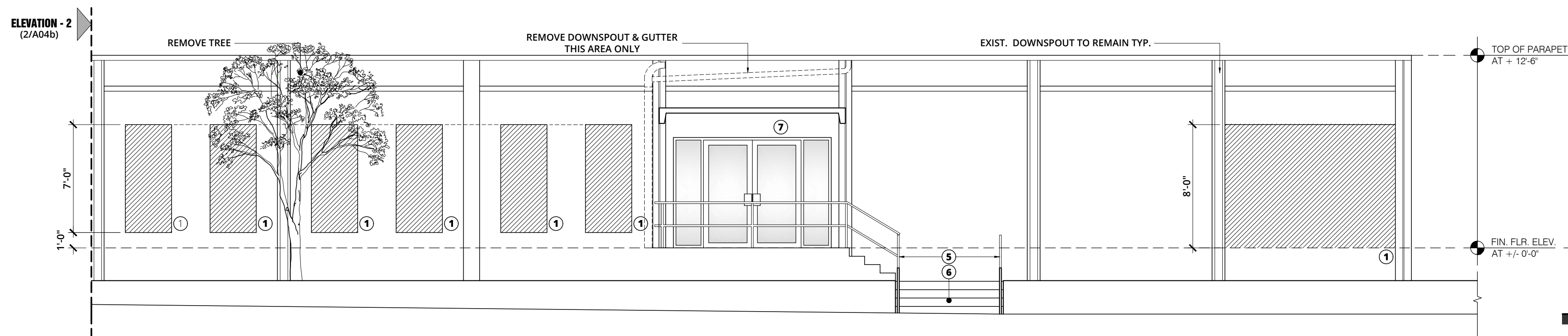
DATE	DESCRIPTION

**MASTER FLOOR PLAN
MASTER ELEVATIONS**

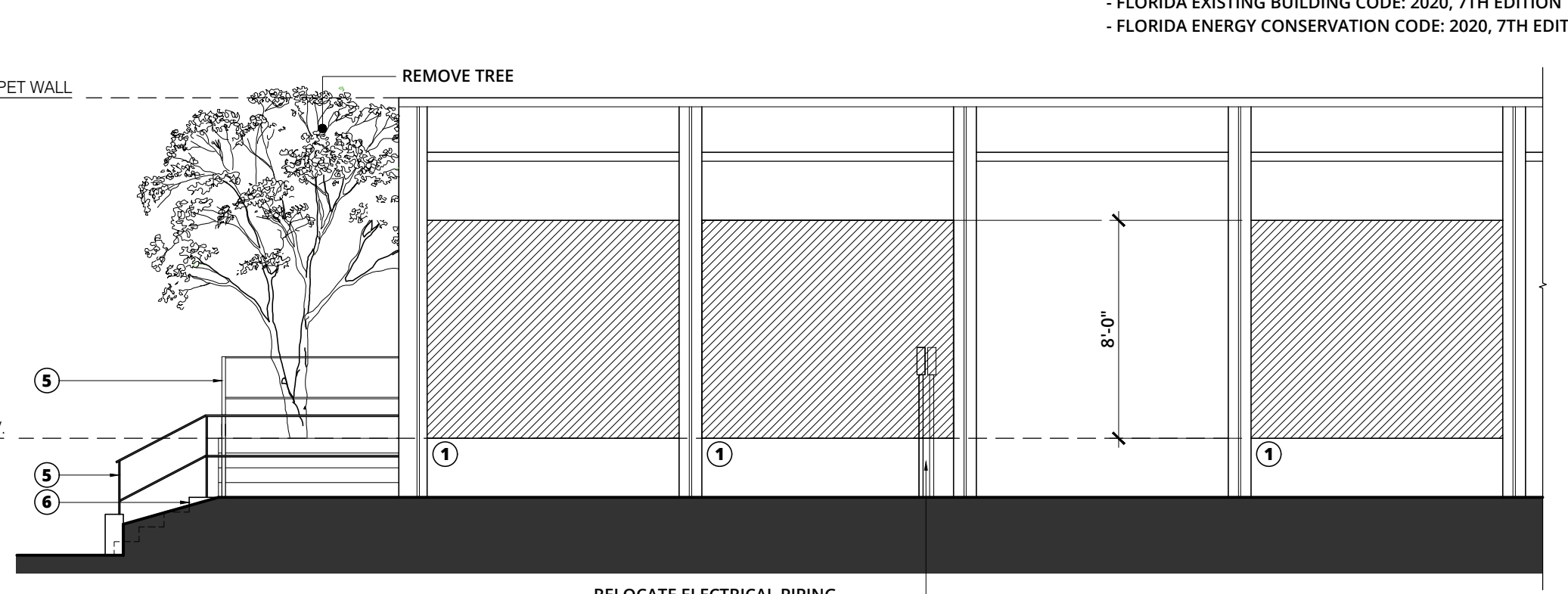
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1 PARTIAL DEMOLITION FLOOR PLAN 1
A04a SCALE: 3/16" = 1'-0"



2 PARTIAL DEMOLITION ELEVATION 1 - ROYAL PALM AVE
A04a SCALE: 3/16" = 1'-0"



3 DEMOLITION FRONT ELEVATION - RICHMOND ST
A04a SCALE: 3/16" = 1'-0"

- DEMOLITION TAG NOTE:**
- 1 EXTERIOR WALL TO BE DEMOLISHED
 - 2 EXISTING DOOR / FRAME TO BE REMOVED
 - 3 (SEE A04b)
 - 4 REMOVE KITCHEN COUNTER
 - 5 REMOVE HANDRAIL
 - 6 REMOVE CONCRETE STEPS
 - 7 REMOVE DBL. STOREFRONT DOOR W/ SIDELITES
 - 8 CEILING TO BE CLEANED & PREPARED FOR PAINT
 - 9 EXISTING FLOOR TO RECEIVE CARPET AND VINYL FLOORING
 - 10 (SEE A04b)
- GEN. NOTE:**
OPENING FOR PATIO, WINDOW, DOOR ON EXTERIOR WALL TO BE SAW CUT W/ RING SAW OR SIMILAR

- LEGEND:**
- | SYMBOL | DESCRIPTION |
|---------------------|---------------------------------|
| [Solid Line] | EXISTING EXTERIOR WALL |
| [Hatched Box] | EXIST. CONCRETE COLUMN |
| [Diagonal Line Box] | AREA TO BE DEMOLISHED |
| [Dashed Line] | WALL / OPENING TO BE DEMOLISHED |

- DEMOLITION NOTES:**
- REMOVE EXISTING INTERIOR PARTITION WALLS, DOORS, DOOR FRAMES AS INDICATED AND DISPOSE OF OFF SITE
 - PATCH ANY IMPERFECTION AT SURFACES TO MATCH EXISTING SURROUNDS
 - CEILING TYPE, SURFACES AND HEIGHTS TO REMAIN AS IS, UNLESS NOTED IN PROPOSED REFLECTED CEILING PLAN.
 - REFER TO MANUFACTURER'S SPECS FOR FLOORING AND PREPARE FLOOR AREA TO RECEIVE FINISH, SELECTED BY TENANT

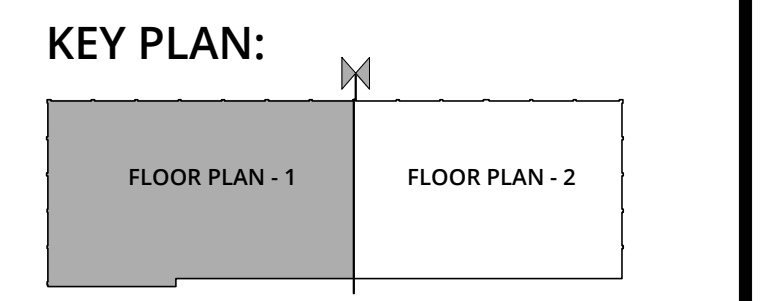
- ELECTRICAL / PLUMBING NOTE:**
- DRAWINGS AND FIELD MEASUREMENT SHOW SOME PLUMBING AND ELECTRICAL IN WALLS. EXISTING ELECTRICAL TO BE REMOVED. REPLACE EXISTING WATERLINE SUPPLYING WATER TO ADJACENT UNIT

- GENERAL REQUIREMENTS:**
- THESE SPECIFICATIONS ARE TO BE CONSIDERED AS ADDITIONAL REQUIREMENTS TO THE PROJECT SPECIFICATIONS AS PREPARED BY THE MANUFACTURER. IN CASE OF A CONFLICT BETWEEN THESE SPECIFICATIONS AND THE PROJECT SPECIFICATIONS, THE PROJECT SPECIFICATIONS MUST HOLD PRECEDENT.

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COMPLIANCE STATEMENT GENERAL CONTRACTOR ARCHITECT

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PROJECT DATA

TITLE	ROYAL PALM
JOB #	22-cr-03
DATE	6-03-22
DRAWN	ES
DATE	
CHECKED	ab
CH. DATE	

PROJECT

1610 ROYAL PALM AVE
FORT MYERS, FL 33901

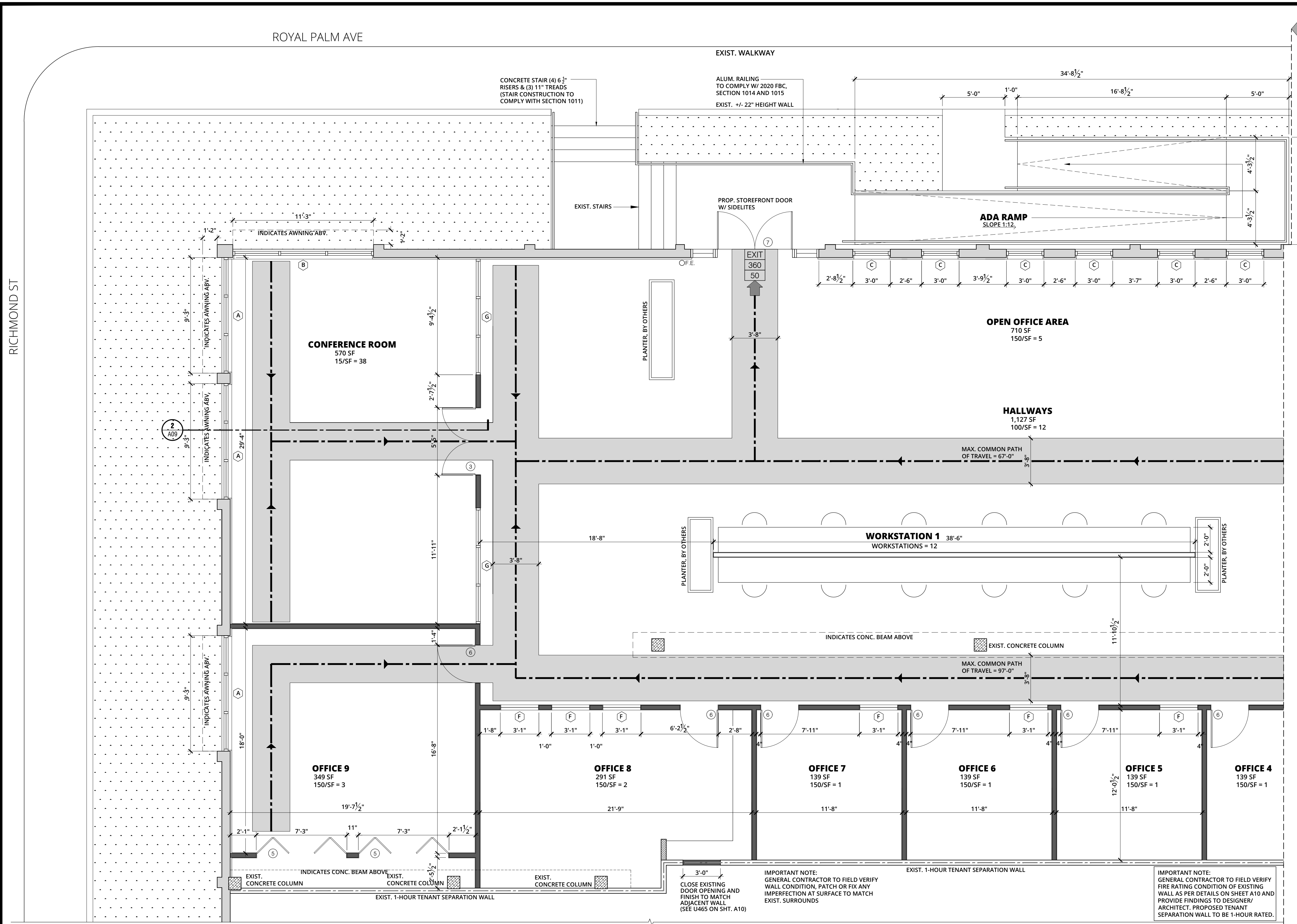
TENANT IMPROVEMENTS
OFFICE BUILD - OUT

REVISIONS

DATE	REVISION

DEMOLITION - FLOOR PLAN 1
- ELEVATION 1
ROYAL PALM AVE
- ELEVATION
RICHMOND STREET
SCALE: 3/16" = 1'-0"

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FLOOR PLAN 2
1/A05b

- LEGEND:**
- | SYMBOL | DESCRIPTION |
|----------|---|
| [Symbol] | EXISTING EXTERIOR WALL (CONCRETE) |
| [Symbol] | EXISTING INTERIOR MTL STUD WALL |
| [Symbol] | PROPOSED INTERIOR MTL STUD WALL |
| [Symbol] | PROPOSED INTERIOR MTL STUD WALL TOP AT 4'-6" A.F.F. |
| [Symbol] | 1-HOUR FIRE RATED TENANT SEPARATION WALL (SEE DETAIL U465 ON SHEET A10) |
| [Symbol] | EXIST. CONCRETE COLUMN |

- LIFE SAFETY PLAN LEGEND:**
- | SYMBOL | DESCRIPTION |
|----------|--|
| [Symbol] | MIN. CLEAR PATH OF TRAVEL |
| [Symbol] | EGRESS DOORWAY, ALL DOORS SHALL BE OPERABLE FROM THE EGRESS SIDE WITHOUT USE OF A KEY, TOOL OR ANY SPECIAL KNOWLEDGE OR EFFORT |
| [Symbol] | ILLUMINATED EMERGENCY EXIT SIGN |
| [Symbol] | EXIT CAPACITY (*) |
| [Symbol] | ACTUAL OCCUPANT LOAD |
| [Symbol] | LIFE SAFETY ROUTE |
| [Symbol] | FIRE EXTINGUISHER (REFER TO FIRE EXTINGUISHER NOTE) |
- (*) AS PER 2020 FBC, 1005.3.2, 0.20 INCH PER OCCUPANT.

