

KR MECHANICAL  
NEW OFFICE

2672 PHYLLIS STREET  
JACKSONVILLE, FL 32206

CONTACT  
RAYMOND CHIN & KERRY MOWLAM

REVISIONS

| No. | Description | Date |
|-----|-------------|------|
|-----|-------------|------|

| ABBREVIATIONS |                        |           |  |           |                        |
|---------------|------------------------|-----------|--|-----------|------------------------|
| AC            | ACRE                   | EXT       | EXTERIOR                               | MATL      | MATERIAL               |
| ACOUS         | ACOUSTICAL             | F/F       | FINISH TO FINISH                       | MAX       | MAXIMUM                |
| ACT           | ACOUSTIC CEILING TILE  | FA        | FIRE ALARM                             | MECH      | MECHANIC(AL)           |
| AD            | AREA DRAIN             | FD        | FLOOR DRAIN                            | MEMB      | MEMBRANE               |
| ADJ           | ADJUSTABLE             | FDN       | FOUNDATION                             | MFR       | MANUFACTURER           |
| AFC           | ABOVE FINISHED CEILING | FE        | FIRE EXTNFUSER                         | MIN       | MINIMUM                |
| AFF           | ABOVE FINISHED FLOOR   | FEC       | FIRE EXTNFUISHER CABINET               | MIR       | MIRROR                 |
| AGGR          | AGGREGATE              | FHC       | FIRE HOSE CABINET                      | MISC      | MISCELLANEOUS          |
| ALLUM         | ALUMINUM               | FIN       | FINISH (ED)                            | MLW       | MILLWORK               |
| ALT           | ALTERNATE              | FL        | FLOOR                                  | MO        | MASONRY OPENING        |
| ALUM          | ALUMINUM               | FLOUR     | FLOURESCENT                            | MTD       | MOUNTED                |
| ANOD          | ANODIZED               | FCC       | FACE OF CONCRETE                       | MTL       | METAL                  |
| APPROX        | APPROXIMATE            | FOF       | FACE OF FINISH                         | N/A       | NOT APPLICABLE         |
| ARCH          | ARCHITECTURAL          | FOM       | FACE OF MASONRY                        | NIC       | NOT IN CONTRACT        |
| ATTEN         | ATTENUATION            | FOS       | FACE OF STUDS                          | NO (OR) # | NUMBER                 |
| BLDG          | BUILDING               | FR        | FIRE RESISTANT                         | NOM       | NOMINAL                |
| BLK           | BLOCK                  | FRMG      | FRAMING                                | NTS       | NOT TO SCALE           |
| BLKG          | BLOCKING               | FRT       | FIRE RETARDANT TREATED                 | OA        | OVERALL                |
| BO            | BY OTHERS              | FT        | FOOT OR FEET                           | OBS       | OBSCURE                |
| BOT           | BOTTOM                 | FTB       | FOOTING                                | OC        | ON CENTER              |
| BRG           | BEARING                | FURR      | FURRING                                | OD        | OUTSIDE DIAMETER       |
| BRK           | BRICK                  | FUT       | FUTURE                                 | OFF       | OFFICE                 |
| CAB           | CABINET                | FV        | FIELD VERIFY                           | OPNG      | OPENING                |
| CB            | CATCH BASIN            | GA        | GAUGE                                  | OPP       | OPPOSITE               |
| CEM           | CEMENT                 | GALV      | GALVANIZED                             | OZ        | OUNCE                  |
| CFM           | CUBIC FEET PER MINUTE  | GB        | GRAB BAR                               | PA        | PUBLIC ADDRESS         |
| CG            | CORNER GUARD           | GC        | GENERAL CONTRACTOR                     | PB        | PARTICLE BOARD         |
| CJ            | CONTROL JOINT          | GFI       | GROUND FAULT INTERRUPTION              | PC        | PRECAST                |
| CL            | CENTERLINE             | GL        | GLASS                                  | PCF       | POUNDS PER CUBIC FOOT  |
| CLG           | CEILING                | GND       | GROUND                                 | PERF      | PERFORATED             |
| CLKG          | CAULKING               | GNRL      | GENERAL                                | PL        | PLATE                  |
| CLO           | CLOSET                 | GR        | GRADE                                  | PLAM      | PLASTIC LAMINATE       |
| CLR           | CLEAR                  | GSF       | GROSS SQUARE FEET                      | PLAS      | PLASTER                |
| CMU           | CONCRETE MASONRY UNIT  | GWB       | GYPSPUM WALL BOARD                     | PLMBG     | PLUMBING               |
| CNTR          | COUNTER LINE           | GYP       | GYPSPUM                                | PLYWD     | PLYWOOD                |
| CO            | CLEANOUT               | HDWD      | HARDWOOD                               | PNL       | PANEL                  |
| COL           | COLUMN                 | HDWR      | HARDWARE                               | PNT       | PAINT                  |
| CONC          | CONCRETE               | HGT       | HEIGHT                                 | POL       | POLISHED               |
| CONN          | CONNECTION             | HM        | HOLLOW METAL                           | PR        | PAIR                   |
| CPT           | COMMON PATH OF TRAVEL  | HORIZ     | HORIZONTAL                             | PREFAB    | PREFABRICATED          |
| CPT           | CARPET                 | HR        | HOUR                                   | PROP      | PROPERTY               |
| CR            | CARD READER            | HT (OR) H | HEIGHT                                 | PSF       | POUNDS PER SQUARE FOOT |
| CW            | CURTAINWALL            | HTR       | HEATER                                 | PSI       | POUNDS PER SQUARE INCH |
| D             | DEPTH                  | HVAC      | HEATING, VENTILATION, AIR CONDITIONING | PT        | POINT                  |
| DBL           | DOUBLE                 | HW        | HOTWATER                               | PTD       | PRESSURE TREATED       |
| DEMO          | DEMOLITION             | IF        | INSIDE FACE                            | PTN       | PAINTED                |
| DESC          | DESCRIPTION            | IN        | INCH                                   | PTV       | PARTITION              |
| DET           | DETAIL                 | INCL      | INCLUDE                                | PVC       | POLYVINYL CHLORIDE     |
| DIA           | DIAMETER               | INCL      | INCLUDE                                | QTR       | QUARTER                |
| DIM           | DIMENSION              | INT       | INTERIOR                               | R         | RISER                  |
| DN            | DOWN                   | ITE       | INFORMATION TO FOLLOW                  | RAD       | RADIUS                 |
| DR            | DOOR                   | JAN       | JANITOR                                | RCP       | REFLECTED CEILING PLAN |
| DTL           | DETAIL                 | JNT       | JOINT                                  | REF       | REFERENCE              |
| DWG           | DRAWING                | JST       | JOIST                                  | REF       | REFRIGERATOR           |
| E             | EAST                   | KIT       | KITCHEN                                | REINF     | REINFORCED             |
| EA            | EACH                   | KO        | KNOCKOUT                               | REQD      | REQUIRED               |
| EL            | ELEVATION              | L         | LENGTH                                 | RESIL     | RESILIENT              |
| ELEC          | ELECTRICAL             | LAM       | LAMINATE                               | REV       | REVISION(S) / REVISED  |
| ELEV          | ELEVATOR               | LAV       | LAVATORY                               | RGSTR     | REGISTER               |
| EMER          | EMERGENCY              | LG        | LONG                                   | RLG       | RAILING                |
| ENCL          | ENCLOSURE              | LH        | LEFT HAND                              | RM        | ROOM                   |
| EQ            | EQUAL                  | LKR       | LOCKER                                 | RND       | ROUND                  |
| ETR           | EXISTING TO REMAIN     | LOC       | LOCATION                               | RO        | ROUGH OPENING          |
| EW            | ELECTRIC WATER COOLER  | LP        | LOW POINT                              | RQMT      | REQUIREMENT            |
| EXIST         | EXISTING               | LT        | LIGHT                                  | S         | SOUTH                  |
| EXP           | EXPANSION              | MAINT     | MAINTENANCE                            |           |                        |
| EXPS          | EXPOSED                |           |  |           |                        |

- GENERAL PROJECT NOTES
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS AND GOVERNING AUTHORITIES.
  - REFER TO INTERIOR DESIGN, MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS FOR COORDINATION OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR INFORMATION ON DRAWINGS FROM ALL DISCIPLINES.
  - DO NOT SCALE THE DRAWINGS.
  - THE CONTRACTOR SHALL VISIT THE SITE AND BECOME KNOWLEDGEABLE OF CONDITIONS. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL THE REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE OWNER AND INTERIOR DESIGNER OF ANY EXISTING CONDITIONS REQUIRING INFORMATION BEFORE PROCEEDING WITH ANY WORK.
  - THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS AND ADVISE THE OWNER AND INTERIOR DESIGNER, IN WRITING, OF ANY SITUATION THAT WOULD NOT ALLOW HIM/HER TO PROCEED ON THE BASIS OF THESE DOCUMENTS.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD. ADVISE THE INTERIOR DESIGNER AND OWNER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF THAT WORK.
  - THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS FROM DAMAGE DUE TO ALTERATION AND CONSTRUCTION OPERATIONS AND THEY SHALL REPAIR OR REPLACE ELEMENTS DAMAGED DURING THE PROJECT.
  - THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EXITS DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL GIVE NOTICE AND COORDINATE WITH THE OWNER FOR ANY TEMPORARY CUT OFF OF ANY UTILITIES PRIOR TO COMMENCING WORK.
  - THE CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY SIGNAGE FOR ALL PHASES OF CONSTRUCTION TO INDICATE "WARNING - CONSTRUCTION AREA - DO NOT ENTER" ON THE DOOR TO THE CONSTRUCTION AREA.
  - ALL HOLES IN FLOORS OR WALLS AS A RESULT OF DEMOLITION SHOULD BE FILLED, REPAIRED, AND PREPARED TO RECEIVE NEW FINISHES AS APPLICABLE.
  - ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE U.S. GYPSUM PRODUCTS AND SYSTEMS SPECIFICATION BULLETIN OR NATIONAL GYPSUM COMPANY'S LATEST SPECIFICATIONS EXCEPT AS NOTED. ALL GYPSUM BOARD TO BE FIRE RESISTIVE UNLESS NOTED OTHERWISE.
  - TYPICAL INTERIOR PARTITIONS SHALL BE 3-5/8" METAL STUDS AT 16" CENTERS WITH 5/8" GWB SMOOTH FINISH ON BOTH SIDES. ANY DRYWALL CEILINGS OR SOFFITS SHALL BE 5/8" GWB WITH A SMOOTH FINISH.
  - TYPICAL EXTERIOR WALLS SHALL BE 5/8" GWB FINISH ON MIN. 1-1/2" MTL FURRING W/ R-11 INSULATION ON EXISTING BRICK - SEE PARTITION DETAILS.
  - DOOR UNDERCUTS SHALL BE KEPT TO A MINIMAL DIMENSION AND SHALL BE UNIFORM THROUGHOUT THE PROJECT. U.O.N.
  - UNLESS NOTED OTHERWISE, ALL FASTENERS AND FASTENING DEVICES ARE TO BE CONCEALED IN ALL FINISHED SPACES.
  - SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS TO DETERMINE QUANTITIES OF DIFFUSERS, GRILLES, LIGHT FIXTURES, ETC.
  - THE CONTRACTOR SHALL VERIFY WITH THE MATERIAL SUPPLIERS THAT THE PROPOSED MATERIALS ARE CORRECT AND PROPER FOR THE INTENDED APPLICATION AND USE.
  - ALL WOOD BLOCKING AND CONCEALED LUMBER TO BE FIRE RETARDANT TREATED. PROVIDE BLOCKING IN WALLS, SOFFITS, AND CEILINGS RECEIVING SIGNAGE, COAT HOOKS, LOCKERS, MARKER BOARDS, AND OTHER MOUNTED ITEMS, ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
  - AT PLACES WHERE MATERIALS ARE APPLIED TO, OR ARE IN DIRECT CONTACT WITH WORK INSTALLED BY ANOTHER SUBCONTRACTOR, COMMENCEMENT OF WORK IMPLIES THE ACCEPTANCE OF THE SUBSTRATE AND EXISTING CONDITIONS AS SUITABLE FOR THE APPLICATION INTENDED.
  - ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER. CONSTRUCTION OF NEW HORIZONTAL SURFACES SHALL BE LEVEL AND FLAT AND NEW VERTICAL SURFACES SHALL BE CONSTRUCTED TO BE PLUMB, UNLESS NOTED OTHERWISE.
  - ALL CONTRACTOR PROVIDED MATERIALS SHALL BE NEW AND DELIVERED AND INSTALLED IN GOOD CONDITION AND WITHOUT ANY DEFECTS.
  - ANY WORK NOT CONFORMING TO THESE SPECIFICATIONS WILL BE REJECTED. THE INTERIOR DESIGNER OR THE OWNER MAY REJECT THE WORK AND REJECTED WORK WILL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.