FIRE EXTINGUISHER NOTE:
PROVIDE & INSTALL MIN. (2) TWO A10BC FIRE EXTINGUISHERS PER UNIT IN LOCATIONS AS REQUIRED BY FIRE INSPECTOR. PORTABLE FIRE EXTINGUISHER IN COMPLIANCE WITH FFPC SECTION 9.7.4.1, 36.3.3.3 AND NFPA 10 FOR ORDINARY (MODERATE) HAZARD (CLASS "B") MINIMUM OF TWO (2) WALL MOUNTED/BRACKET MOUNTED FIRE EXTINGUISHER PER ANTICIPATED TENANT AREA. VERIFY EXACT LOCATION IN FIELD WITH FIRE MARSHAL. IN ADDITION PROVIDE ONE HIGH-HAZARD FIRE EXTINGUISHER IN KITCHEN AS PER NFPA 10.

GENERAL REQUIREMENTS:
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PROJECT DATA

TITLE	ROYAL PALM
JOB #	22-cr-03
DATE	6-03-22
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CHK DATE	
CHECKED	ab
CH DATE	

TENANT IMPROVEMENTS
OFFICE BUILD - OUT
1610 ROYAL PALM AVE
FORT MYERS, FL 33901

REVISIONS

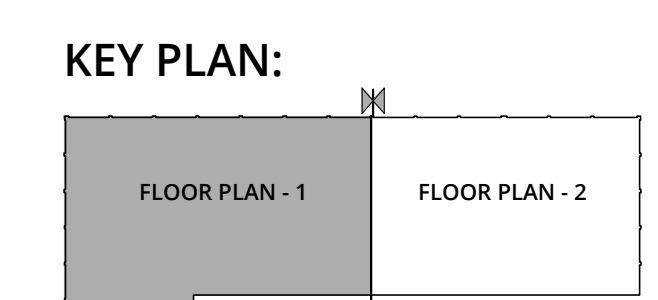
DATE	DESCRIPTION

1 PROP. PARTIAL FLOOR PLAN 1
A05a SCALE: 1/4" = 1'-0"

OCCUPANT LOAD CALCULATION
AS PER 2020 FBC: TABLE 1004.1.2

ROOM NAME	AREA (S.F.)	REQUIRED S.F. PER OCCUP.	N° OF OCCUPANTS	ROOM NAME	AREA (S.F.)	REQUIRED S.F. PER OCCUP.	N° OF OCCUPANTS
OFFICE 1	139	150	1	CONFERENCE ROOM	570	15	38
OFFICE 2	139	150	1	WORKSTATION 1	STATION UNIT	12	12
OFFICE 3	139	150	1	WORKSTATION 2	STATION UNIT	12	12
OFFICE 4	139	150	1	OPEN OFFICE AREA	710	150	5
OFFICE 5	139	150	1	UNISEX RESTROOM 1	61	100	1
OFFICE 6	139	150	1	UNISEX RESTROOM 2	61	100	1
OFFICE 7	139	150	1	UNISEX RESTROOM 3	23	100	1
OFFICE 8	291	150	2	UNISEX RESTROOM 4	23	100	1
OFFICE 9	349	150	3	HANDWASH STATION	62	100	1
OFFICE 10	138	150	1	SUPPLIES	67	300	1
OFFICE 11	138	150	1	IT ROOM	67	300	1
OFFICE 12	146	150	1	SEATING	141	200	1
TOTAL OCCUPANTS =				93			

NOTE: SEE BUILDING CODE SECTION 303.1.1 FOR OCCUPANT CLASSIFICATION



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RONALD REITZ, AIA
AR 92144

COMPLIANCE STATEMENT GENERAL CONTRACTOR ARCHITECT RONALD REITZ, ARCHITECT AIA
PHONE: 239-218-6894 (cell)

PROP. PARTIAL FLOOR PLAN - 1 W/ LIFE SAFETY PLAN

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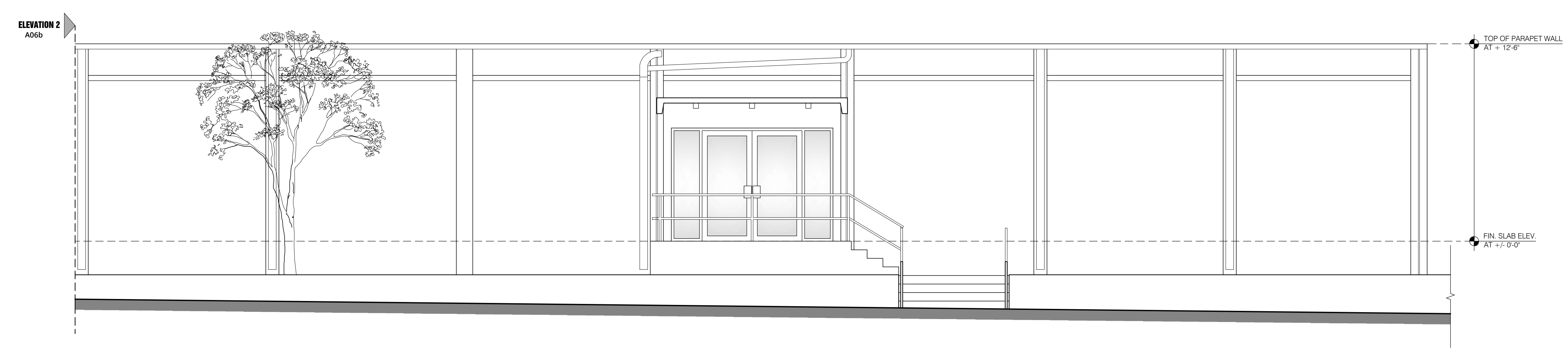
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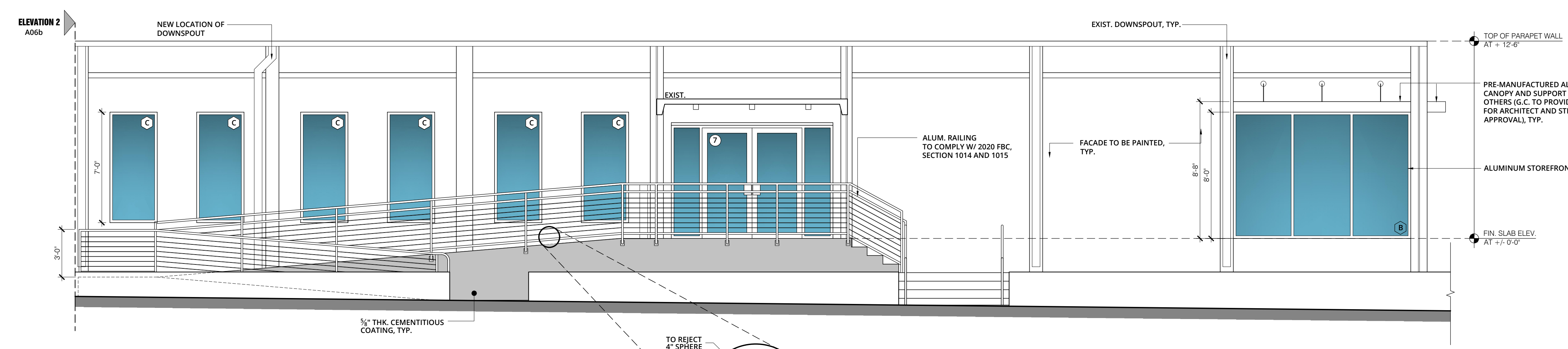
REVISIONS

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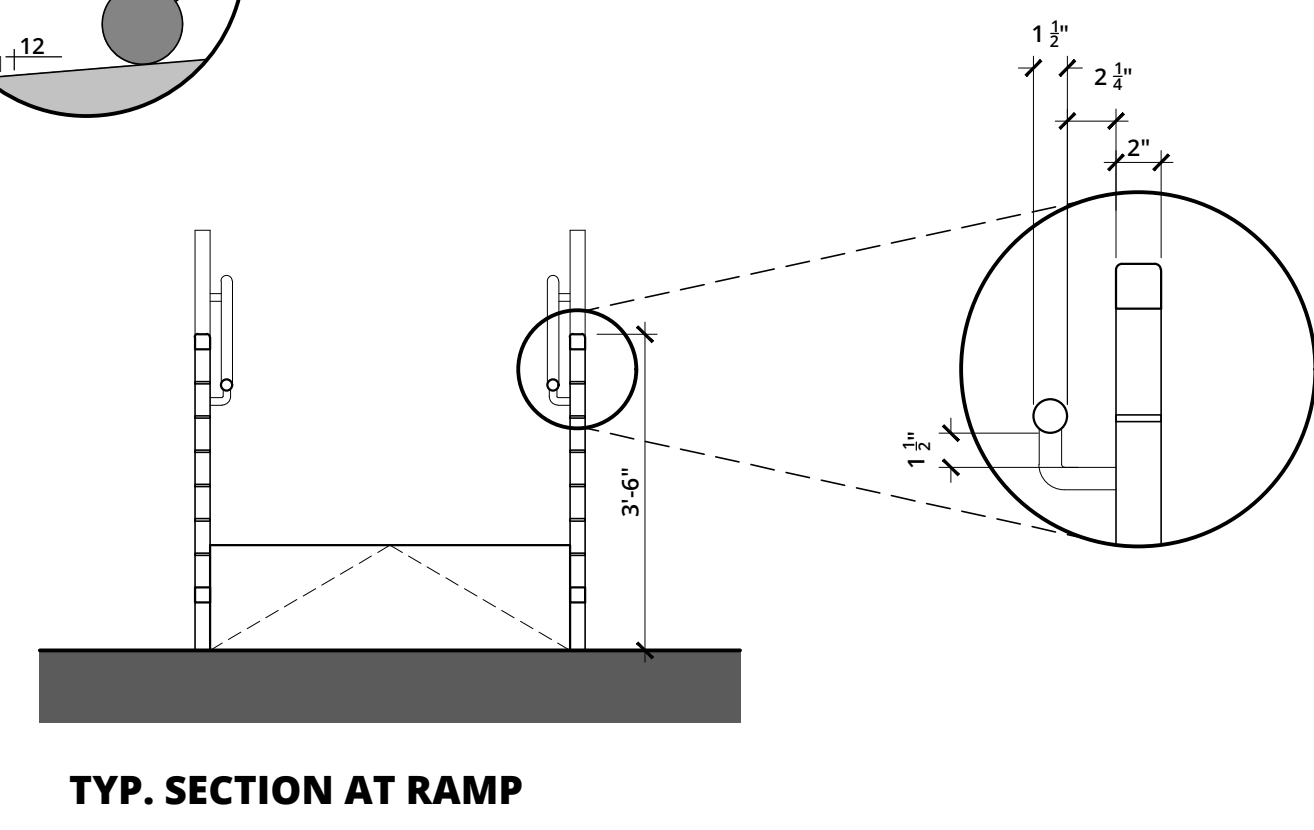
EXISTING/ PROPOSED ELEVATION 1 - ROYAL PALM AVE



1 | **EXISTING PARTIAL ELEVATION 1 - ROYAL PALM AVE**
 A06a | SCALE: 1/4" = 1'-0"



2 | **PROPOSED PARTIAL ELEVATION 1 - ROYAL PALM AVE**
 A06a | SCALE: 1/4" = 1'-0"