INTERIOR DESIGN DRAWING INDEX

| NO.             | NAME   | SHEET<br>ISSUE<br>DATE | CURRENT<br>REVISION | REVISION<br>DATE | REVISION<br>ISSUED |
|-----------------|--|------------------------|---------------------|------------------|--------------------|
| INTERIOR DESIGN |  |                        |                     |                  |                    |
| ID0.1           | GENERAL NOTES, ABBREVIATIONS, SYMBOLS, AND DRAWING INDEX | 10/22/2021             |                     |                  | No                 |
| ID0.1-EP        | EXIT PLAN AND PROJECT INFORMATION                        | 10/22/2021             |                     |                  | No                 |
| ID1.1           | DEMOLITION PLAN  | 10/22/2021             |                     |                  | No                 |
| ID1.2           | DEMOLITION REFLECTED CEILING PLAN                        | 10/22/2021             |                     |                  | No                 |
| ID2.1           | NEW PLAN   | 10/22/2021             |                     |                  | No                 |
| ID2.2           | NEW REFLECTED CEILING PLAN                               | 10/22/2021             |                     |                  | No                 |
| ID3.1           | ENLARGED PLANS   | 10/22/2021             |                     |                  | No                 |
| ID4.1           | INTERIOR ELEVATIONS                                      | 10/22/2021             |                     |                  | No                 |
| ID4.2           | INTERIOR ELEVATIONS                                      | 10/22/2021             |                     |                  | No                 |
| ID4.3           | INTERIOR ELEVATIONS AND EXTERIOR STOREFRONT              | 10/22/2021             |                     |                  | No                 |
| ID5.1           | DOOR SCHEDULE & DETAILS                                  | 10/22/2021             |                     |                  | No                 |
| ID6.1           | FINISH PLAN  | 10/22/2021             |                     |                  | No                 |
| ID7.1           | FURNITURE PLAN   | 10/22/2021             |                     |                  | No                 |

GENERAL SYMBOL LEGEND

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Room Name

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RM. #

STATE OF FLORIDA

REBECCA BOLAND

ID#177

REGISTERED INTERIOR DESIGNER

PROJECT NUMBER: KR MECH 1

DATE ISSUED: 10/22/2021

DRAWN BY: B. BOLAND

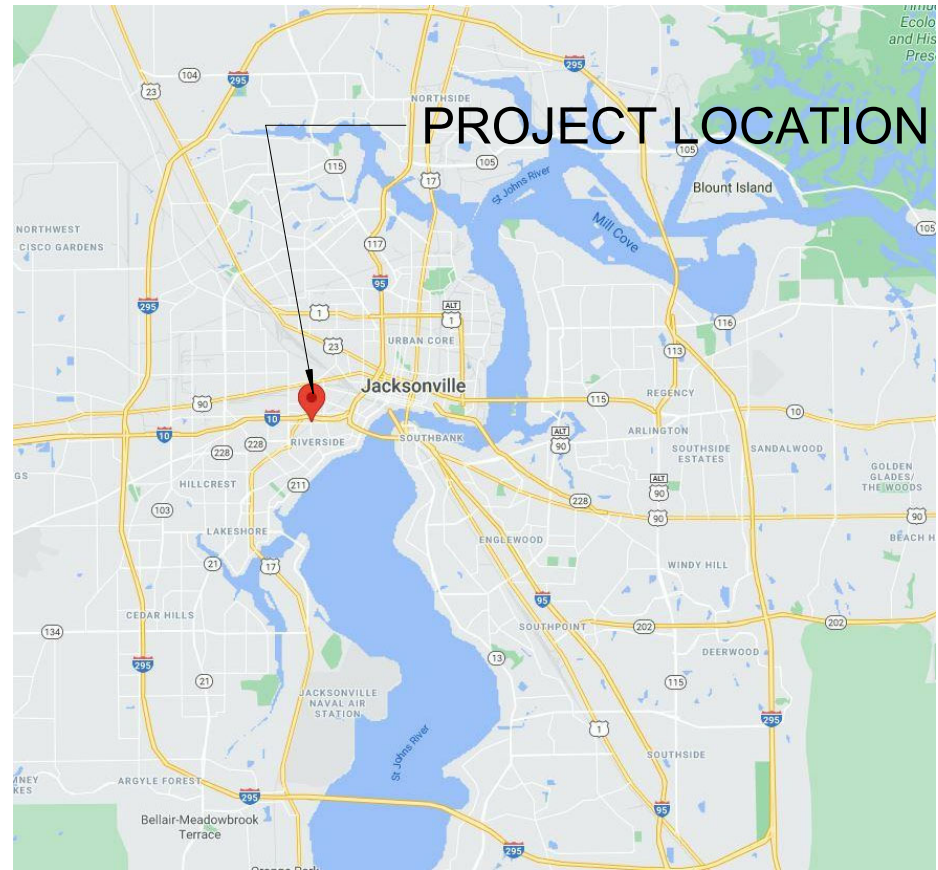
PROJECT STATUS: PERMIT AND PRICING PLANS

GENERAL NOTES, ABBREVIATIONS, SYMBOLS, AND DRAWING INDEX

ID0.1



## VICINITY MAP



## PROJECT LOCATION



## GENERAL NOTES

- BUILDING DOES NOT HAVE A SPRINKLER SYSTEM
- FIRE EXTINGUISHERS (TYPE A HAZARD) SHALL BE 2A-10BC MULTI-PURPOSE DRY CHEMICAL EQUAL TO "COSMIC SF" BY J.L. INDUSTRIES. EXTINGUISHERS SHALL BE MOUNTED ON SURFACE MOUNTED BRACKETS.  
**NOTE:**  
3,000 SF PER UNIT OF "A" IN LOW HAZARD OCCUPANCY SUCH AS OFFICES.  
1,500 SF PER UNIT OF "A" FOR MODERATE HAZARD OCCUPANCIES SUCH AS KITCHENS AND DINING AREAS
- PROVIDE TACTILE SIGNAGE AT EACH EXIT DOOR READING "EXIT" AND IN COMPLIANCE WITH NFPA 101.7.10.1.3
- ALL LIFE SAFETY COMPONENTS ARE SHOWN FOR DESIGN INTENT. REFER TO ENGINEER'S DRAWINGS.
- REFER TO ENGINEER'S DRAWINGS FOR LIFE SAFETY FIXTURES AND EQUIPMENT (AUDIOVISUAL ALARMS, PULL DEVICES, SMOKE DETECTORS, HEAT DETECTORS, ETC.)

## PLAN LEGEND

- EXISTING STRUCTURE AND PARTITIONS
- NEW PARTITIONS
- EXIT LIGHT SIGN
- EMERGENCY EGRESS LIGHT
- EXIT AND EXIT WIDTH IN INCHES
- FIRE EXTINGUISHER
- TDE = TRAVEL DISTANCE TO EXIT  
CPT = COMMON PATH OF TRAVEL
- FIRE ALARM, VISUAL & AUDIO/VISUAL

## PROJECT INFORMATION

**PROJECT DESCRIPTION:**  
THE PROJECT SCOPE IS WITHIN AN EXISTING STAND-ALONE ABOVE GRADE BRICK BUILDING. THE BUILDING WAS PREVIOUSLY AN ART GALLERY AND STUDIO. THE NEW OWNER IS CONVERTING THE BUILDING INTO THEIR NEW BUSINESS OFFICE. THE OWNER WILL BE THE SOLE OCCUPANT IN THIS BUILDING.

**BUILDING OWNER:**  
KR MECHANICAL

**INTERIOR DESIGN:**  
STUDIO1019, LLC

**MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, STRUCTURAL:**  
KR MECHANICAL

**AUTHORITY HAVING JURISDICTION:**  
CITY OF JACKSONVILLE

**PLANNING AND DEVELOPMENT DEPARTMENT**  
CURRENT PLANNING DIVISION  
214 NORTH HOGAN STREET, SUITE 300  
JACKSONVILLE, FL 32202

EXISTING BUILDING DOES NOT HAVE A SPRINKLER SYSTEM

## CODE ANALYSIS

## FLORIDA BUILDING CODE ANALYSIS

**APPLICABLE CODES:**  
FLORIDA BUILDING CODE, SEVENTH EDITION (2020) - BUILDING  
FLORIDA BUILDING CODE, SEVENTH EDITION (2020) - ACCESSIBILITY  
FLORIDA BUILDING CODE, SEVENTH EDITION (2020) - EXISTING BUILDING  
FLORIDA BUILDING CODE, SEVENTH EDITION (2020) - PLUMBING  
FLORIDA BUILDING CODE, SEVENTH EDITION (2020) - MECHANICAL  
FLORIDA FIRE PREVENTION CODE, SEVENTH EDITION (2020)  
NFPA 101, 2018, 14TH EDITION  
NFPA 10, 2018, 14TH EDITION  
NFPA 70 NATIONAL ELECTRIC CODE, 2017 EDITION

**OCCUPANCY TYPE:**  
BUSINESS GROUP B, SINGLE OCCUPANT BUILDING

**EXISTING BUILDING CLASSIFICATION OF WORK:**  
ALTERATION LEVEL 3

**BUILDING AREA:**  
15,511 GSF

**NUMBER OF STORIES:**  
1

**CONSTRUCTION TYPE:**  
TYPE III B

**NUMBER OF EXITS:**  
2 EXITS MINIMUM, **3 PROVIDED**

**EXIT SEPARATION:**  
9'-2" PROVIDED AT SHORTEST SEPARATION  
OVERALL DIAGONAL DIMENSION OF EXISTING BUILDING = 193'-4"  
EXIT SEPARATION CALCULATION: 193'-4" / 2 = 96'-8" MINIMUM

**FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:**  
(TYPE III B, UNSPRINKLERED)  
PRIMARY STRUCTURAL FRAME: 0  
BEARING WALLS - EXTERIOR: 2 HOURS  
BEARING WALLS - INTERIOR: 0  
NON BEARING WALLS - EXTERIOR: 1 HOUR  
NON BEARING WALLS - INTERIOR: 0  
FLOOR CONSTRUCTION: 0  
ROOF CONSTRUCTION: 0

**INTERIOR FINISHES:**  
INTERIOR EXIT STAIRWAYS, RAMPS, & PASSAGEWAYS = CLASS B  
ROOMS AND ENCLOSED SPACES = CLASS C

**OCCUPANT CALCULATION:**  
BUILDING AREA = 15,511 SF, BUSINESS OCCUPANCY

| OCC. TYPE               | SF/OCC | SF  | OCCUPANTS  |
|-------------------------|--------|-----|------------|
| OFFICES/CIRCULATION     | B      | 150 | 8,141      |
| CONCENTRATED BUSINESS   | B      | 50  | 5,721      |
| ASSEMBLY                | A-2    | 15  | 1,649      |
| <b>TOTAL OCCUPANTS:</b> |        |     | <b>280</b> |

**EXIT CAPACITY, DOORS:**  
0.2" PER OCC  
0.2" x 280 = 56" REQUIRED, **139" PROVIDED**

**TRAVEL DISTANCE TO EXITS:**  
200 FEET MAXIMUM (UNSPRINKLERED)

**COMMON PATH OF TRAVEL:**  
30 FEET MAXIMUM (UNSPRINKLERED)

**DEAD END CORRIDOR:**  
20 FEET (UNSPRINKLERED)

**PLUMBING FIXTURES:**  
WATER CLOSETS = 7 MINIMUM, **5 PROVIDED (SEE URINALS)**  
1.25 FIRST 50 OCCUPANTS  
1.50 FOR REMAINDER EXCEEDING 50

**URINALS = NOT REQUIRED, 2 PROVIDED**  
(REPLACING LESS THAN 50% OF REQUIRED WATER CLOSETS)

**LAVATORIES = 5 MINIMUM, 5 PROVIDED**  
1.40 FIRST 80 OCCUPANTS  
1.80 FOR REMAINDER EXCEEDING 80

**DRINKING FOUNTAIN = 3 MINIMUM, 3 PROVIDED**  
1:100 OCCUPANTS

**SERVICE SINK = 1 MINIMUM, 1 PROVIDED**

**INTERIOR DESIGNERS STATEMENT:**  
THIS DESIGN TO THE BEST OF THE INTERIOR DESIGNER'S KNOWLEDGE COMPLIES WITH THE 7TH EDITION 2020 FLORIDA BUILDING CODE(S)

## FIRE CODE ANALYSIS

**APPLICABLE CODES:**  
FLORIDA FIRE PREVENTION CODE, SEVENTH EDITION (2020)  
NFPA 101, 2018, 14TH EDITION  
NFPA 10, 2018, 14TH EDITION

**OCCUPANCY TYPE:**  
BUSINESS OCCUPANCY

**BUILDING AREA:**  
15,511 GSF

**NUMBER OF STORIES:**  
1

**OCCUPANT CALCULATION:**  
BUILDING AREA = 15,511 SF, BUSINESS OCCUPANCY

|                               | SF/OCC | SF    | OCCUPANTS  |
|-------------------------------|--------|-------|------------|
| BUSINESS & CIRCULATION        | 150    | 7,759 | 52         |
| CONCENTRATED BUSINESS         | 50     | 4,500 | 90         |
| COLLABORATION (>450sf)        |        |       |            |
| PROJECT FORUM (102)           | 15     | 447   | 30         |
| TEAMING AREA (102B)           | 15     | 373   | 25         |
| TEAM BEV. STN. (102C)         | 15     | 422   | 29         |
| TEAMING AREA (102E)           | 15     | 657   | 44         |
| CONFERENCE (111)              | 15     | 645   | 43         |
| COLLABORATION (<450sf)        |        |       |            |
| BREAK AREA (101J)             | 30     | 135   | 5          |
| TEAMING AREA (105)            | 30     | 190   | 7          |
| EXERCISE (109) with equipment | 50     | 383   | 8          |
| <b>TOTAL OCCUPANTS:</b>       |        |       | <b>333</b> |

**MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS:**  
2 MINIMUM

**COMMON PATH OF TRAVEL:**  
75 FEET MAX. (UNSPRINKLERED)

**TRAVEL DISTANCE TO EXITS:**  
200 FEET MAX. (UNSPRINKLERED)

**FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS:**  
BEARING WALLS - EXTERIOR: 2 HOURS  
BEARING WALLS - INTERIOR: 0  
COLUMNS - SUPPORTING ROOF: 0  
FLOOR CONSTRUCTION: 0  
ROOF CONSTRUCTION: 0  
NON BEARING WALLS - EXTERIOR: 0  
NON BEARING WALLS - INTERIOR: 0

**FIRE EXTINGUISHERS:**  
OCCUPANCY HAZARD: ORDINARY  
MINIMUM RATED SINGLE EXTINGUISHER: 2-A  
MAXIMUM FLOOR AREA PER EXTINGUISHER: 3,000 SF  
MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER: 75 FEET

| LEVEL   | GSF    | SF/FEC | MIN. # REQ. | # PROVIDED |
|---------|--------|--------|-------------|------------|
| LEVEL 1 | 15,511 | 3,000  | 6           | 6          |

**INTERIOR FINISHES:**  
EXITS: CLASS A OR B  
ROOMS AND ENCLOSED SPACES: CLASS A, B, OR C

**INTERIOR DESIGNERS STATEMENT:**  
THIS DESIGN TO THE BEST OF THE INTERIOR DESIGNER'S KNOWLEDGE COMPLIES WITH THE 6TH EDITION OF THE FLORIDA FIRE PREVENTION CODE.