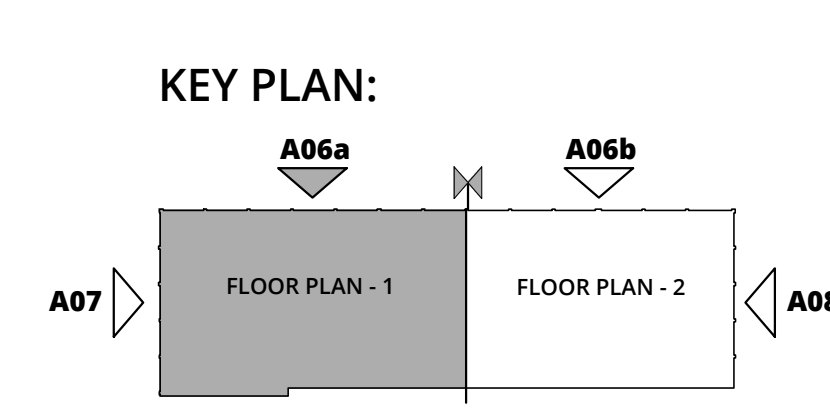


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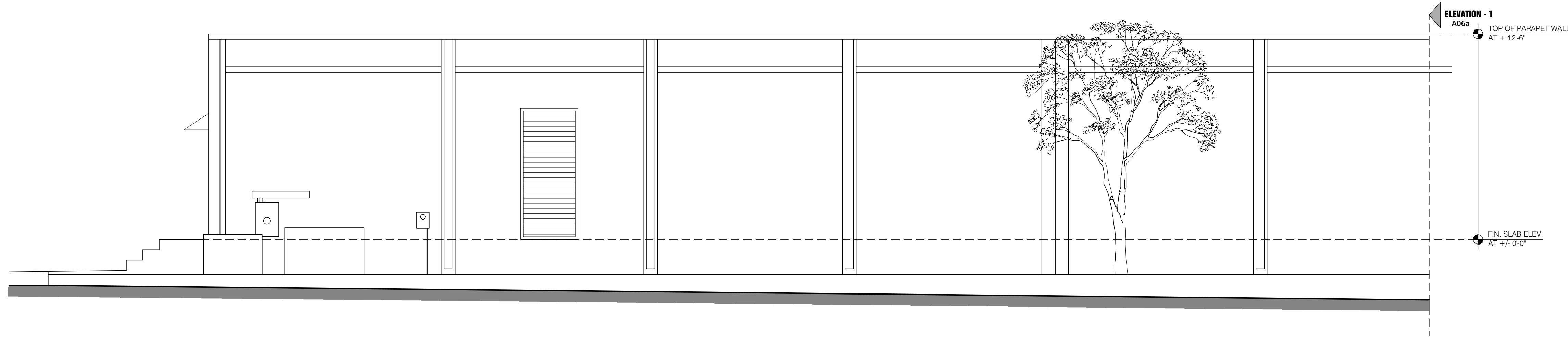


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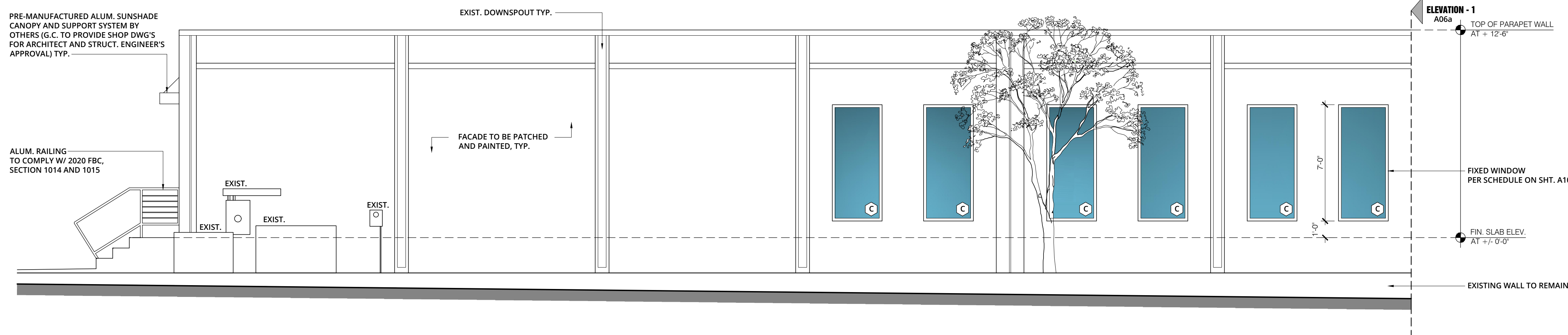
RONALD REITZ, AIA
 AR 92144

COMPLIANCE STATEMENT	GENERAL CONTRACTOR	ARCHITECT
----------------------	--------------------	-----------

RONALD REITZ, ARCHITECT AIA
 PHONE: 239-218-6894 (cell)



1 | **EXISTING PARTIAL ELEVATION 1 - ROYAL PALM AVE**
 A06b | SCALE: 1/4" = 1'-0"



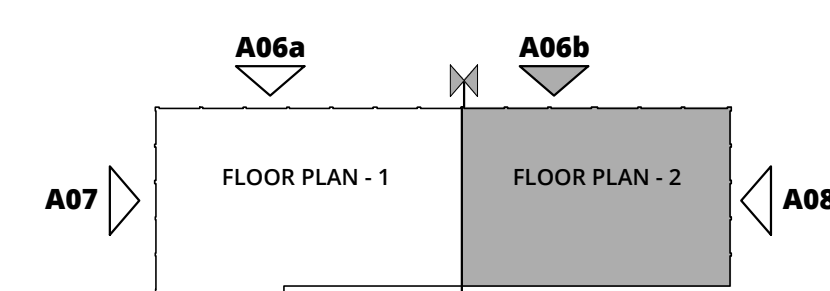
2 | **PROPOSED PARTIAL ELEVATION 1 - ROYAL PALM AVE**
 A06b | SCALE: 1/4" = 1'-0"

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 DETAILS ON THE DRAWINGS THAT SHOW CONDITIONS IN HIDDEN AREAS ARE BASED ON DOCUMENTS PROVIDED BY THE G.C. THE DESIGNER AND THE ENGINEER DO NOT GUARANTEE THE ACCURACY OF THE EXISTING CONSTRUCTION DOCUMENTS. DETAILS ON THESE DRAWINGS REGARDING HIDDEN CONDITIONS COULD NOT BE VERIFIED BEFORE CONSTRUCTION.
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 - FLORIDA ENERGY CONSERVATION CODE: 2020, 7TH EDITION

KEY PLAN:



THESE PLANS WERE PREPARED AND SHALL COMPLY WITH THE 2020 FLORIDA BUILDING CODE. THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE CODES AND NOTIFY THE ARCHITECT, DESIGNER AND ENGINEER BEFORE STARTING CONSTRUCTION OR ANY DISCREPANCIES BETWEEN DRAWINGS AND/OR FIELD CONDITIONS. THE DESIGNER DOES NOT ASSUME RESPONSIBILITY FOR CONSTRUCTION OBSERVATION OR SUPERVISION.

RONALD REITZ, AIA
 AR 92144

COMPLIANCE STATEMENT | GENERAL CONTRACTOR | ARCHITECT | RONALD REITZ, ARCHITECT AIA
 PHONE: 239-218-6894 (cell)

PROJECT DATA

TITLE	ROYAL PALM
JOB #	22-cr-03
DATE	6-03-22
DRAWN	es
DATE	
CHECKED	ab
DATE	

PROJECT

1610 ROYAL PALM AVE
 FORT MYERS, FL 33901

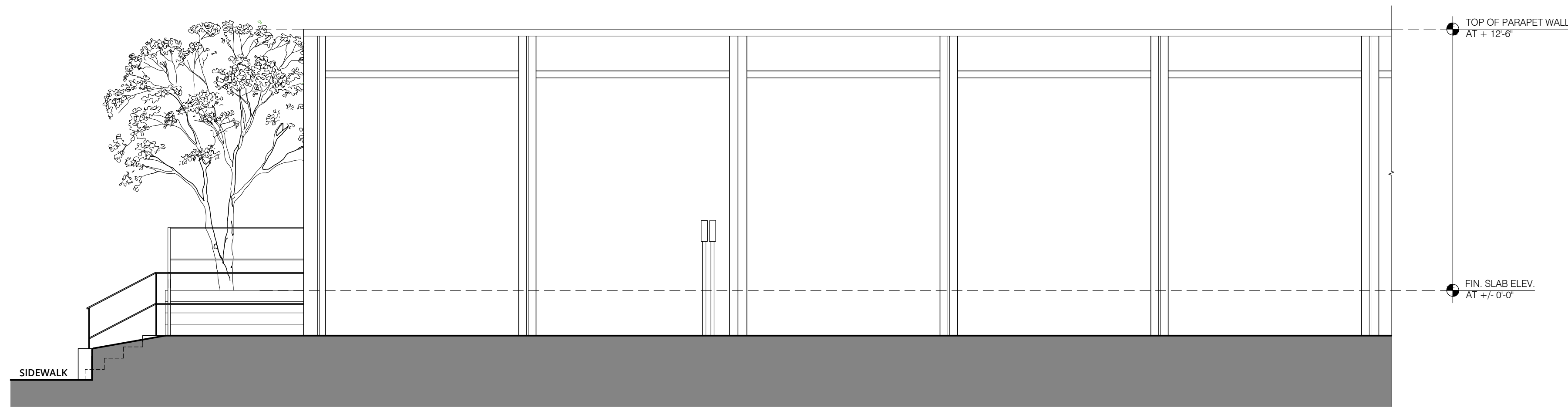
TENANT IMPROVEMENTS
 OFFICE BUILD - OUT

REVISIONS

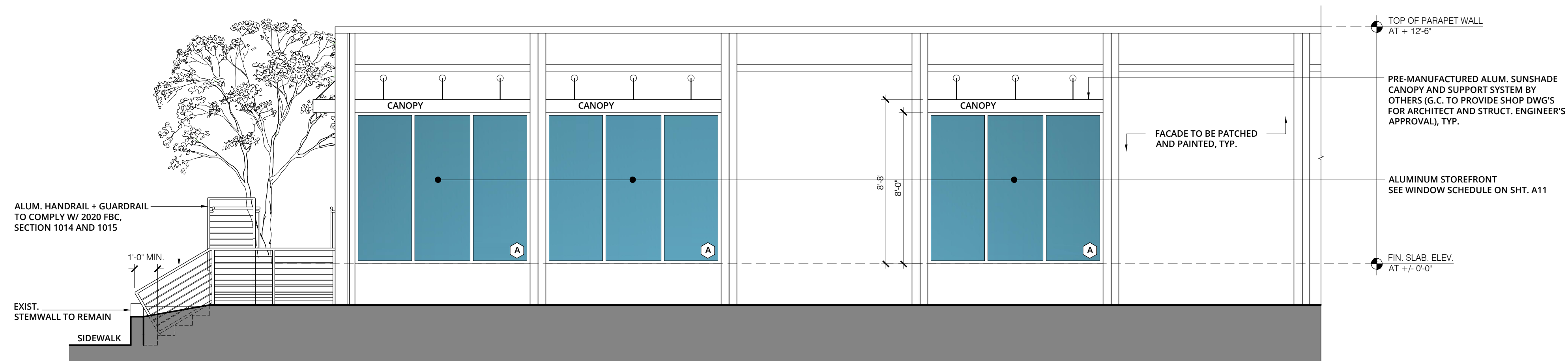
DATE	REVISIONS

EXISTING/ PROPOSED ELEVATION 2 - ROYAL PALM AVE

SCALE: 1/4" = 1'-0"

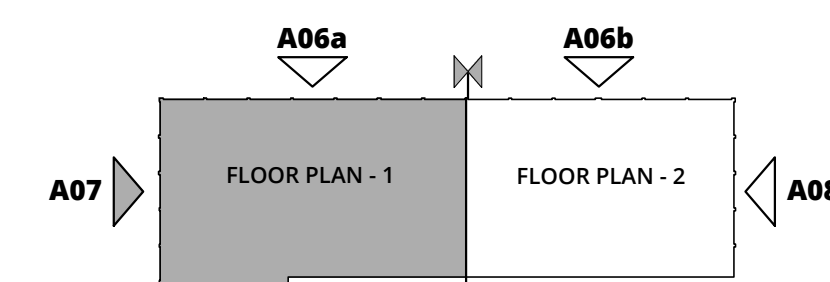


1 | **EXISTING ELEVATION - RICHMOND ST**
A07 | SCALE: 1/4" = 1'-0"



2 | **PROPOSED ELEVATION - RICHMOND ST**
A07 | SCALE: 1/4" = 1'-0"

KEY PLAN:



GENERAL REQUIREMENTS:

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EXISTING CONDITIONS:

THE CONTRACTOR SHALL REVIEW THE EXISTING SITE AND ALL EXISTING CONSTRUCTION BEFORE STARTING DEMOLITION AND/OR CONSTRUCTION. VERIFY ALL EXISTING CONSTRUCTION MEETS THE REQUIREMENTS OF THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF THE OTHER DISCIPLINES.