**STUDIO1019**  
INTERIOR DESIGN

STUDIO1019, LLC | #26001903  
(407) 864-1885  
becca@studio1019.com

This document is not an architectural or engineering study, drawing, specification, or design and is not to be used for construction of any load-bearing columns, load-bearing framing or walls of structures, or issuance of any building permit, except as otherwise provided by law (Florida Statute 481.2131)

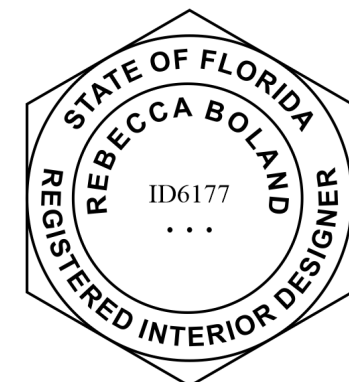
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## REVISIONS

| No. | Description | Date |
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PROJECT NUMBER: KR MECH 1

DATE ISSUED: 10/22/2021  
DRAWN BY: B. BOLAND  
PROJECT STATUS: PERMIT AND PRICING PLANS

EXIT PLAN AND PROJECT  
INFORMATION

## ID0.1-EP

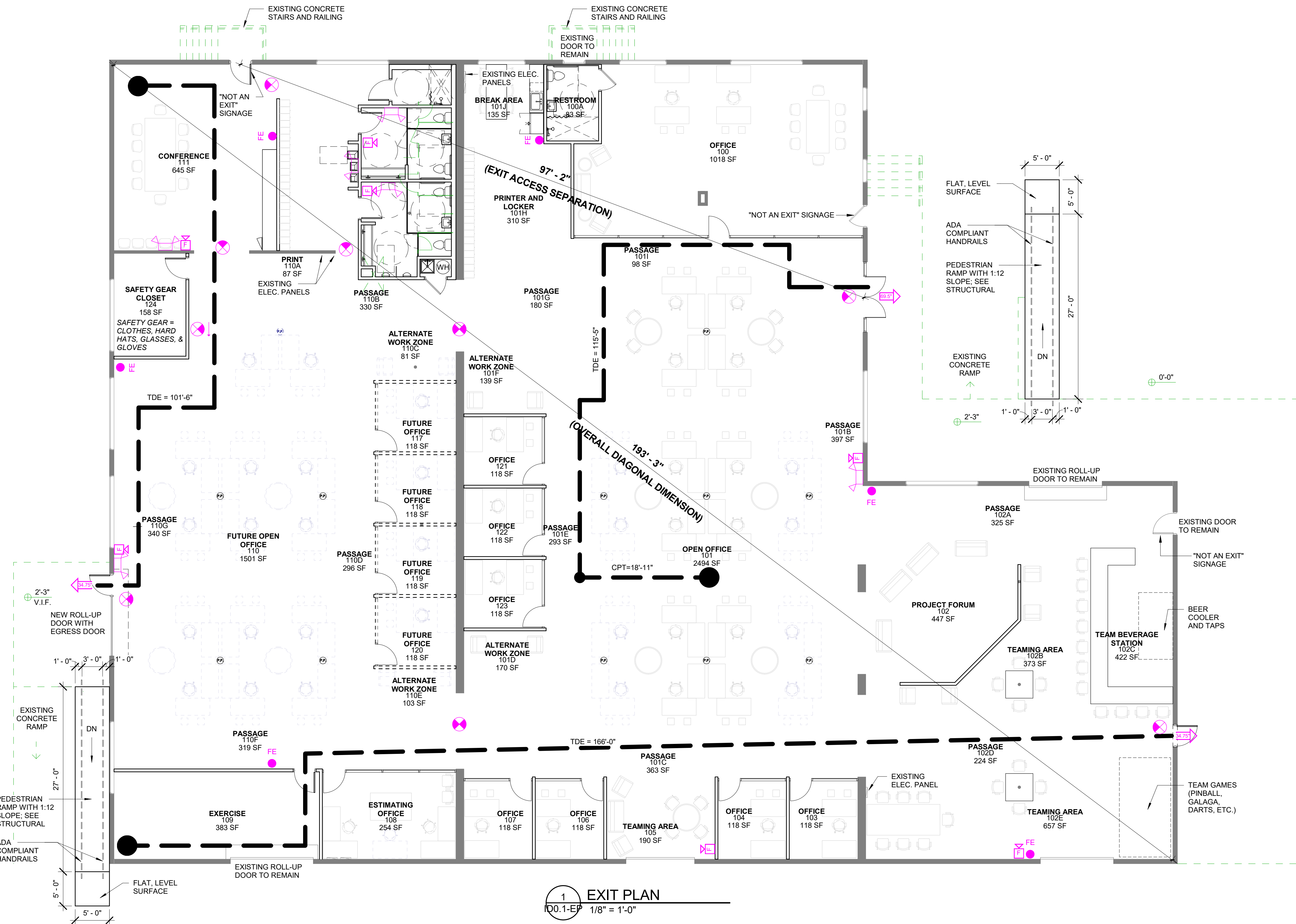
1,649 SF  
ASSEMBLY (1-15)  
(UNCONCENTRATED, TABLES AND CHAIRS)

5,721 SF  
CONCENTRATED BUSINESS (1-50)

8,141 GSF  
BUSINESS (1-150)

## 4 OCCUPANCY USE DIAGRAM

00.1-EP 1/32" = 1'-0"



## 1 EXIT PLAN

00.1-EP 1/8" = 1'-0"



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REVISIONS

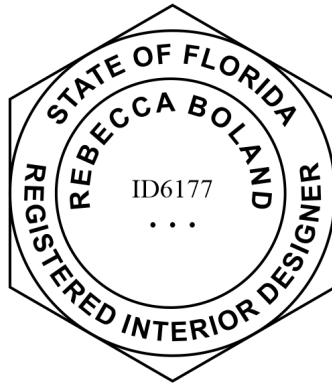
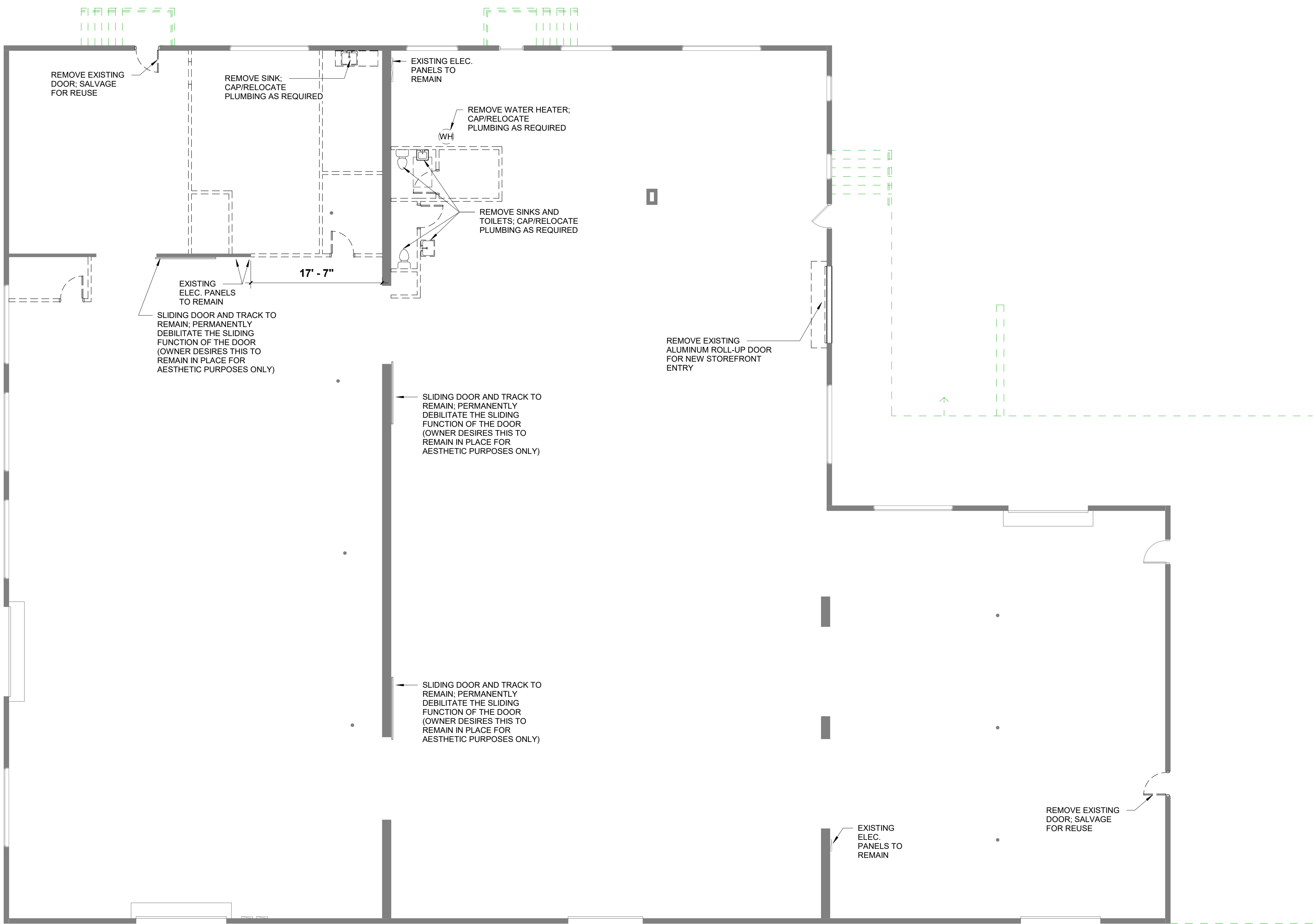
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DEMOLITION PLAN NOTES

- EXISTING DOORS AND WINDOWS TO REMAIN, UNLESS OTHERWISE NOTED.
- PROTECT ALL EXISTING TO REMAIN BUILDING ELEMENTS, COMPONENTS, AND FIXTURES DURING ALL PHASES OF CONSTRUCTION.
- PLUMBING, MECHANICAL, AND ELECTRICAL FIXTURES SHOWN FOR REFERENCE ONLY. REFER TO ENGINEER'S DRAWINGS PROVIDED BY OWNER.
- ALL DEMOLISHED ITEMS SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS NOTED TO BE SALVAGED FOR REUSE.
- THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION AS REQUIRED.
- THE CONTRACTOR SHALL CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL PROJECTING PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED. REFER TO ENGINEER'S DRAWINGS PROVIDED BY OWNER.
- DEMOLITION NOT DESCRIBED HERE BUT NECESSARY FOR THE COMPLETION OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DEMOLITION DRAWINGS ARE ISSUED FOR INFORMATION ONLY AND SHOW THE GENERAL EXTENT OF THE DEMOLITION REQUIRED. THESE DRAWINGS DO NOT NECESSARILY SHOW EVERYTHING TO BE REMOVED IN ORDER TO PREPARE THE EXISTING BUILDING ELEMENTS FOR REMODELING OR NEW CONSTRUCTION. THE INTERIOR DESIGN DRAWINGS SHOW THE EXISTING PARTITIONS WITH DOORS AND OTHER ITEMS TO REMAIN.
- MAINTAIN FULLY CHARGED FIRE EXTINGUISHER READILY AVAILABLE DURING ALL DEMOLITION OPERATIONS.
- THE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS PROVIDED TO THE INTERIOR DESIGNER BY THE OWNER, AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. PRIOR TO PROCEEDING WITH ANY WORK, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF THESE DRAWINGS IN COMPARISON TO EXISTING FIELD CONDITIONS AND THEN IMMEDIATELY NOTIFY THE INTERIOR DESIGNER AND OWNER OF ANY INCONSISTENCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS.

DEMOLITION PLAN LEGEND

- |  |   |
|--|---|
|  | EXISTING STRUCTURE AND PARTITIONS TO REMAIN |
|  | PARTITIONS AND DOORS TO BE DEMOLISHED       |



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DEMOLITION PLAN

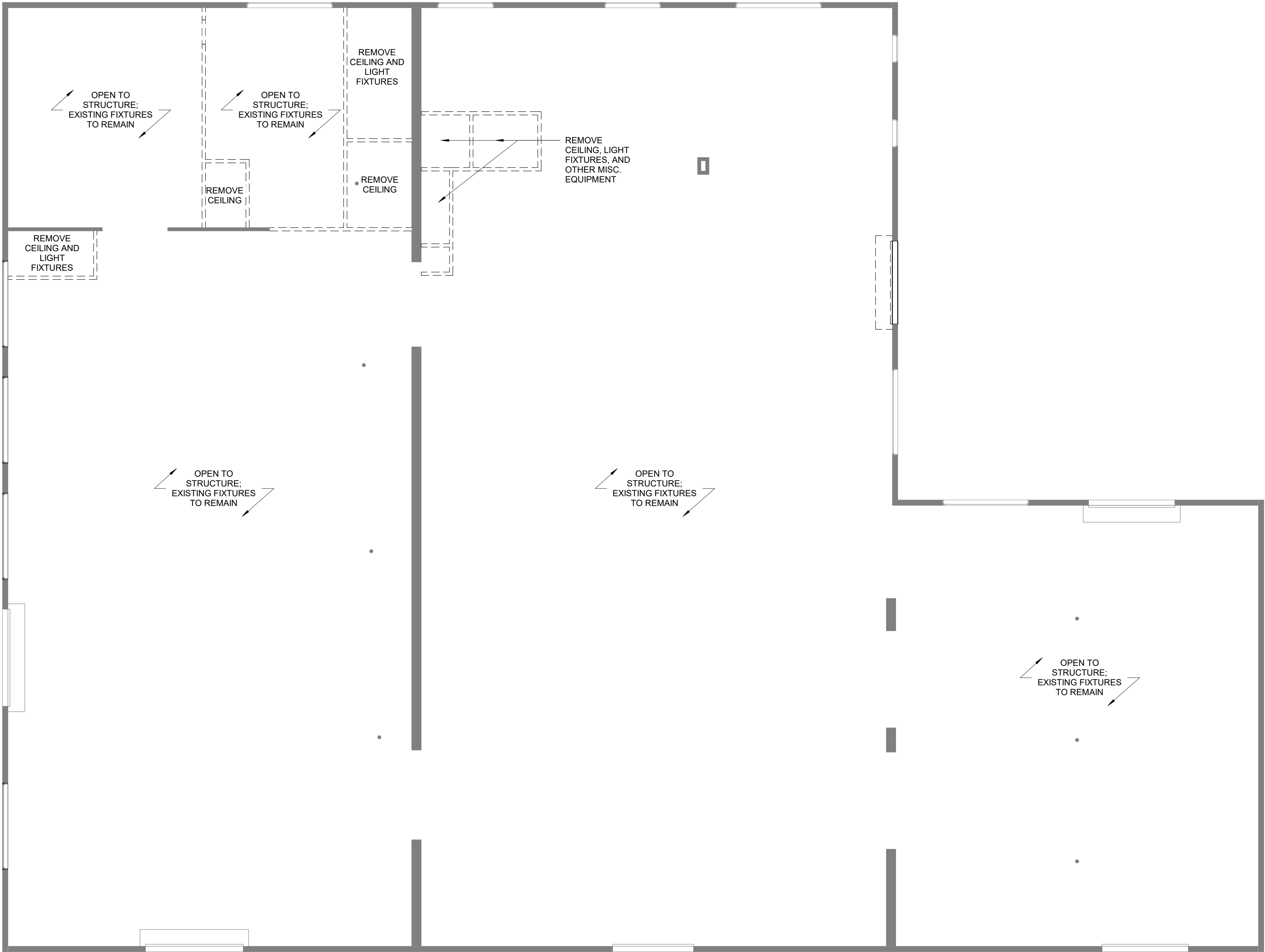
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JACKSONVILLE, FL 32206

CONTACT  
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- DEMOLITION RCP NOTES
1.

ALL EXISTING LIGHT FIXTURES ARE TO REMAIN, UNLESS OTHERWISE NOTED. PROTECT DURING ALL PHASES OF CONSTRUCTION.
2.

ANY PLUMBING, MECHANICAL, OR ELECTRICAL FIXTURES SHOWN FOR REFERENCE ONLY. REFER TO ENGINEER'S DRAWINGS.

1  
ID1.2

DEMO REFLECTED  
CEILING PLAN

1/8" = 1'-0"

STATE OF FLORIDA  
REBECCA BOLAND  
ID#6177  
REGISTERED INTERIOR DESIGNER

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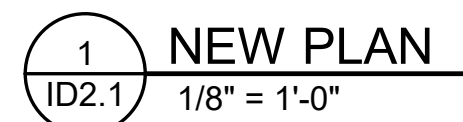
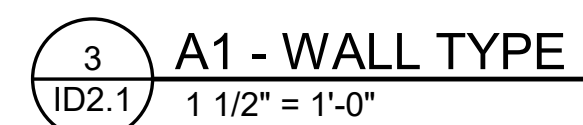
DEMOLITION REFLECTED  
CEILING PLAN



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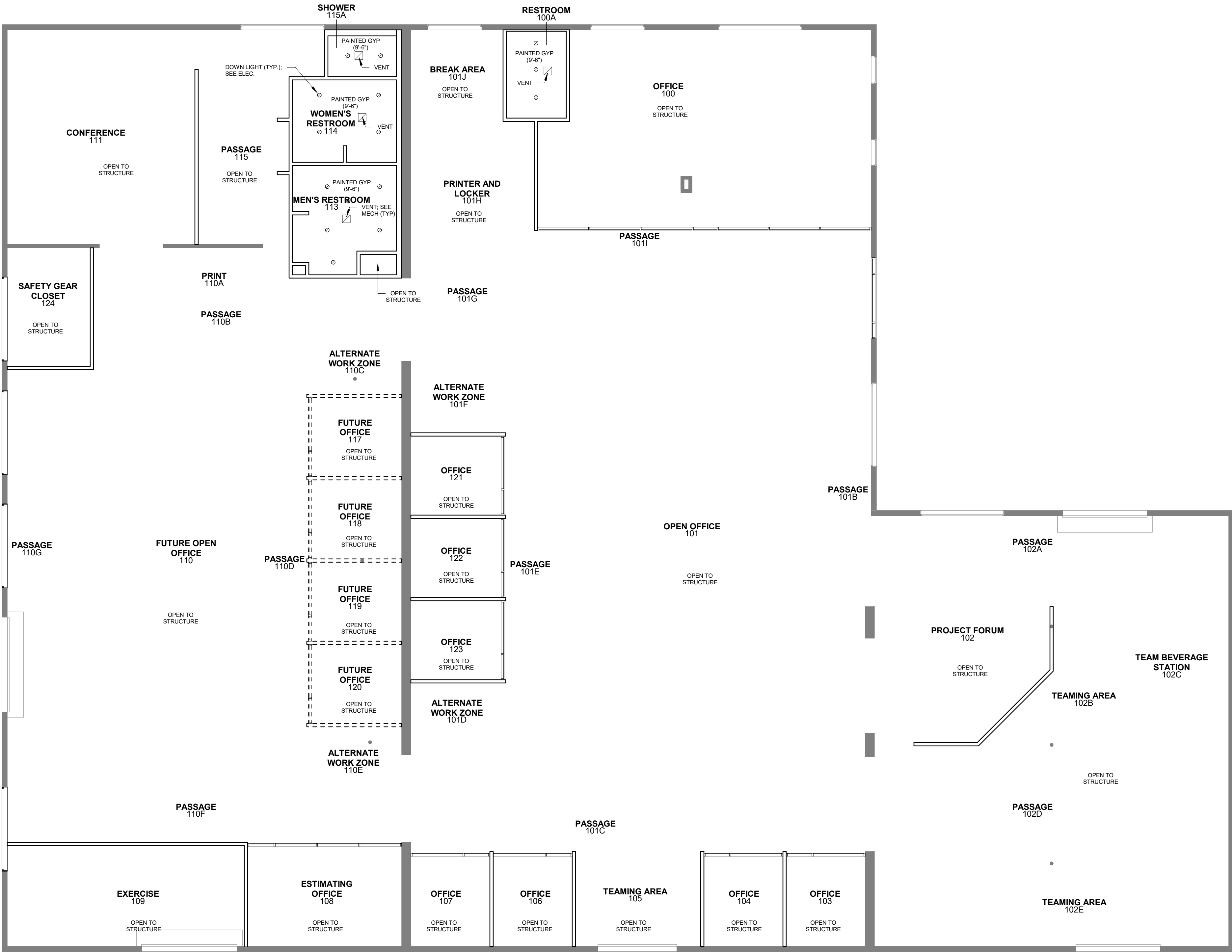
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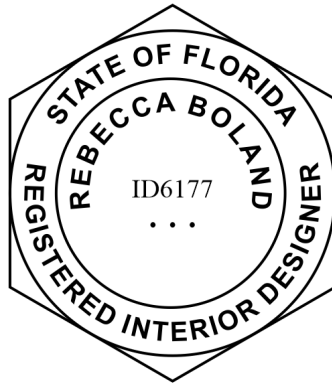
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RAYMOND CHIN & KERRY MOWLAM

REVISIONS

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- NEW RCP NOTES
- ANY PLUMBING, MECHANICAL, ELECTRICAL, OR FIRE PROTECTION FIXTURES SHOWN FOR REFERENCE ONLY. REFER TO ENGINEER'S DRAWINGS.



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NEW REFLECTED CEILING PLAN



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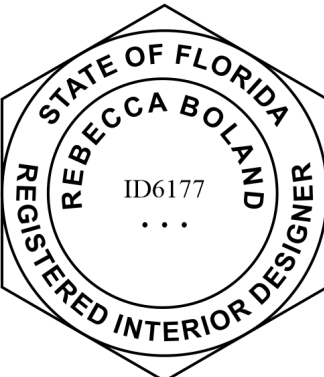
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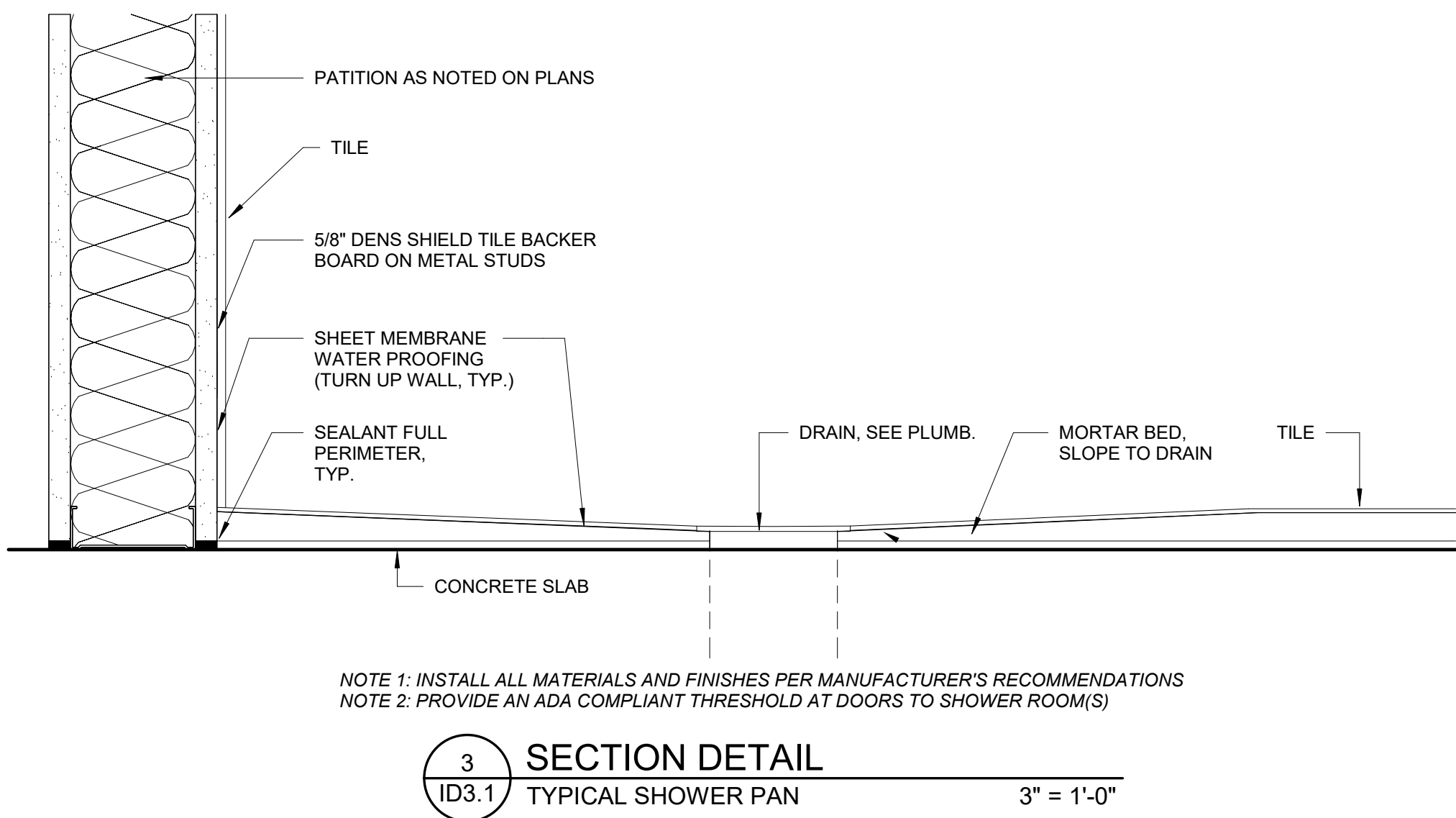