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RONALD REITZ, AIA
AR 92144

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ARCHITECT

RONALD REITZ, ARCHITECT AIA
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1610 ROYAL PALM AVE
FORT MYERS, FL 33901

TENANT IMPROVEMENTS
OFFICE BUILD - OUT

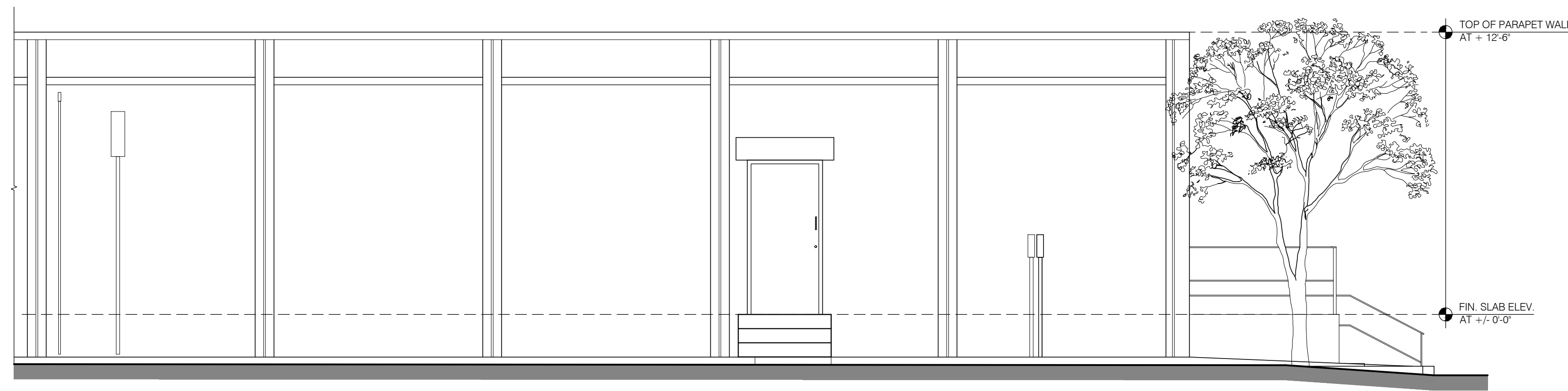
REVISIONS

DATE	REVISION

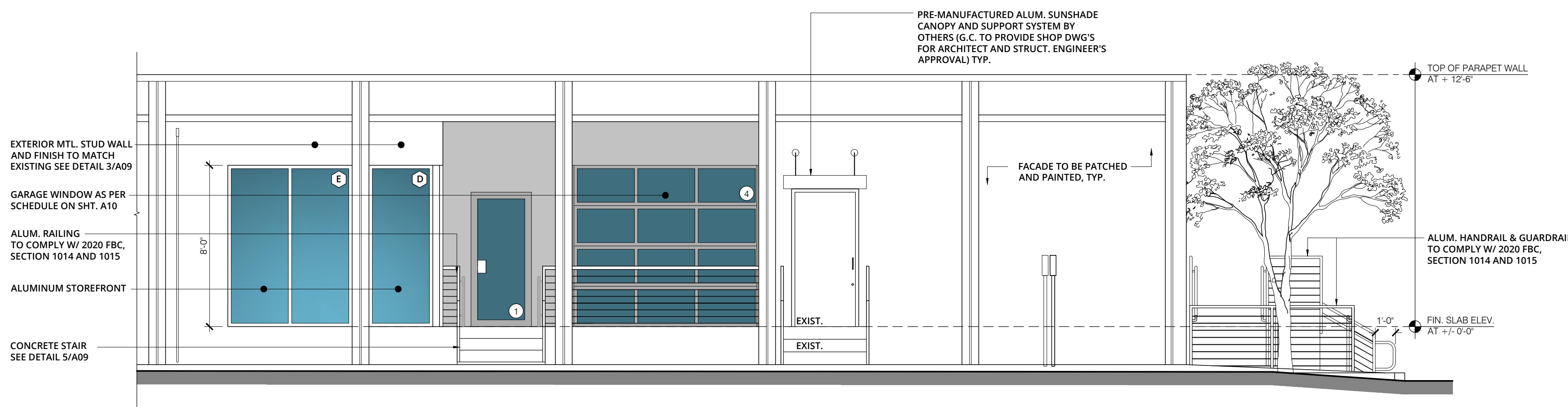
EXISTING/ PROPOSED ELEVATION - RICHMOND STREET

SCALE: 1/4" = 1'-0"

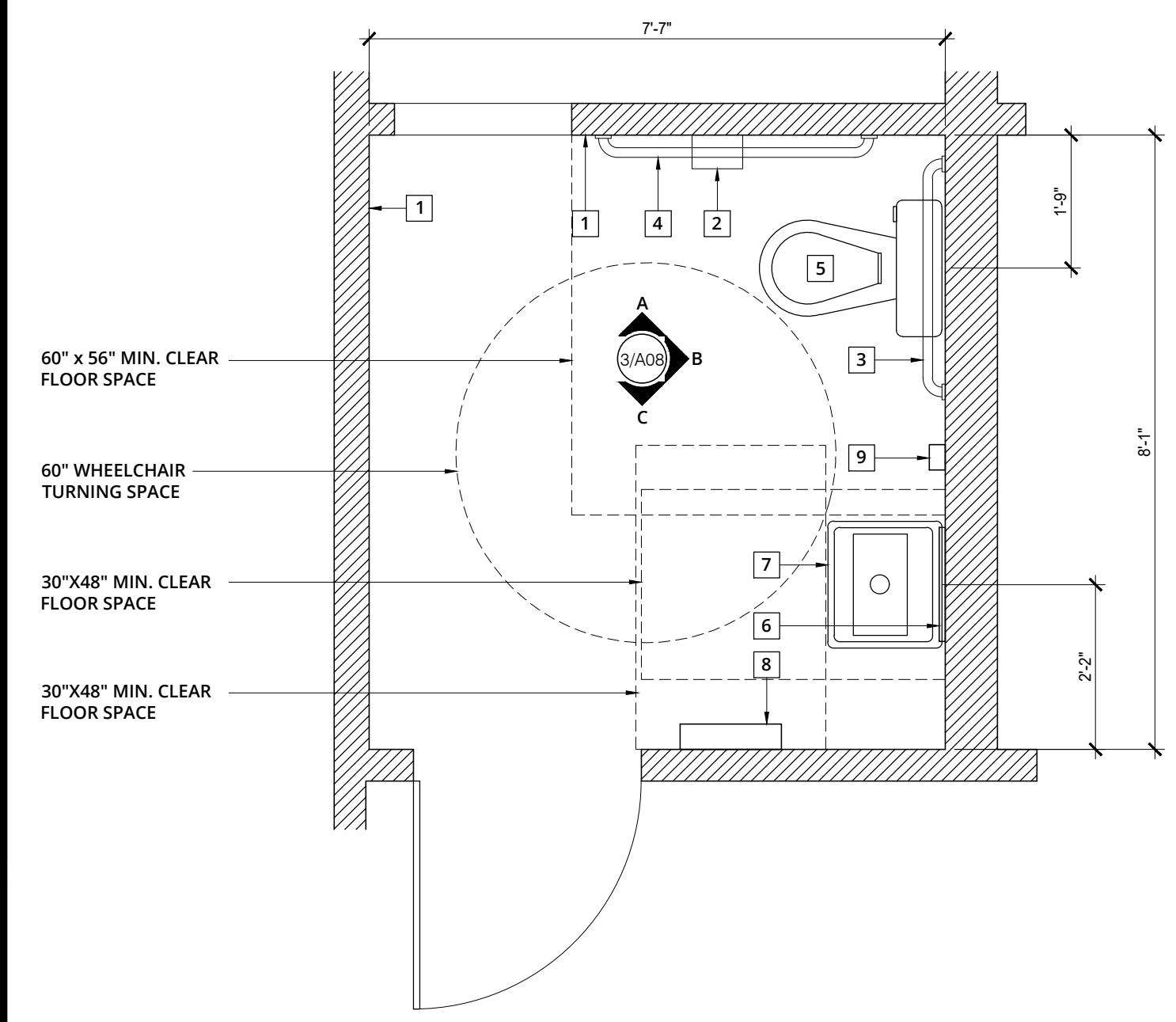
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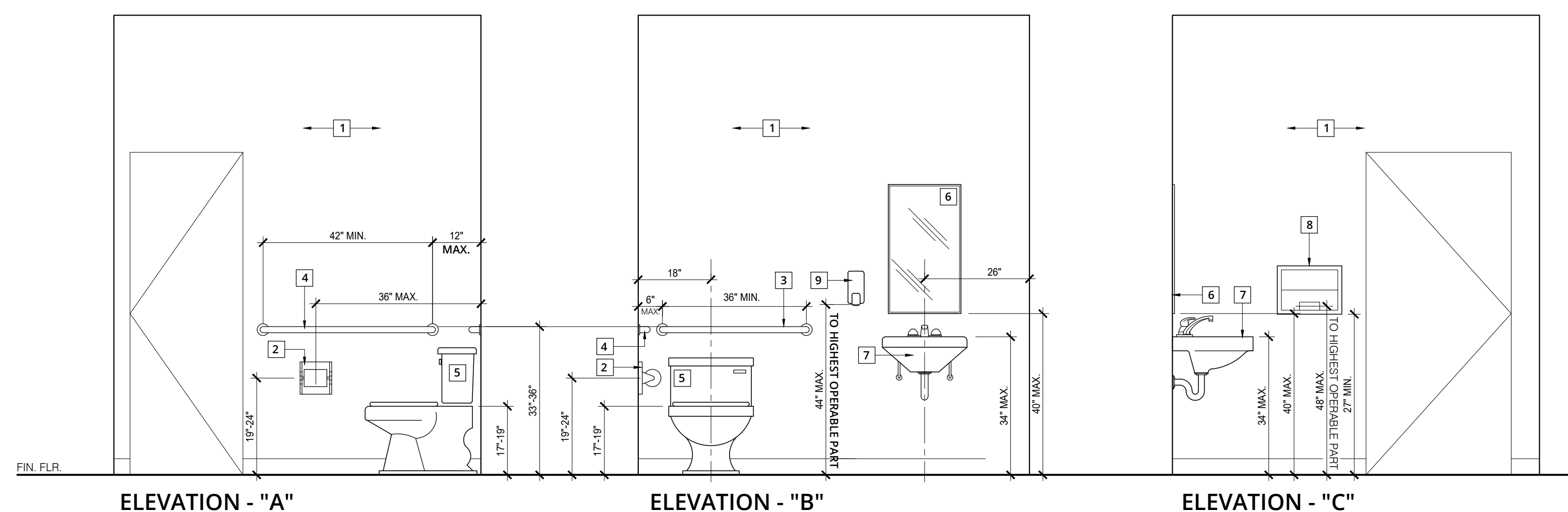
1 | **EXISTING ELEVATION - PARKING LOT**
A08 | SCALE: 1/4" = 1'-0"



2 | **PROPOSED ELEVATION - PARKING LOT**
A08 | SCALE: 1/4" = 1'-0"

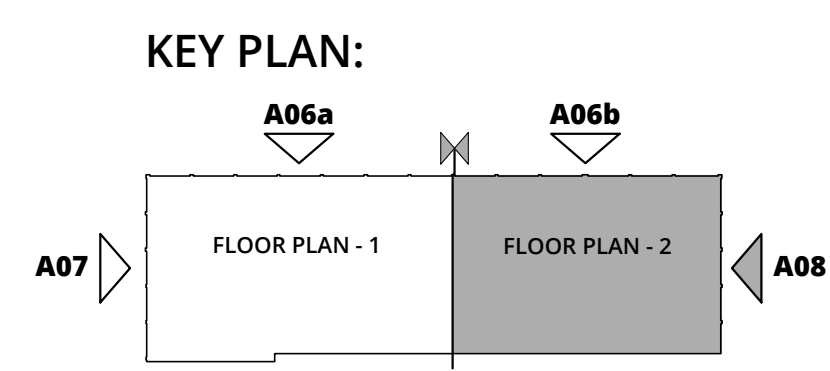


3 | **TYP. ENLARGED ADA RESTROOM**
A08 | SCALE: 1/2" = 1'-0"



4 | **TYP. ADA RESTROOM ELEVATIONS**
A08 | SCALE: 1/2" = 1'-0"