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ENLARGED PLANS

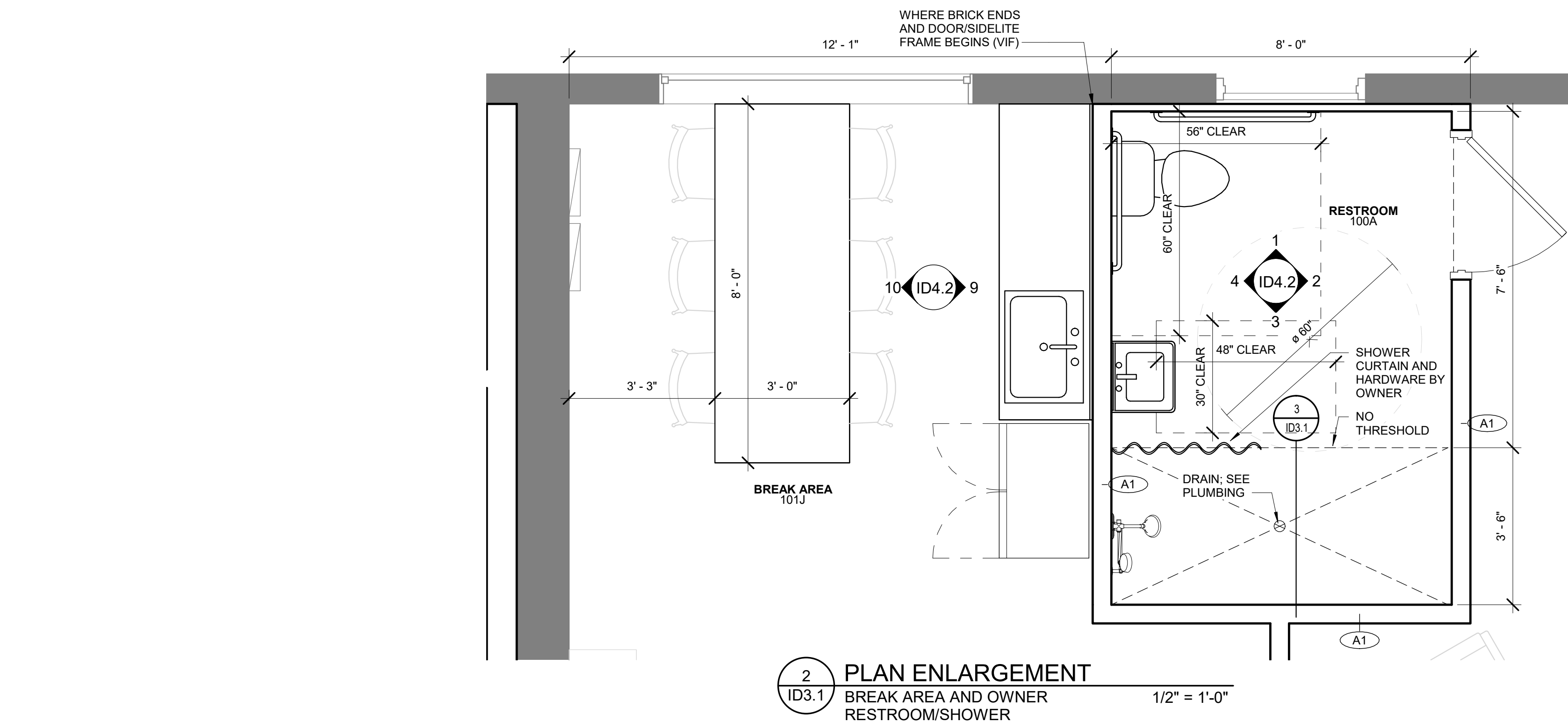
ID3.1



NOTE 1: INSTALL ALL MATERIALS AND FINISHES PER MANUFACTURER'S RECOMMENDATIONS  
NOTE 2: PROVIDE AN ADA COMPLIANT THRESHOLD AT DOORS TO SHOWER ROOM(S)

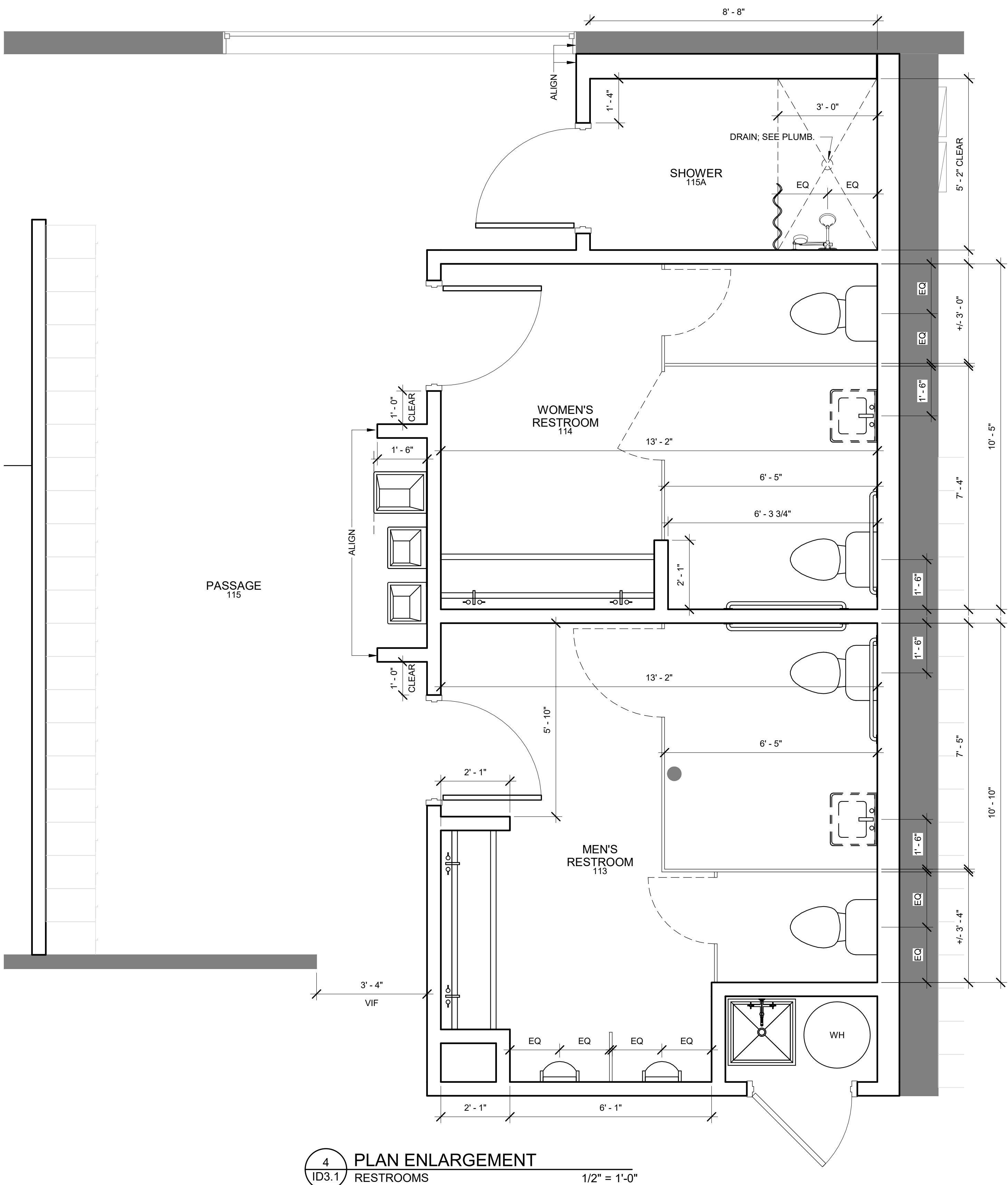
3  
ID3.1 SECTION DETAIL  
TYPICAL SHOWER PAN