- RESTROOM LEGEND**
- SMOOTH FINISH MOISTURE RESISTANT GYPSUM BOARD
 - TOILET PAPER HOLDER, SURFACE MOUNTED
 - 36" 5/8" HANDICAP GRAB BAR, 1-1/4" TO 1-1/2" DIA.
 - 42" 5/8" HANDICAP GRAB BAR, 1-1/4" TO 1-1/2" DIA. NOTE: SPACE BTWN. WALL AND GRAB BARS: 1-1/2"
 - HC WATER CLOSET SEAT, HT. @ 17"-19" A.F.F.
 - 18" X 32" MIRROR (FRAMILESS) RECESSED
 - HC - LAVATORY
 - PAPER TOWEL DISPENSER
 - SOAP DISPENSER (MUST BE OPERABLE WITH ONE HAND)



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RONALD REITZ, AIA
AR 92144

COMPLIANCE STATEMENT | GENERAL CONTRACTOR | ARCHITECT

RONALD REITZ, ARCHITECT AIA
PHONE: 239-218-6894 (cell)

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1610 ROYAL PALM AVE
FORT MYERS, FL 33901

TENANT IMPROVEMENTS
OFFICE BUILD - OUT

REVISIONS

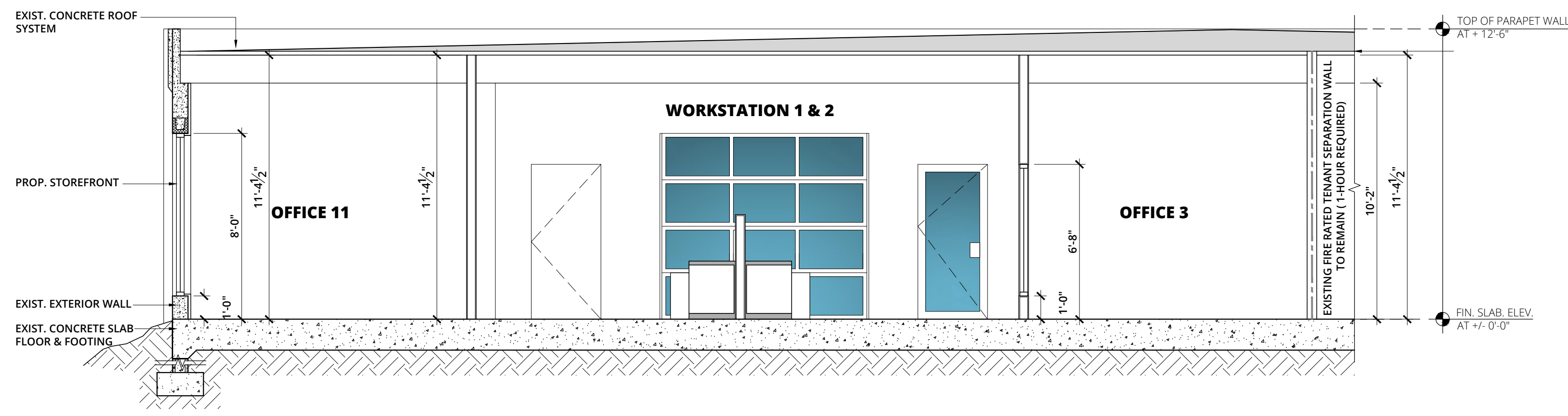
DATE	DESCRIPTION

EXISTING/ PROPOSED ELEVATION - PARKING LOT ENLARGED RESTROOM DETAILS

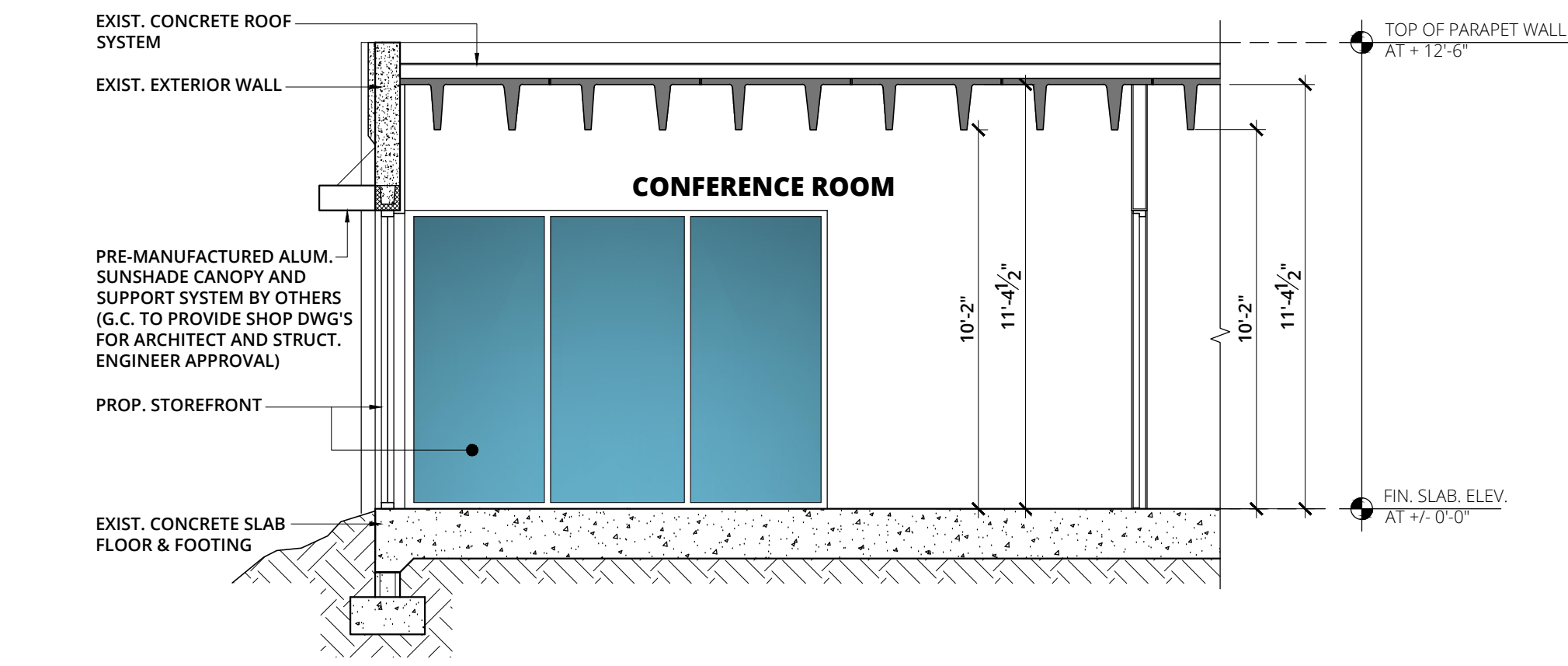
SCALE: AS INDICATED

A08 OF **11**

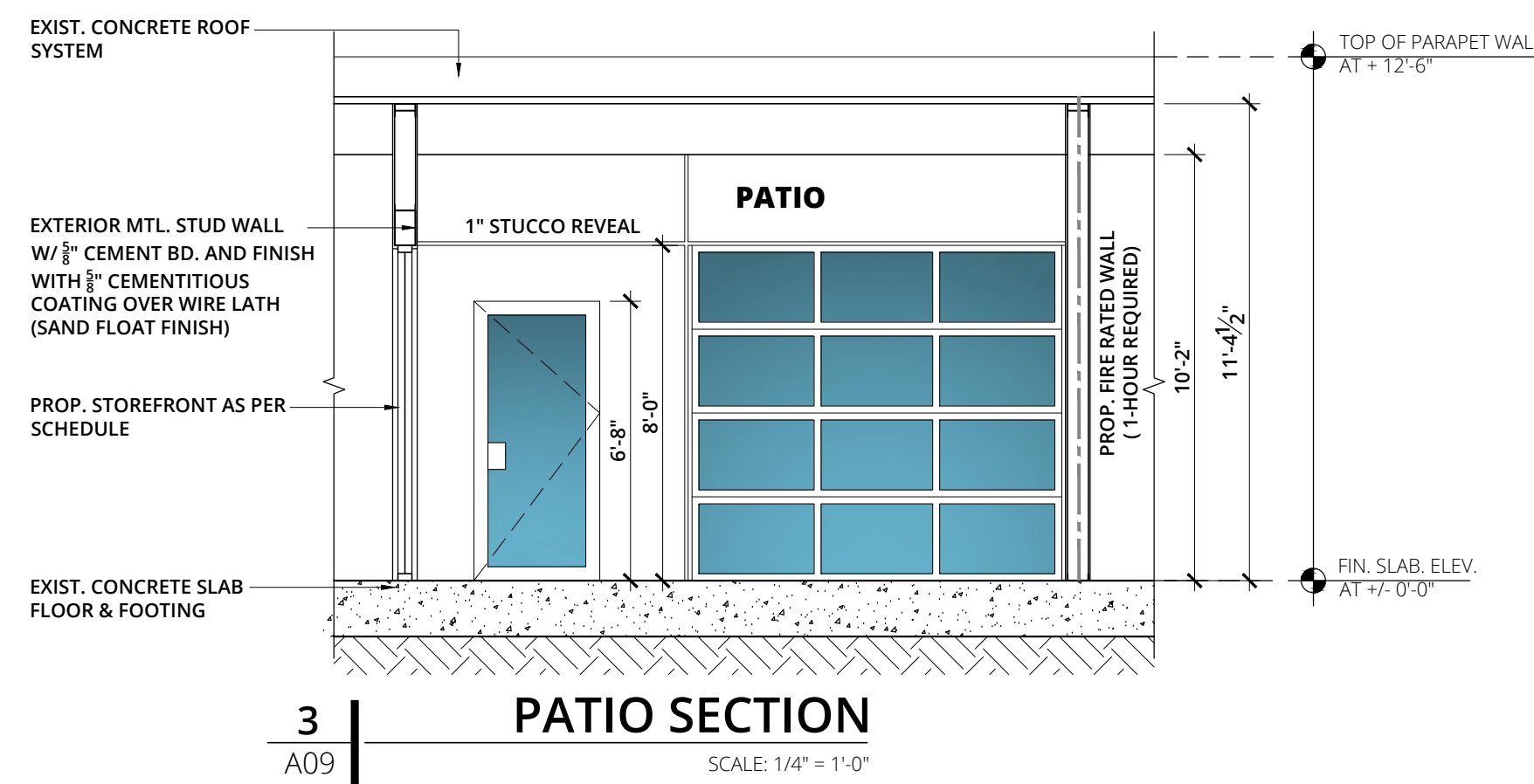
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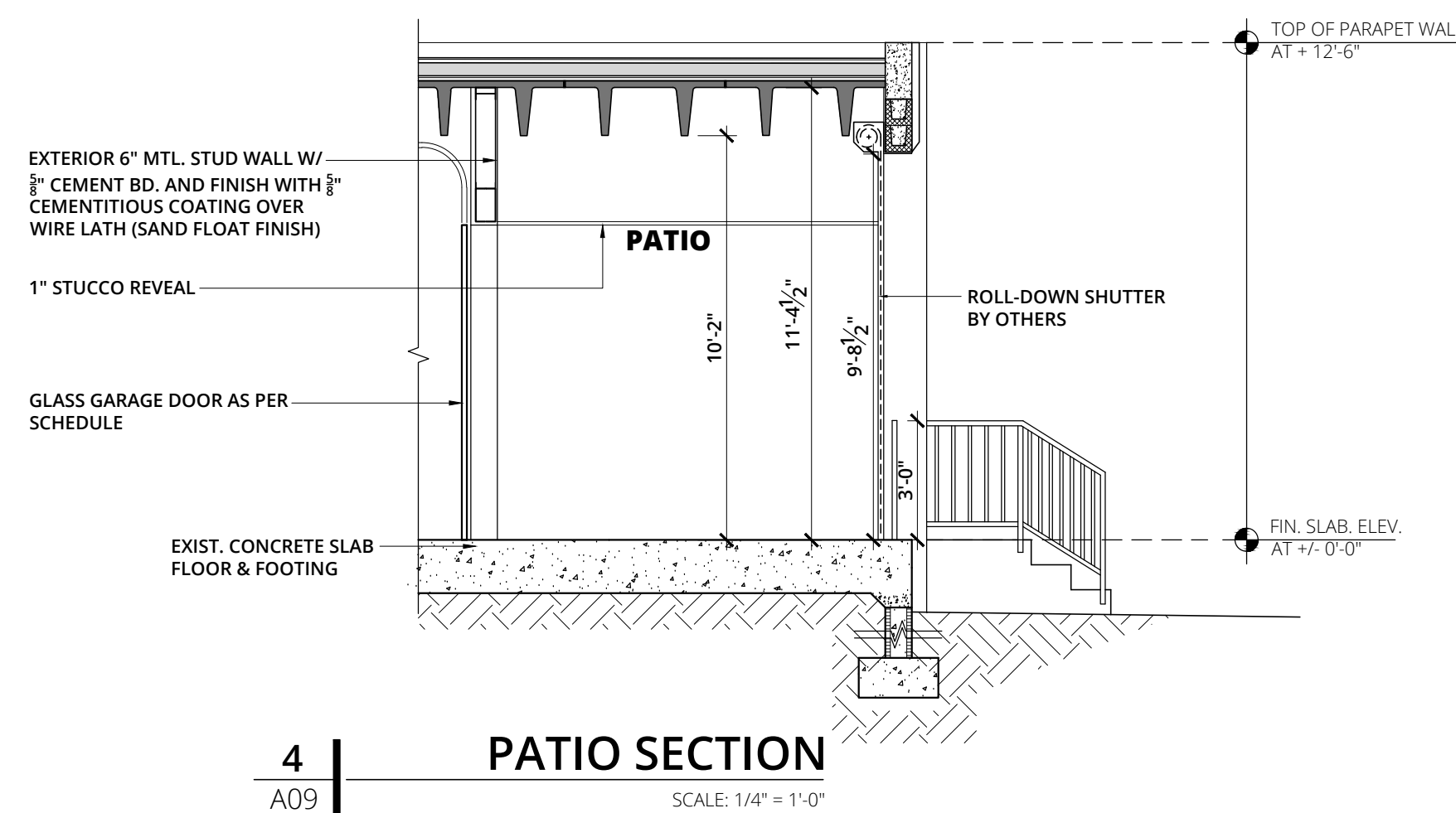
1 BUILDING SECTION
A09 SCALE: 1/4" = 1'-0"



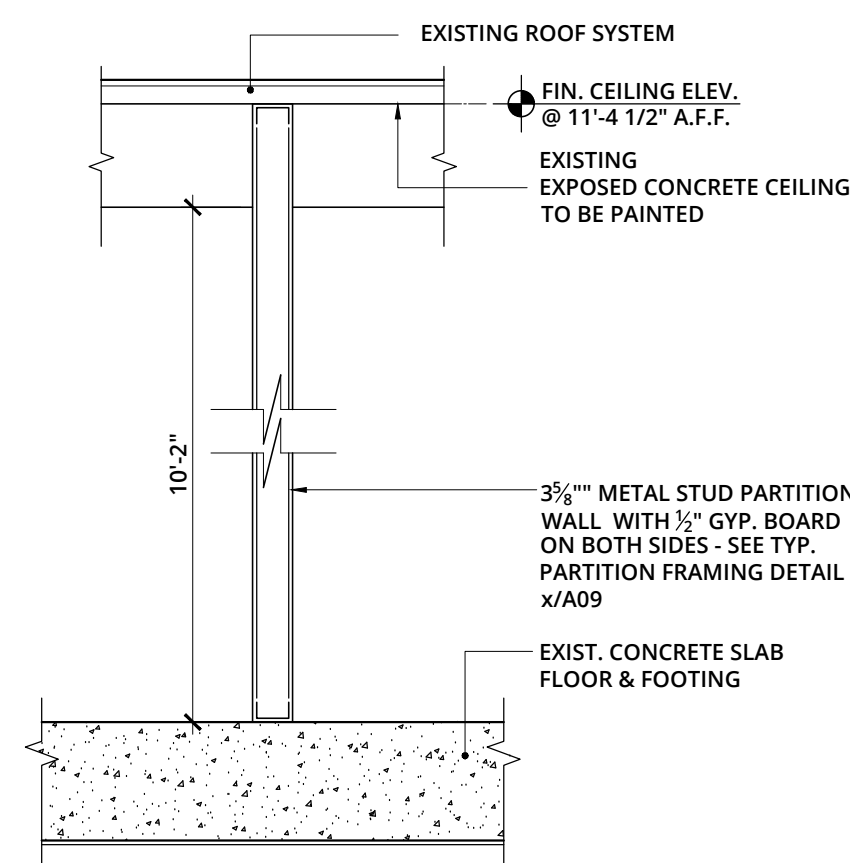
2 SECTION
A09 SCALE: 1/4" = 1'-0"



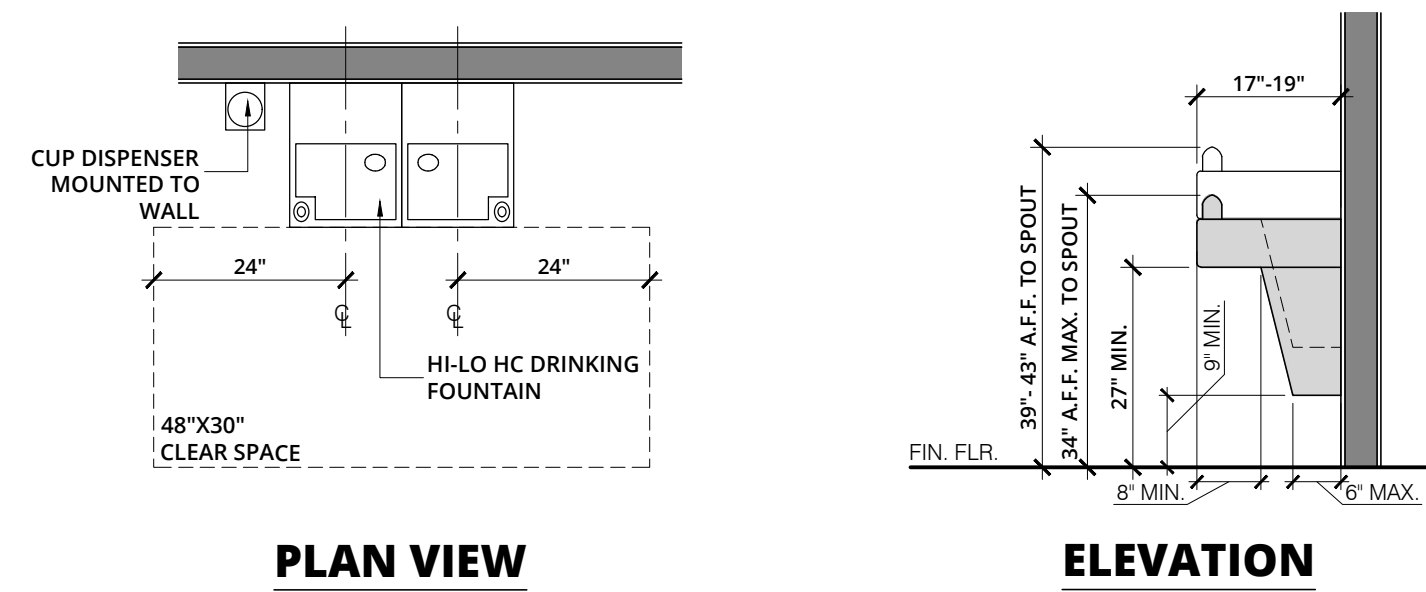
3 PATIO SECTION
A09 SCALE: 1/4" = 1'-0"



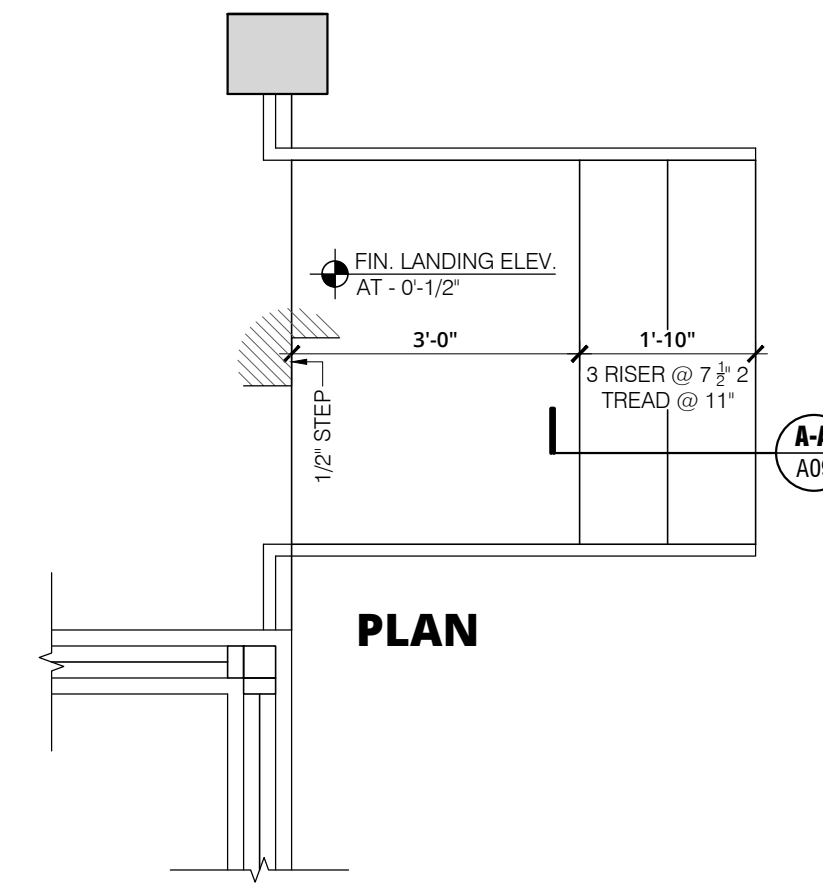
4 PATIO SECTION
A09 SCALE: 1/4" = 1'-0"



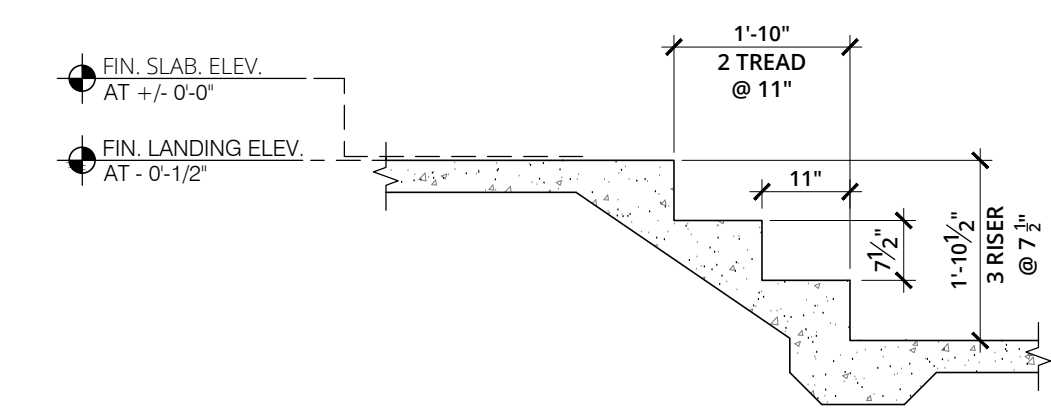
6 TYP. WALL SECTION
A09 SCALE: N.T.S.



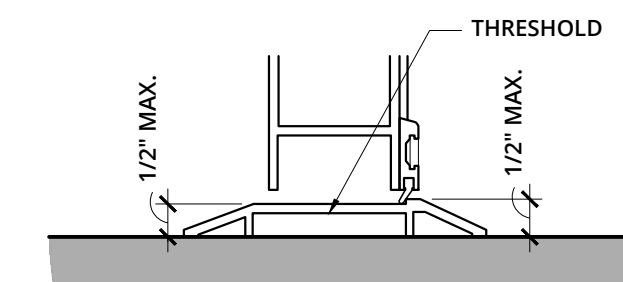
8 TYPICAL HI-LO DRINKING FOUNTAIN
A05 SCALE: 1/2" = 1'-0"



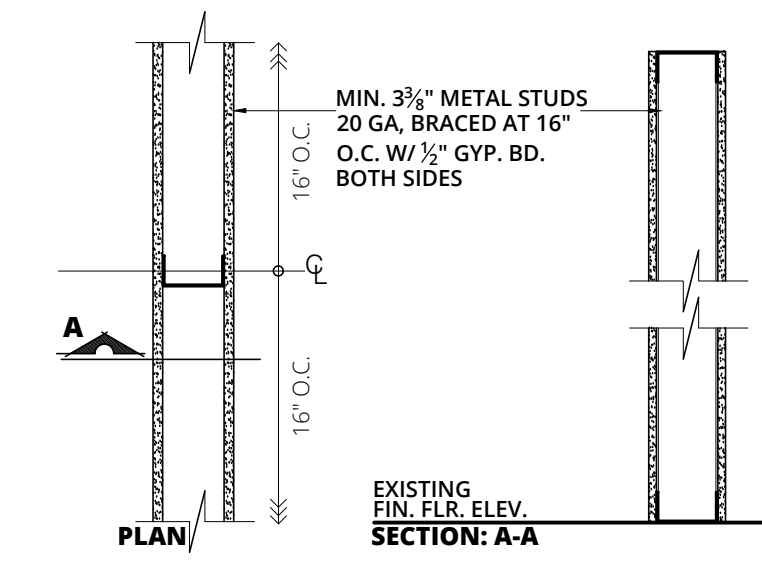
5 EXTERIOR STAIR DETAIL
A09 SCALE: 1/2" = 1'-0"



SECTION: A-A



SECTION
TYP. ACCESSIBLE ROUTE - THRESHOLD



7 TYP. FRAMING DETAIL
A09 SCALE: N.T.S.

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RONALD REITZ, AIA
AR 92144

COMPLIANCE STATEMENT

GENERAL CONTRACTOR

ARCHITECT

RONALD REITZ, ARCHITECT AIA
PHONE: 239-218-6894 (cell)