3\"/>



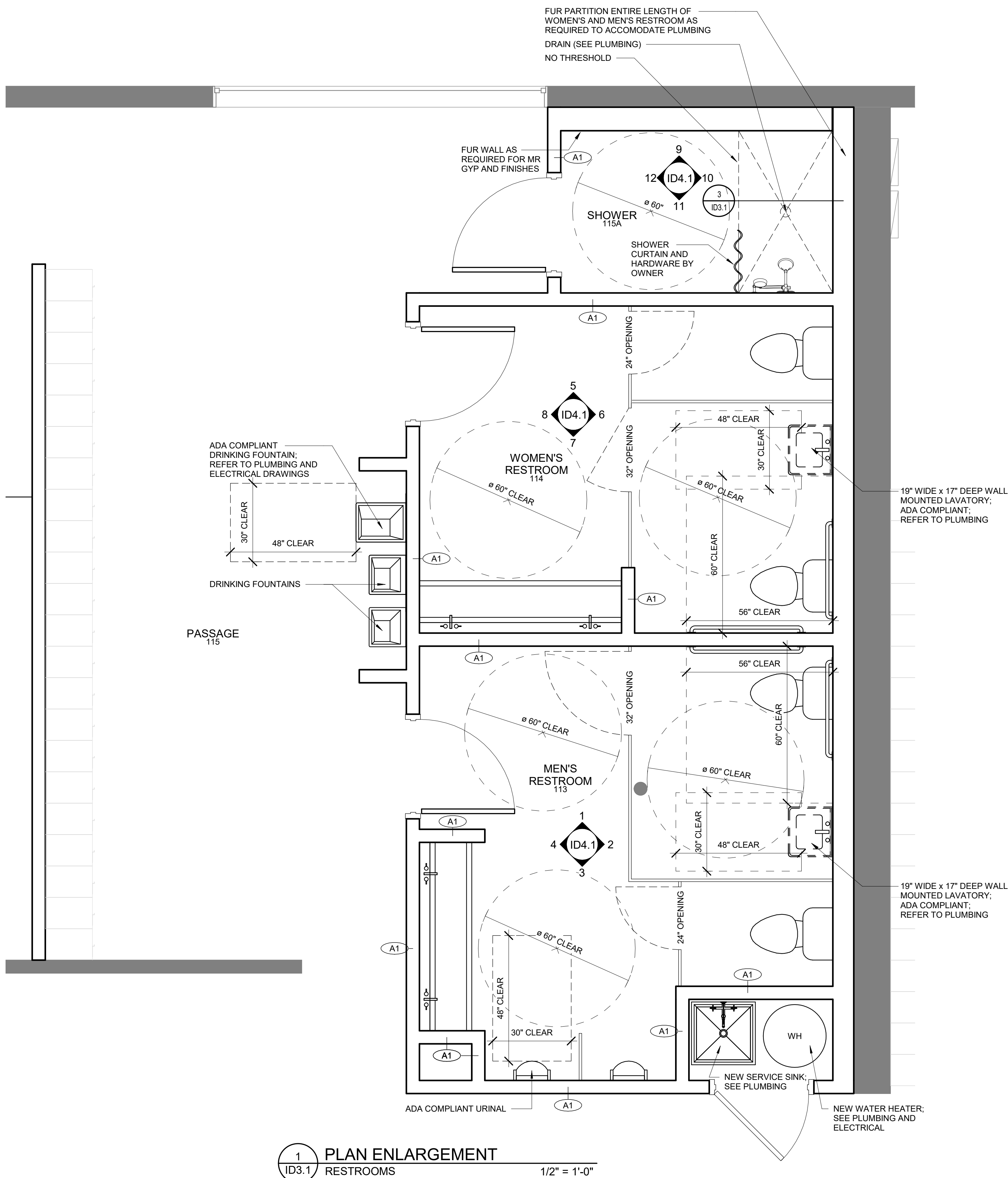
2  
ID3.1 PLAN ENLARGEMENT  
BREAK AREA AND OWNER  
RESTROOM/SHOWER

1/2\"/>



4  
ID3.1 PLAN ENLARGEMENT  
RESTROOMS

1/2\"/>



1  
ID3.1 PLAN ENLARGEMENT  
RESTROOMS

1/2\"/>

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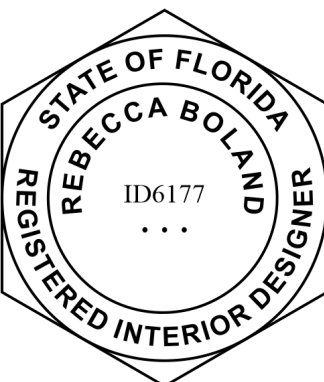
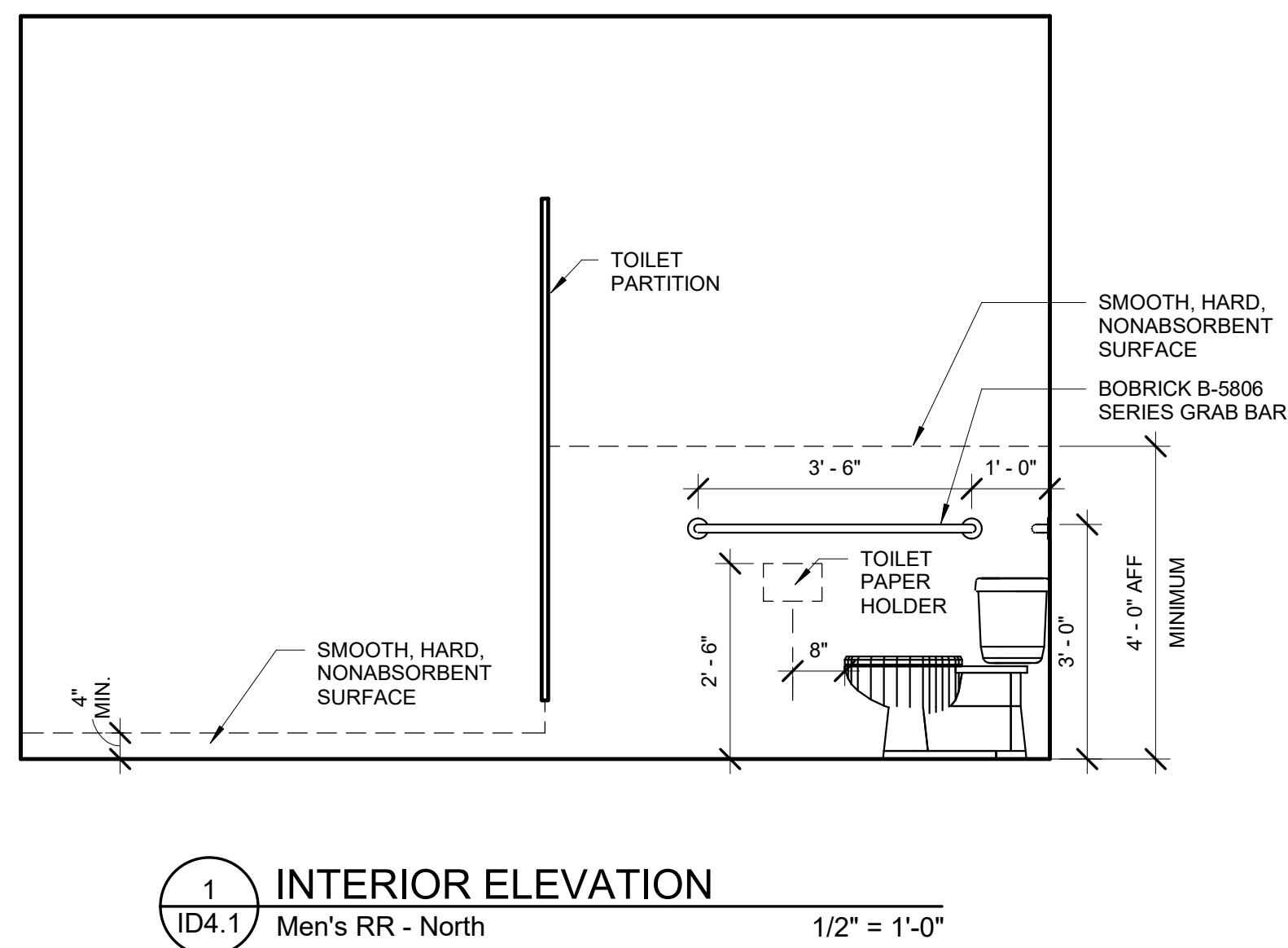
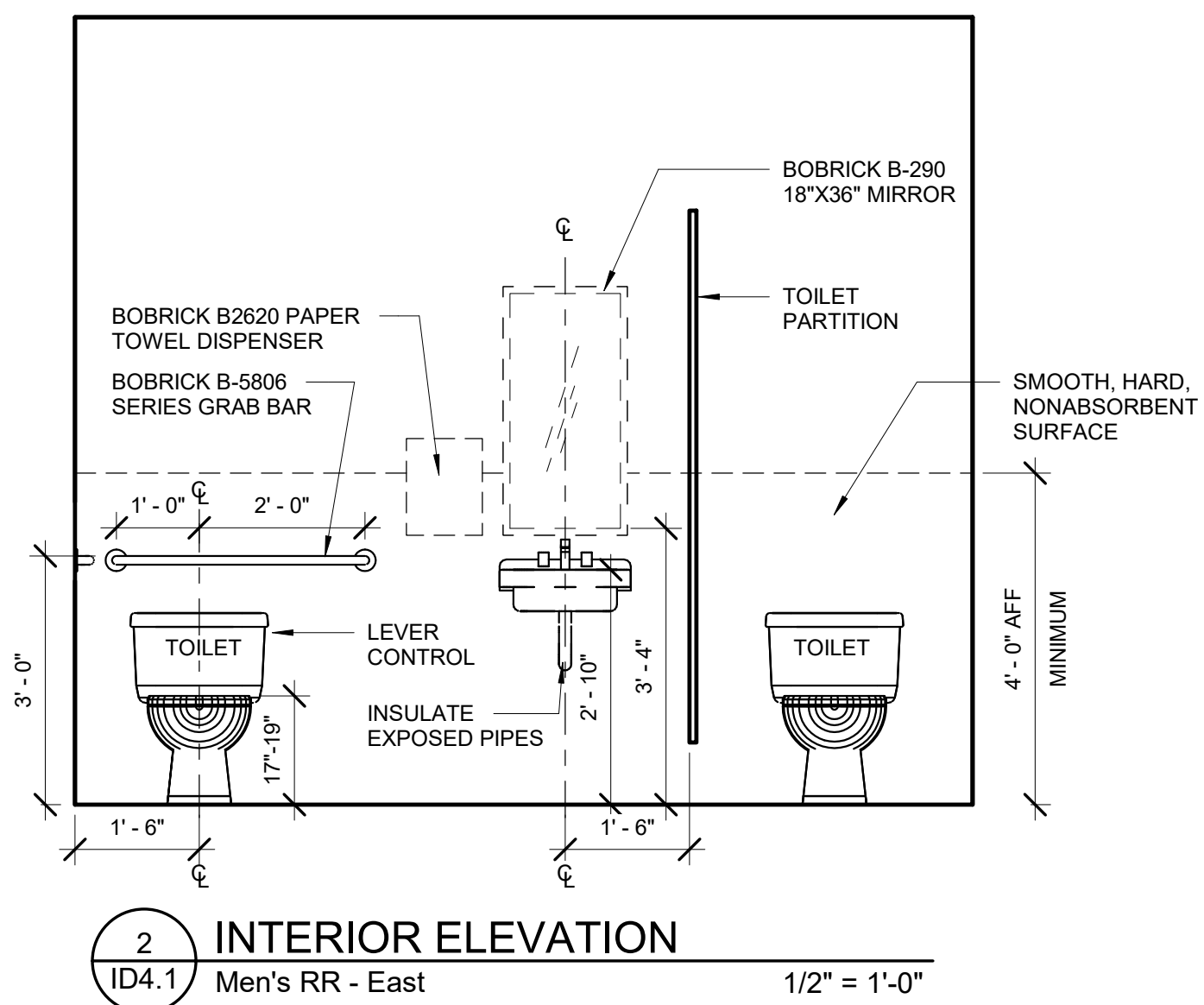
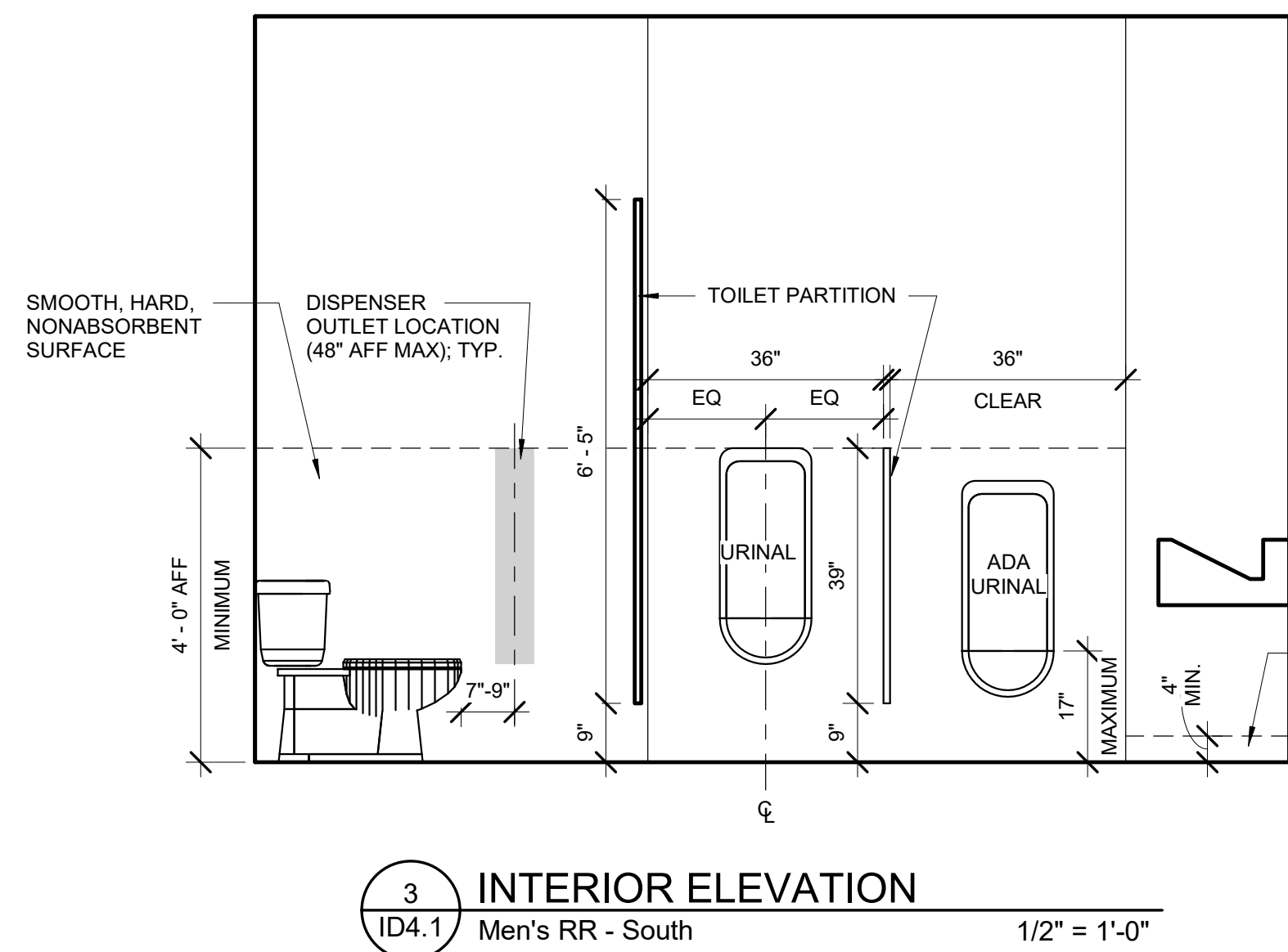
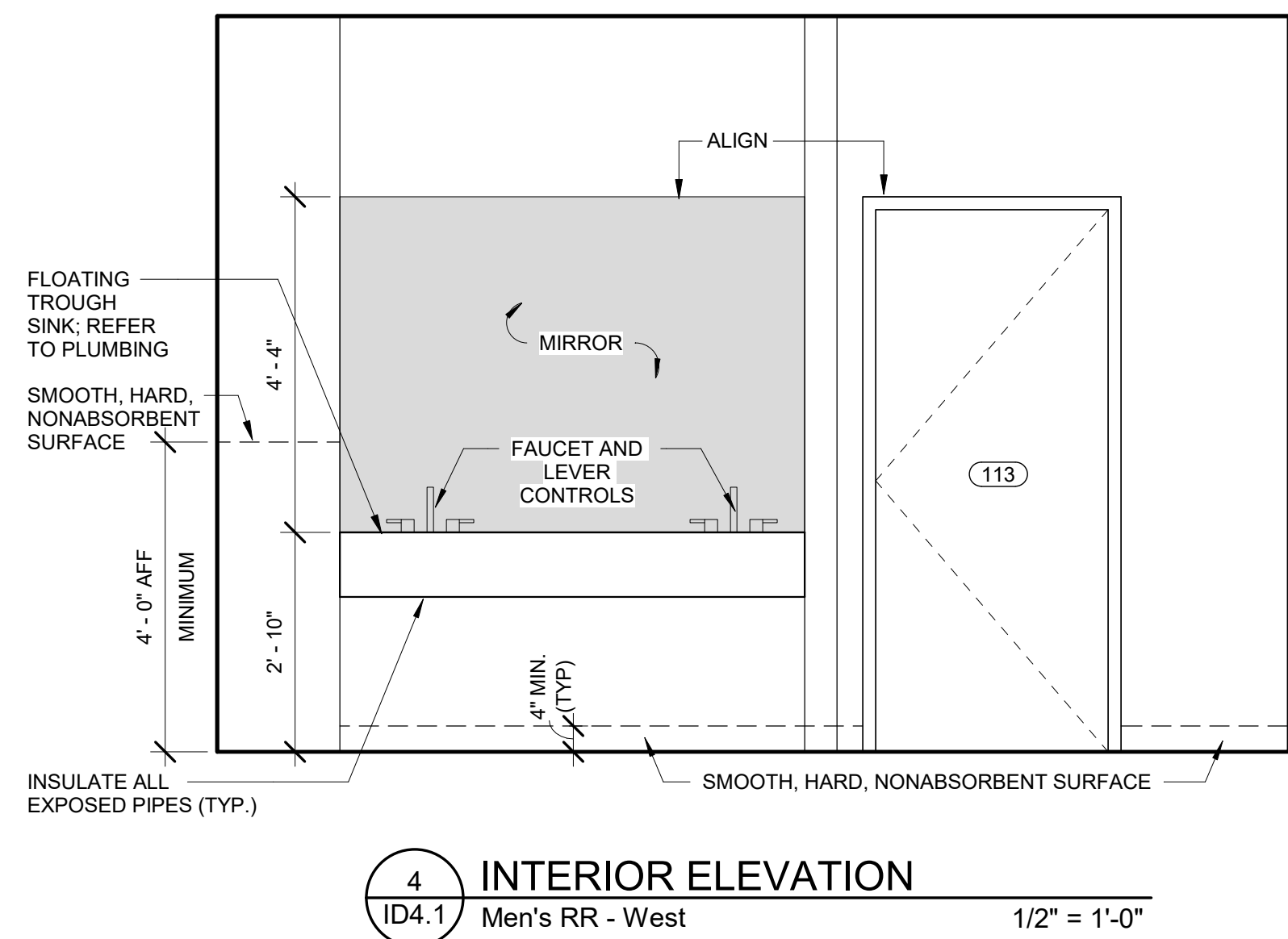
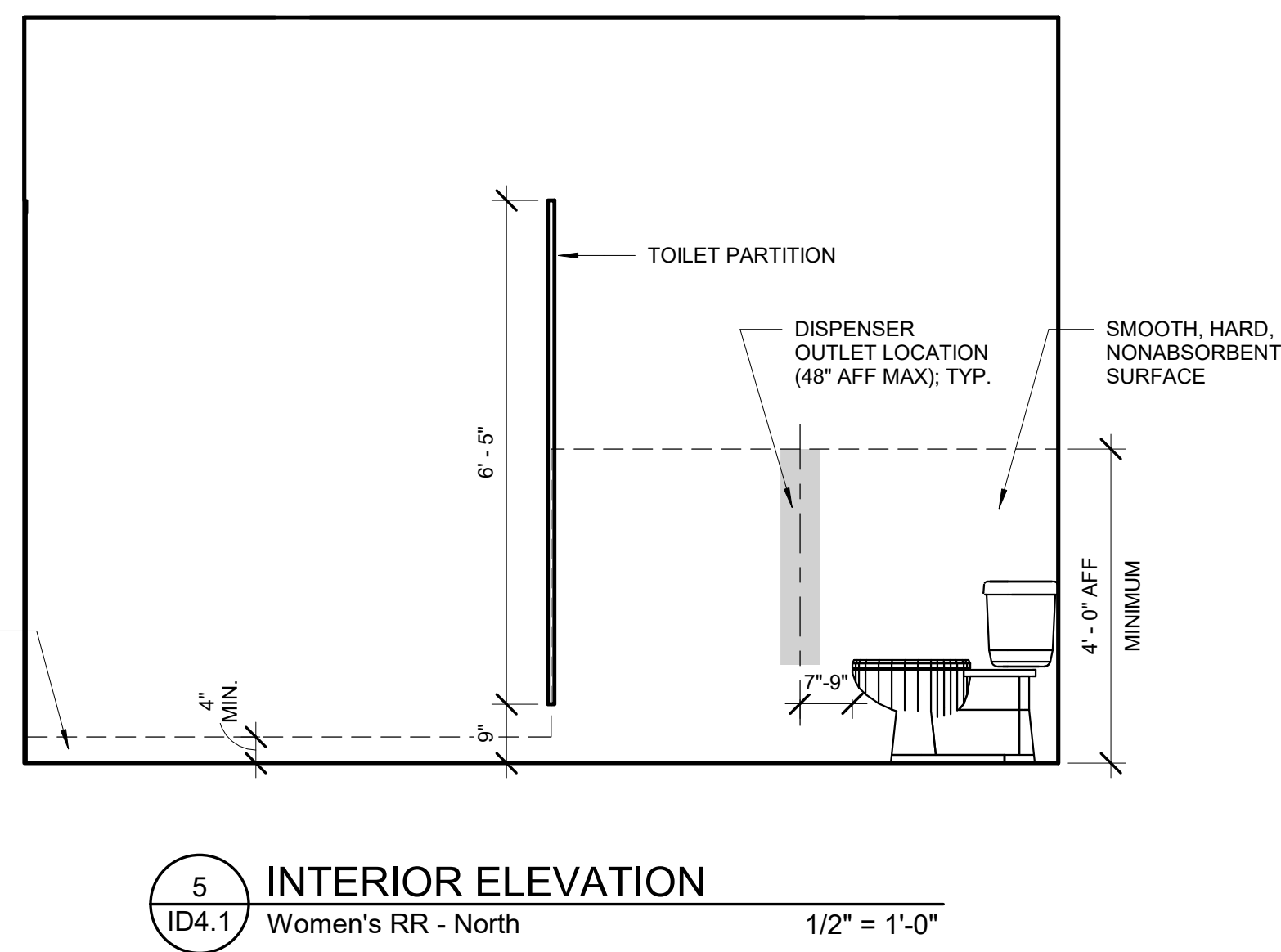
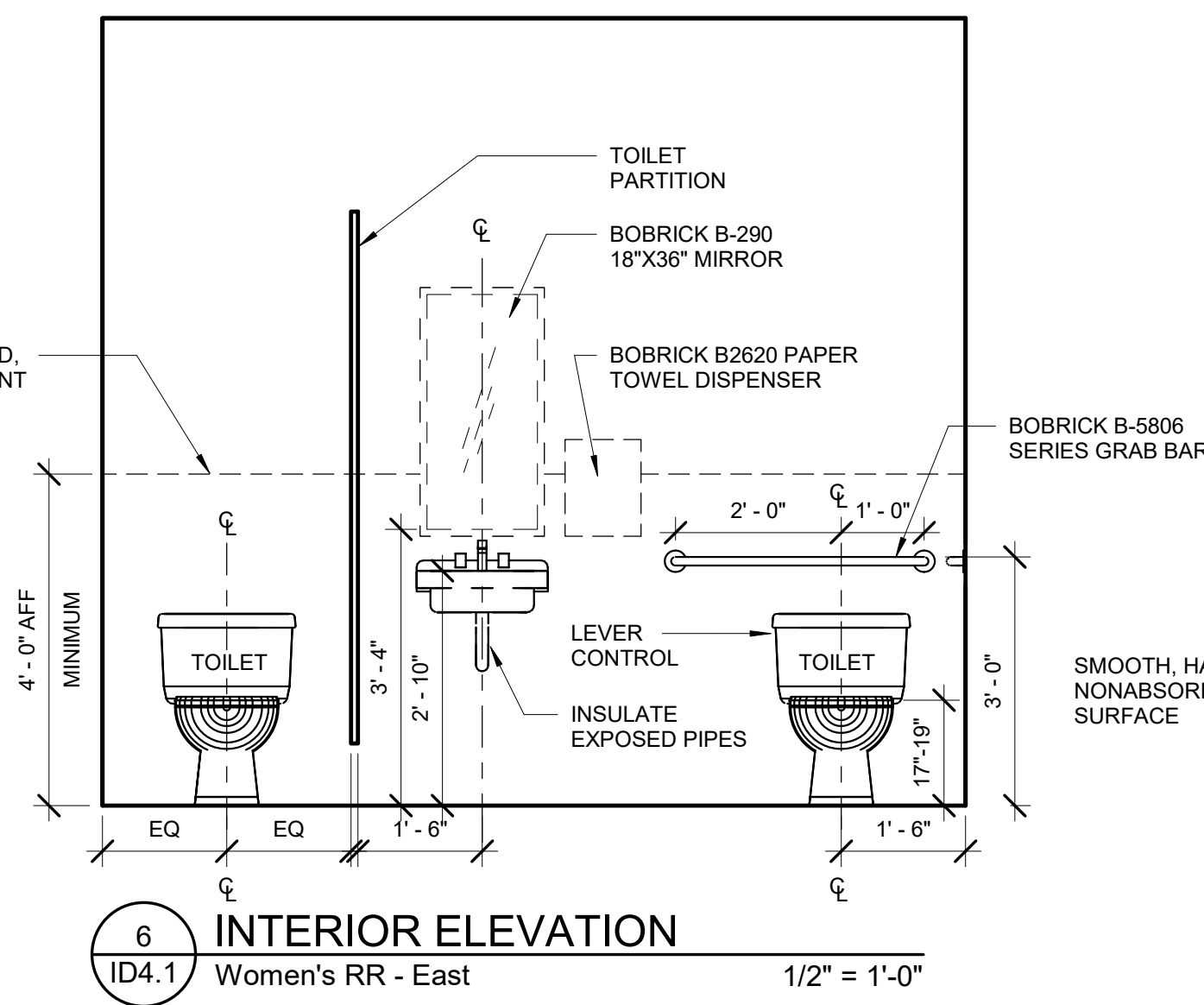
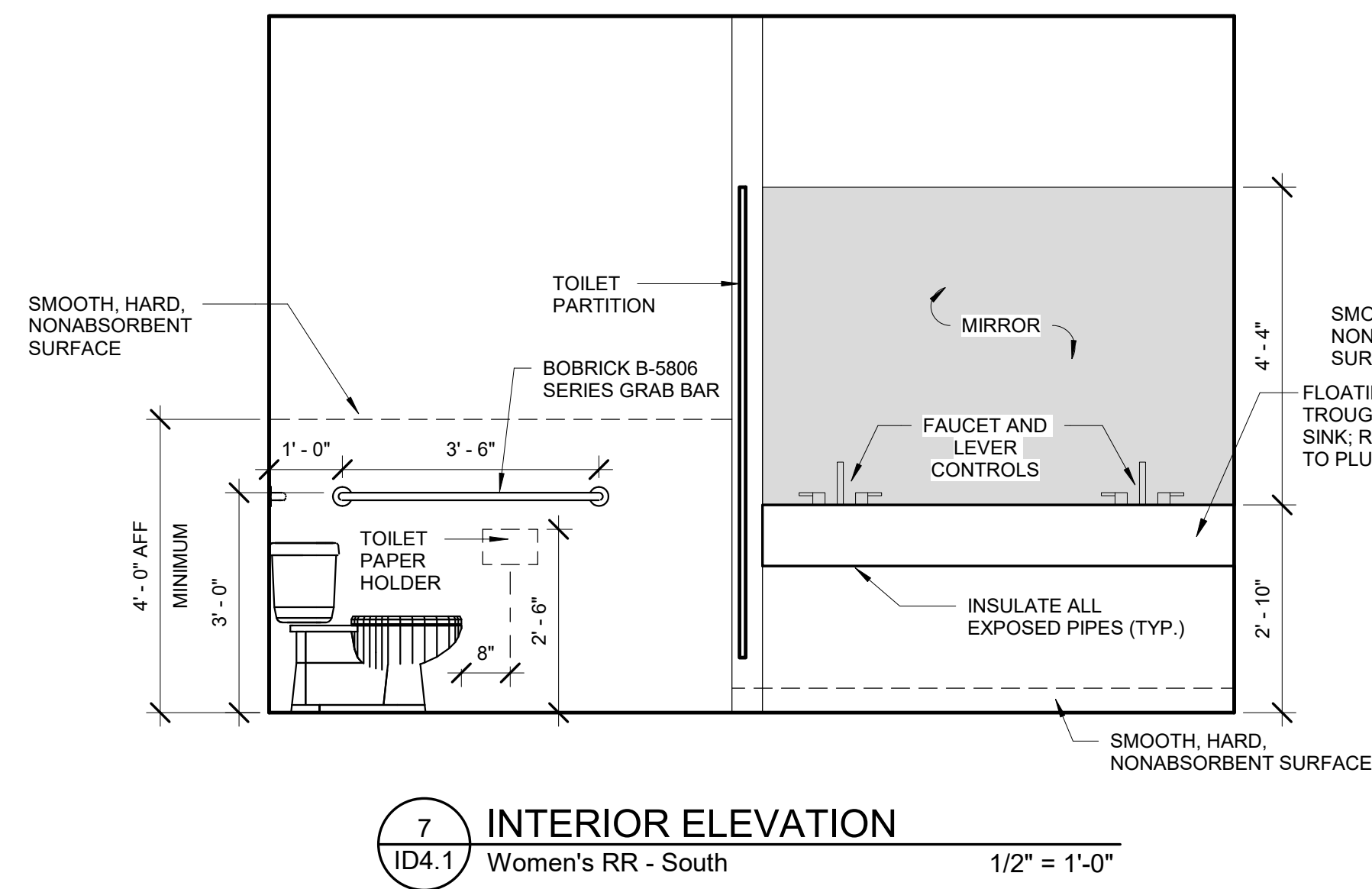
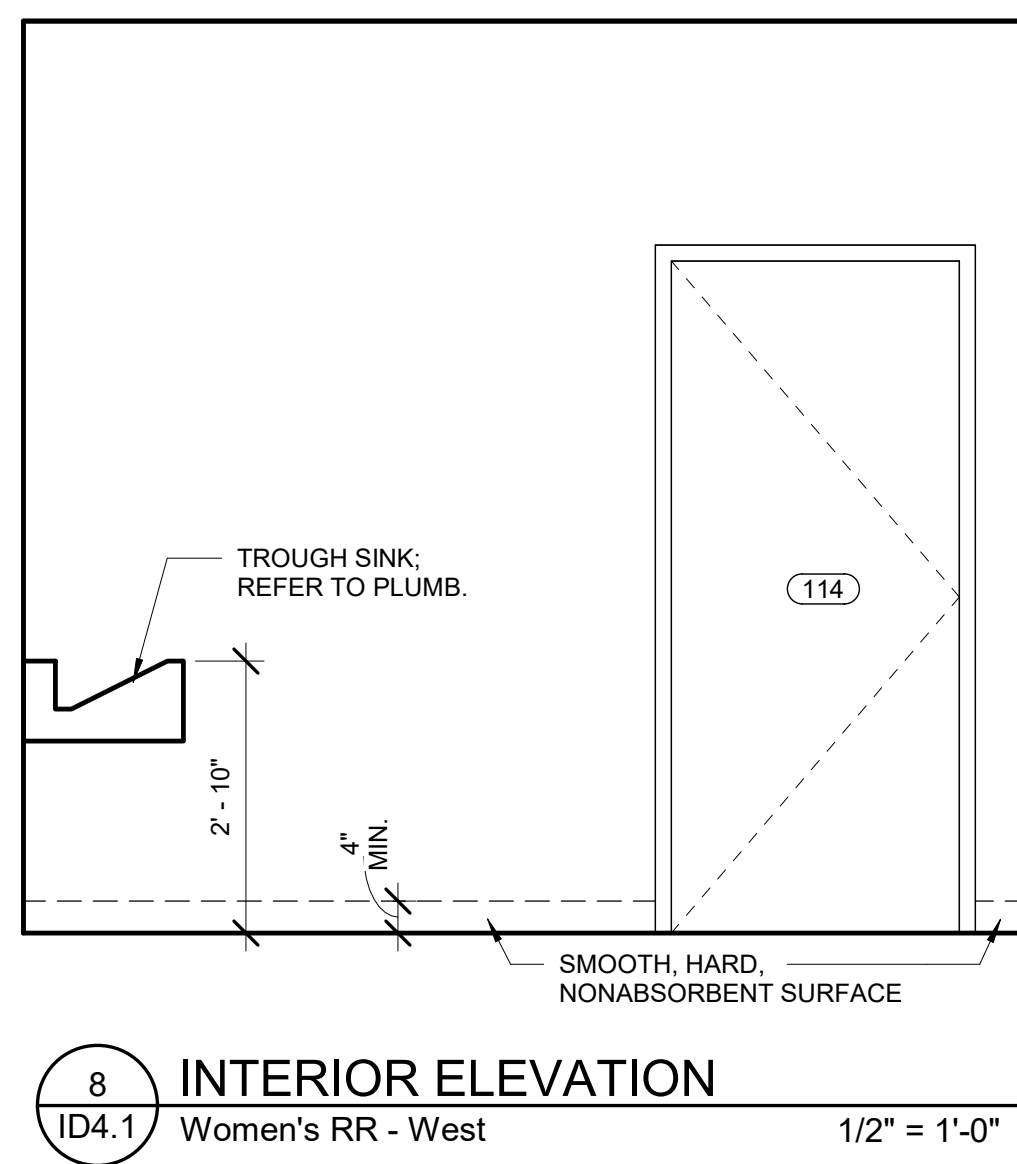
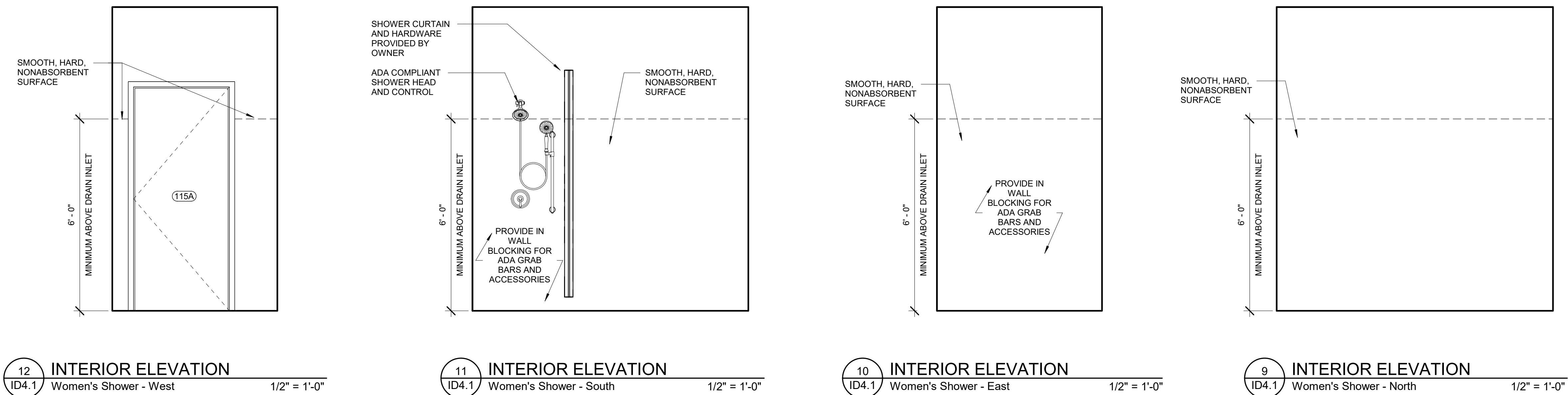
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INTERIOR ELEVATIONS