PROJECT DATA

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PROJECT

1610 ROYAL PALM AVE
FORT MYERS, FL 33901

TENANT IMPROVEMENTS
OFFICE BUILD - OUT

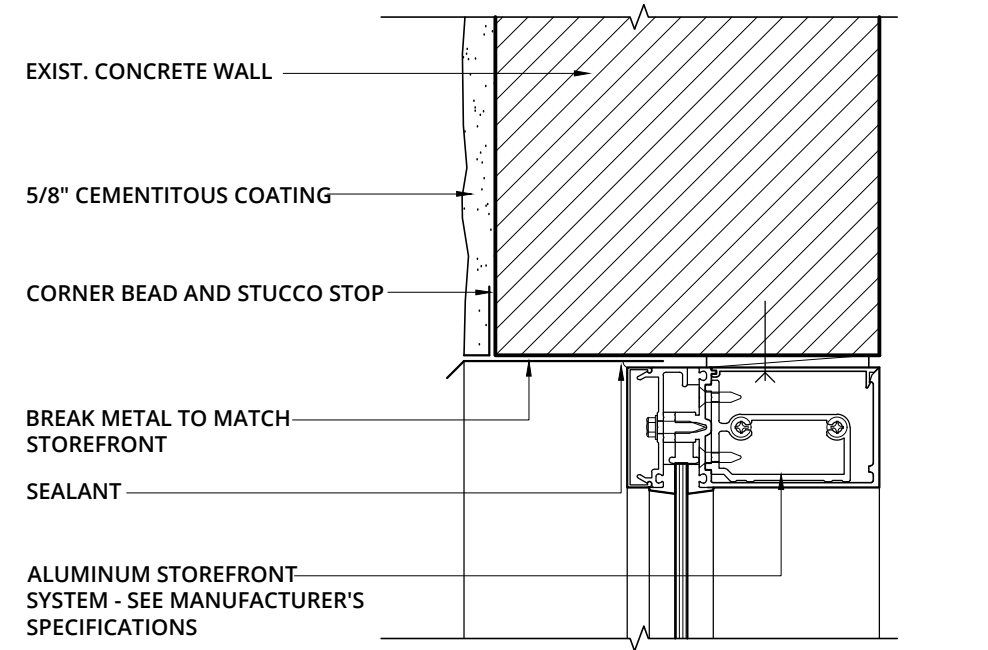
REVISIONS

DATE	DESCRIPTION

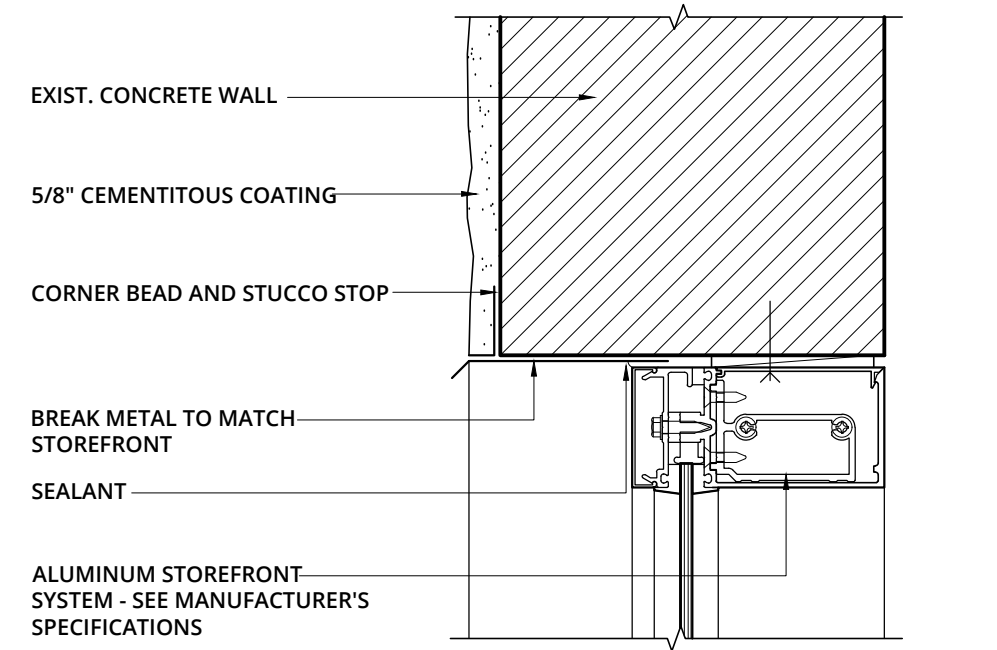
**BUILDING SECTIONS/
TYP. WALL SECTIONS/
DETAILS**

SCALE: AS INDICATED

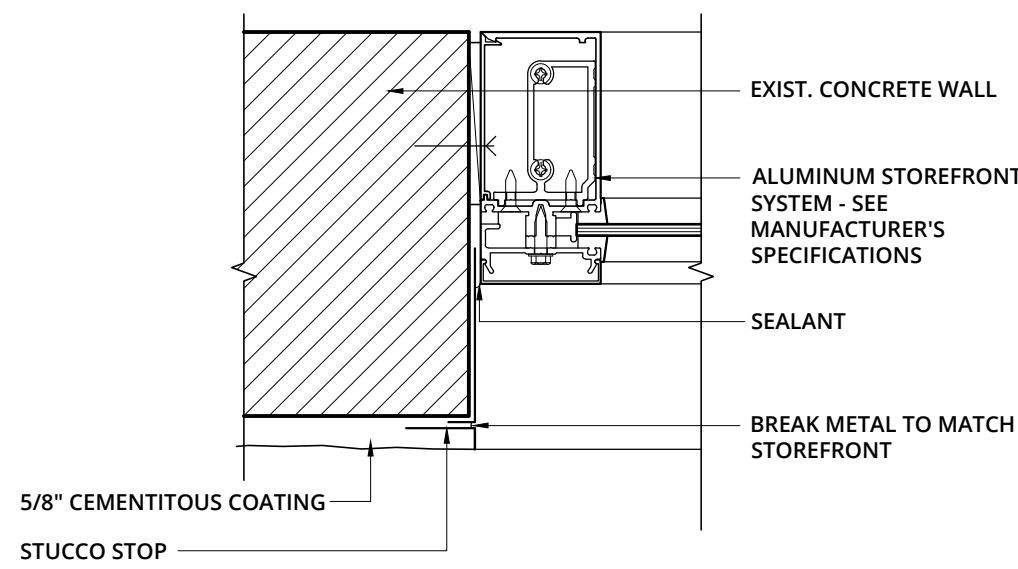
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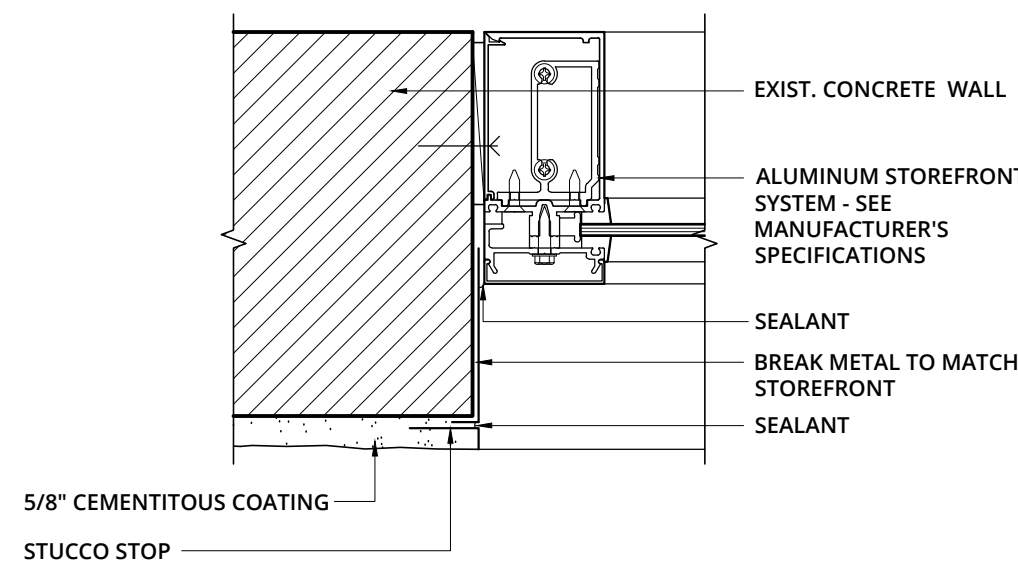
1 | STOREFRONT WINDOW HEAD
A10 | SCALE: 3" = 1'-0"



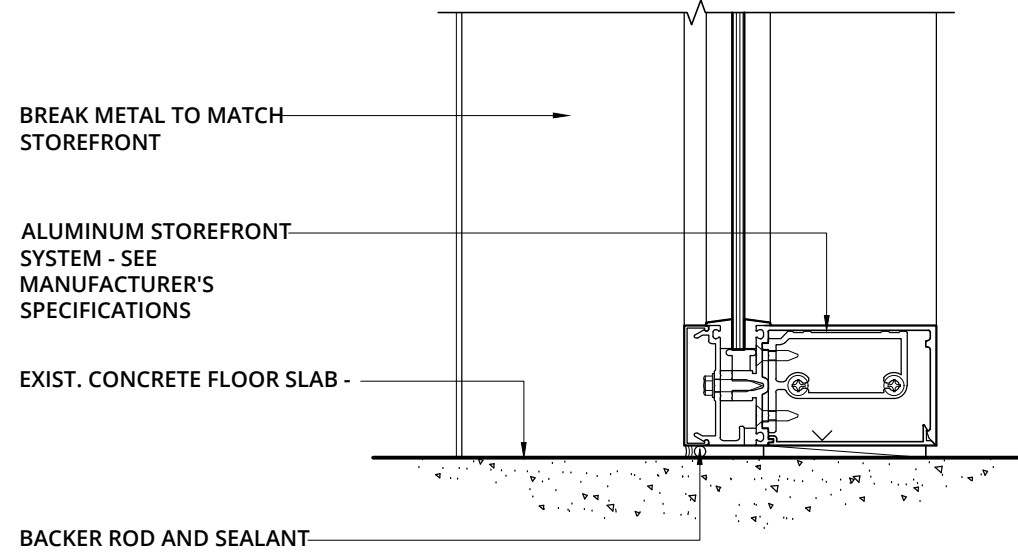
4 | STOREFRONT WINDOW HEAD
A10 | SCALE: 3" = 1'-0"



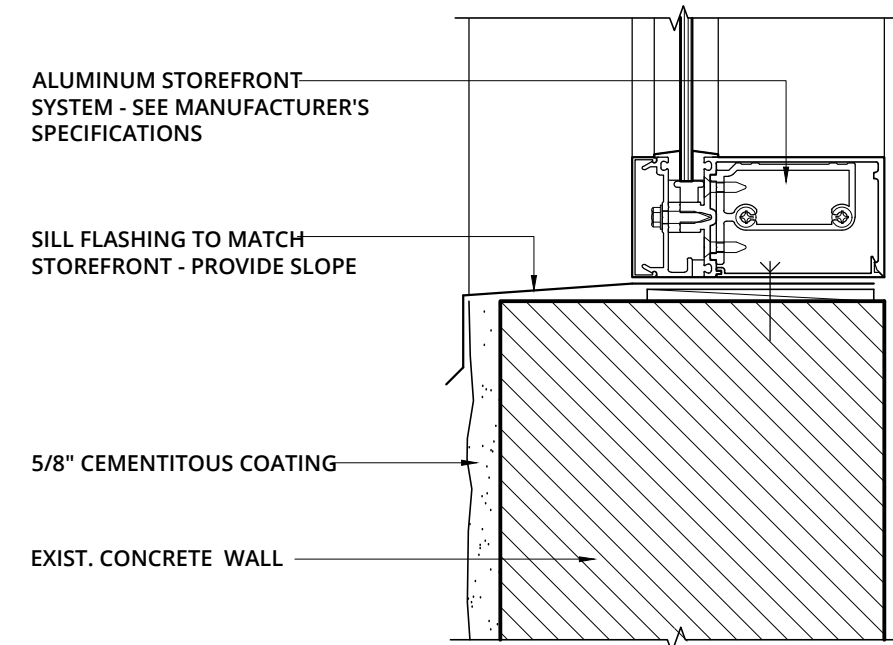
2 | STOREFRONT WINDOW JAMB
A10 | SCALE: 3" = 1'-0"



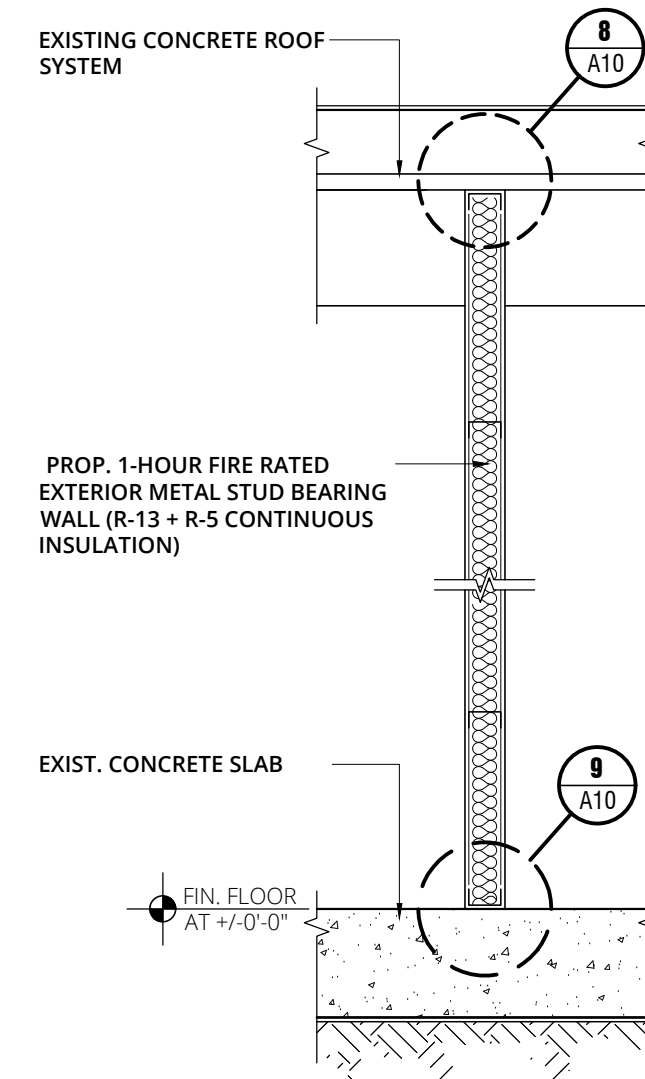
5 | STOREFRONT WINDOW JAMB
A10 | SCALE: 3" = 1'-0"



3 | STOREFRONT WINDOW SILL
A10 | SCALE: 3" = 1'-0"



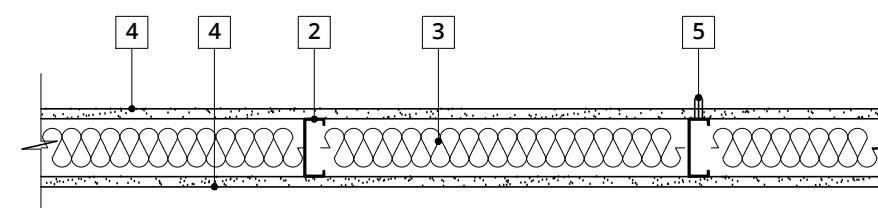
6 | STOREFRONT WINDOW SILL
A10 | SCALE: 3" = 1'-0"



7 | TPY. MTL BEARING WALL
A10 | - EXTERIOR WALL - SCALE: N.T.S.

FIRE WALL NOTE:
EACH NEW FIRE WALL, FIRE BARRIER, FIRE PARTITION, SMOKE BARRIER, SMOKE PARTITION, OR ANY OTHER NEW WALL REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACES WITH THE WORDING "FIRE AND SMOKE BARRIER - PROTECTED ALL OPENINGS" OR SIMILAR LANGUAGE. SUCH SIGNS OR STENCILING SHALL BE 4 INCH HIGH LETTERS, 1/2 INCH STROKE, AND NOT MORE THAN 15 FEET ON CENTER. FPCC 101:8.3.2.4

**ANSI/UL 263
NONBEARING WALL RATING (1 HOUR)
DESIGN NO. U465**



LEGEND:

- 1** FLOOR AND CEILING RUNNERS (NOT SHOWN) CHANNEL SHAPED RUNNERS, 3-5/8 IN. WIDE (MIN.), 1 1/4 IN. LEGS, FORMED FROM NO. 25 MSG (MIN.) GALV STEEL, ATTACHED TO FLOOR AND CEILING WITH FASTENERS SPACED 24 IN. O.C. MAX.
- 2** STEEL STUDS
a. CHANNEL SHAPED, 3-5/8 IN. WIDE (MIN.), 1-1/4 IN. LEGS, 3/8 IN. FOLDED BACK RETURNS, FORMED FROM NO. 25 MSG (MIN.) GALV STEEL SPACED 24 IN. O.C. MAX.
b. 2"x4" WOOD STUD SPACED 24 IN. O.C. MAX.
- 3** BATTS AND BLANKETS (OPTIONAL) MINERAL WOOL OR GLASS FIBRE BATTS PARTIALLY OR COMPLETELY FILLING STUD CAVITY
- 4** WALLBOARD, GYPSUM 5/8 IN. THICK TYPE "X", 4 FT. WIDE, ATTACHED TO STEEL/WOOD STUDS AND FLOOR AND CEILING TRACK WITH 1 IN. LONG TYPE S SELF-TAPPING STEEL SCREWS SPACED 8 IN. O.C. ALONG EDGES OF BOARD AND 12 IN. O.C. IN THE FIELD OF THE BOARD. JOINTS ORIENTED VERTICALLY AND STAGGERED ON OPPOSITE SIDES OF THE ASSEMBLY. WHEN ATTACHED TO ITEM 2 (FURRING CHANNELS), WALLBOARD IS SCREW ATTACHED TO FURRING CHANNELS WITH 1 IN. LONG, TYPE S STEEL SCREWS SPACED 12 IN. O.C.
- 5** JOINT, TAPE AND COMPOUND VINYL DRY OR PREMIXED JOINT COMPOUND, APPLIED IN TWO COATS TO JOINTS AND SCREW HEADS; PAPER TAPE, 2 IN. WIDE, EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS. AS AN ALTERNATE, NOMINAL 3/32 IN. THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD. JOINTS REINFORCED.

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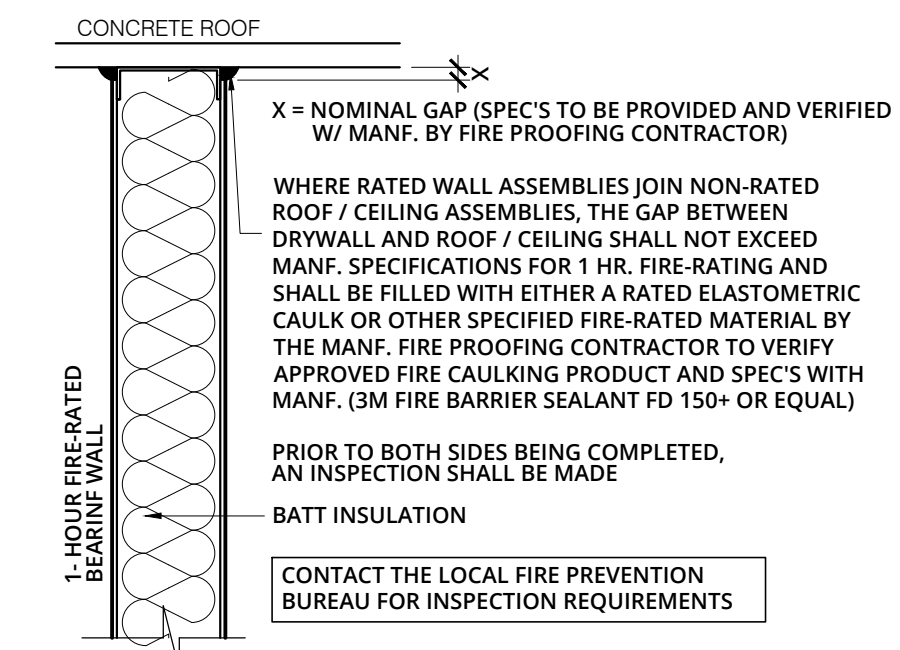
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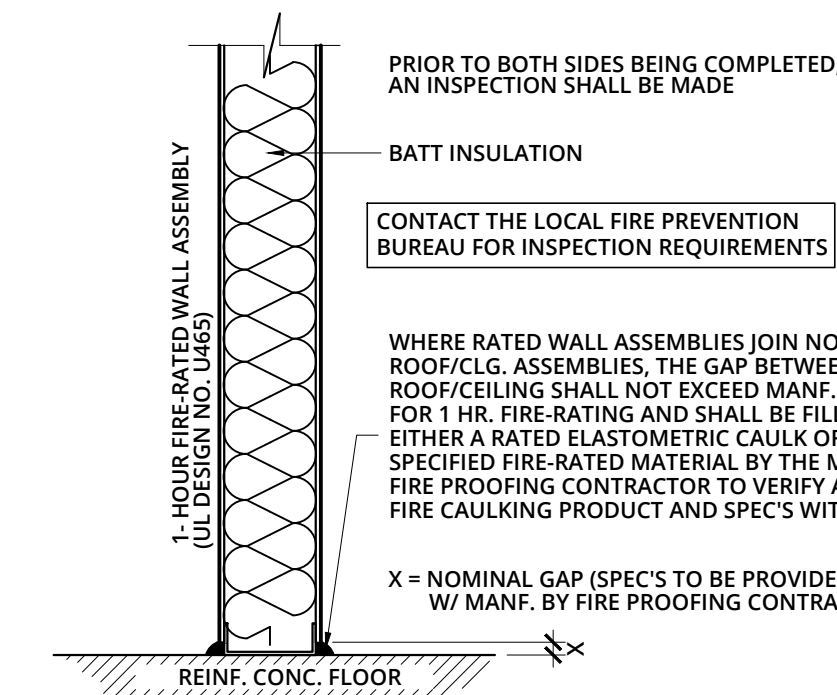
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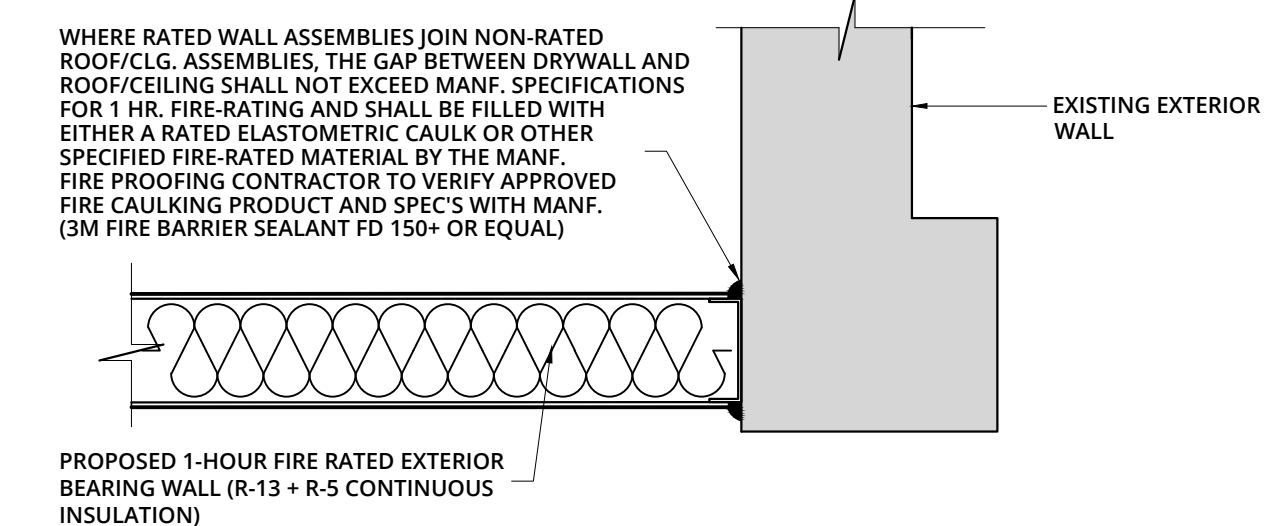
RONALD REITZ, ARCHITECT AIA
PHONE: 239-218-6894 (cell)



8 | FIRE RATED WALL ASSEMBLY HEAD CONNECTION
A10 | EXTERIOR BEARING WALL



9 | FLOOR CONNECTION
A10 | - VERTICAL SECTION - SCALE: N.T.S.



10 | TPY. WALL CONNECTION
A10 | - EXTERIOR WALL - SCALE: N.T.S.

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 - FLORIDA ACCESSIBILITY CODE: CHAPTER 11-2020, 7TH EDITION
 - FLORIDA EXISTING BUILDING CODE: 2020, 7TH EDITION
 - FLORIDA ENERGY CONSERVATION CODE: 2020, 7TH EDITION

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 1412 DEAN STREET #200

PROJECT DATA

TITLE	ROYAL PALM
JOB #	22-cr-03
DATE	6-03-22
DRAWN	es
DR. DATE	
CHECKED	ab
CH. DATE	

PROJECT

1610 ROYAL PALM AVE
 FORT MYERS, FL 33901

TENANT IMPROVEMENTS
 OFFICE BUILD - OUT

REVISIONS

DATE	REVISIONS

**STOREFRONT DETAILS/
FIRE RATING DETAILS**

SCALE: AS INDICATED