ID4.1



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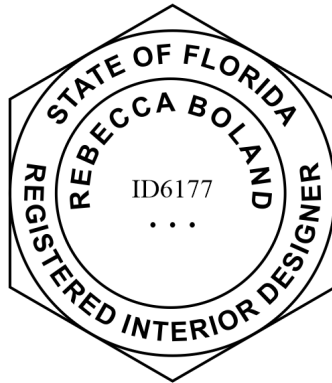
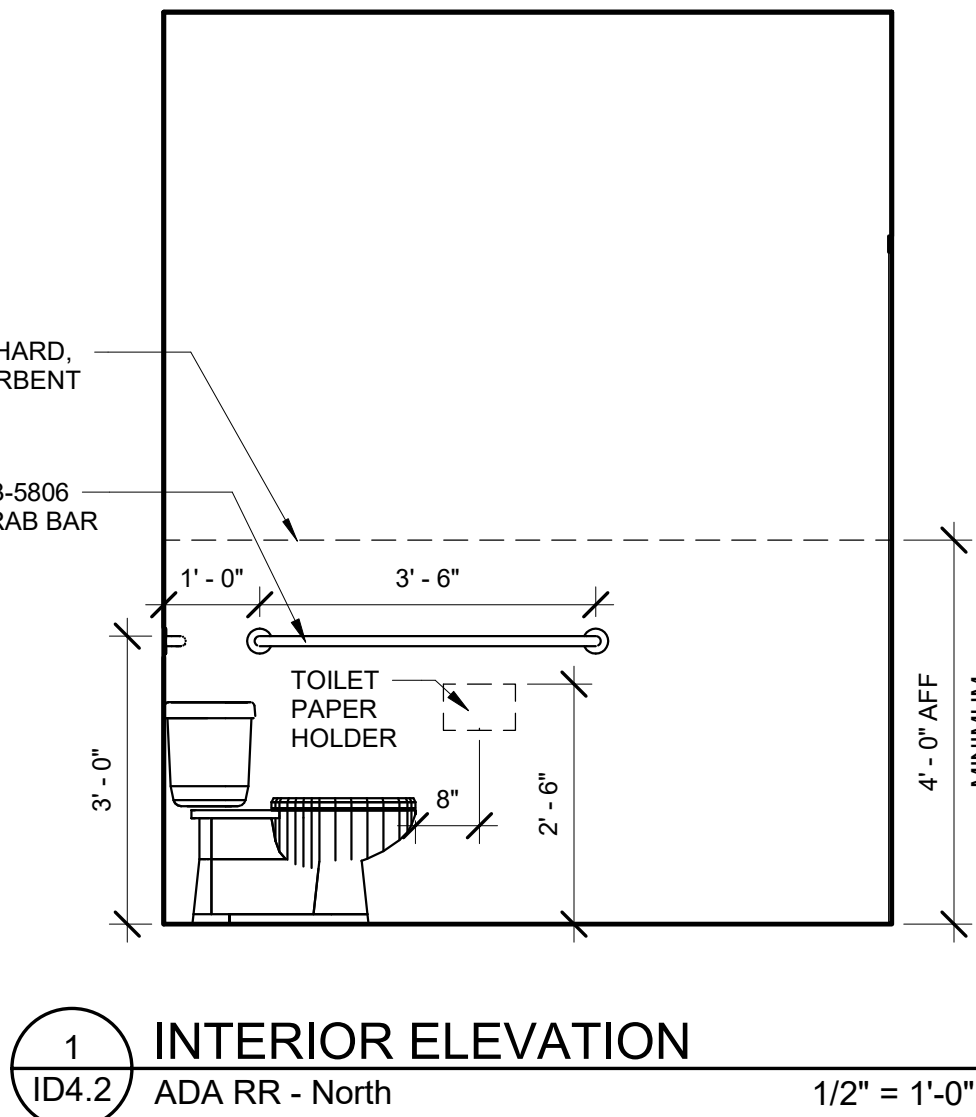
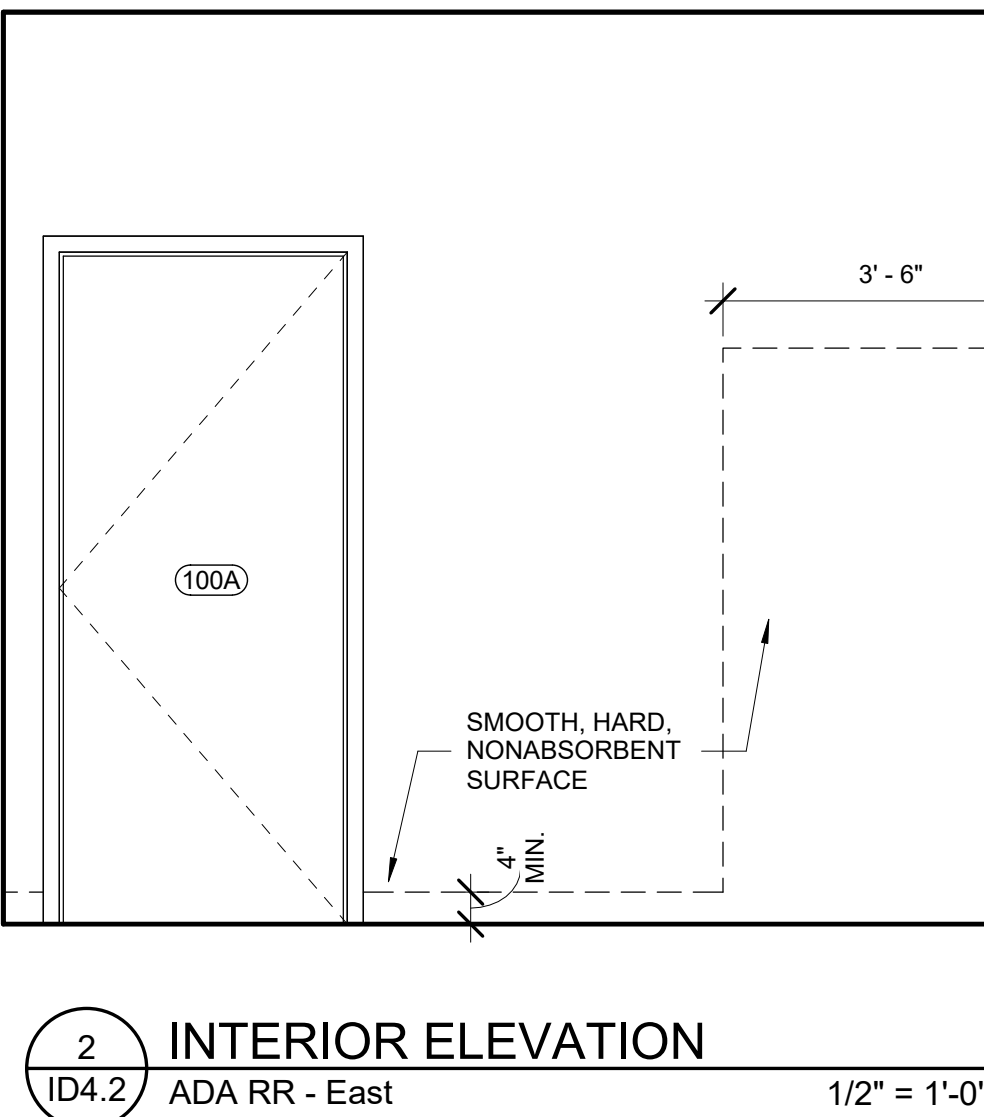
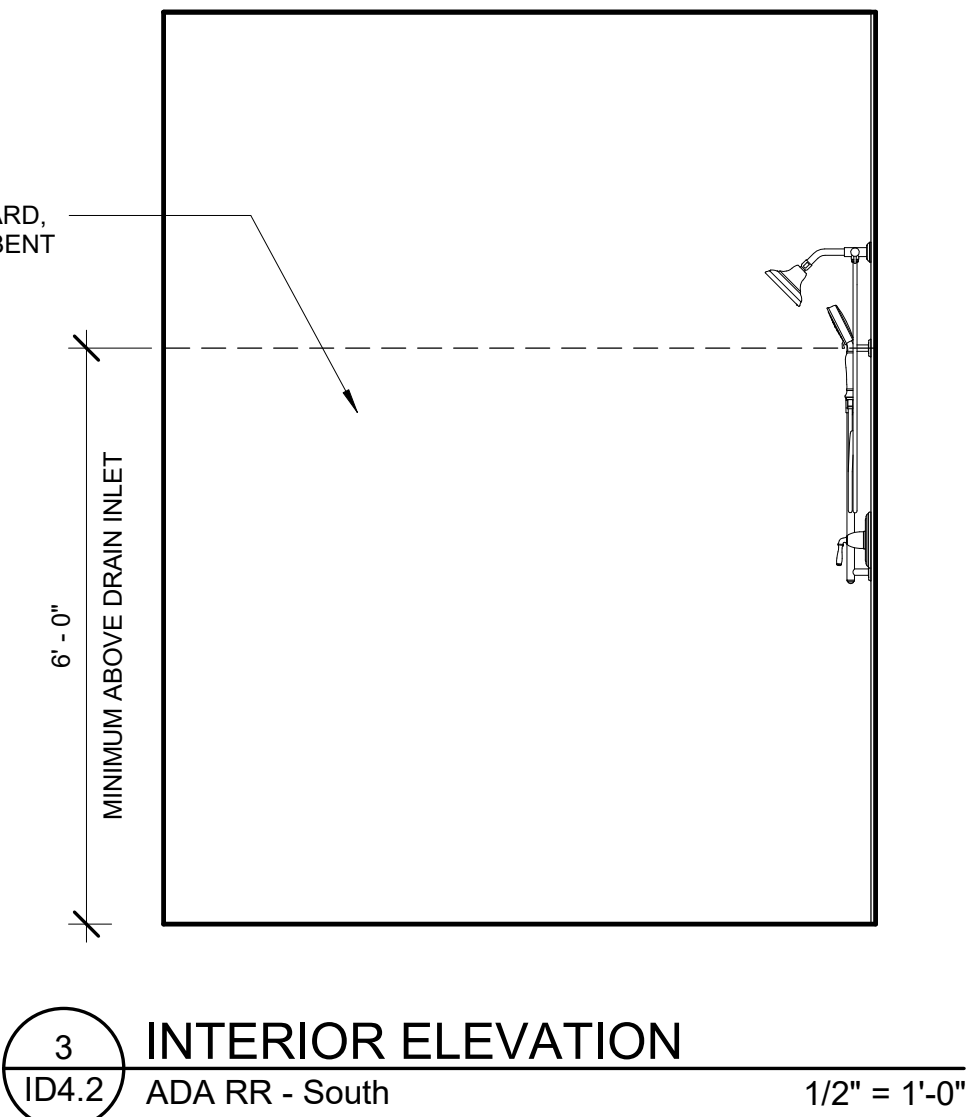
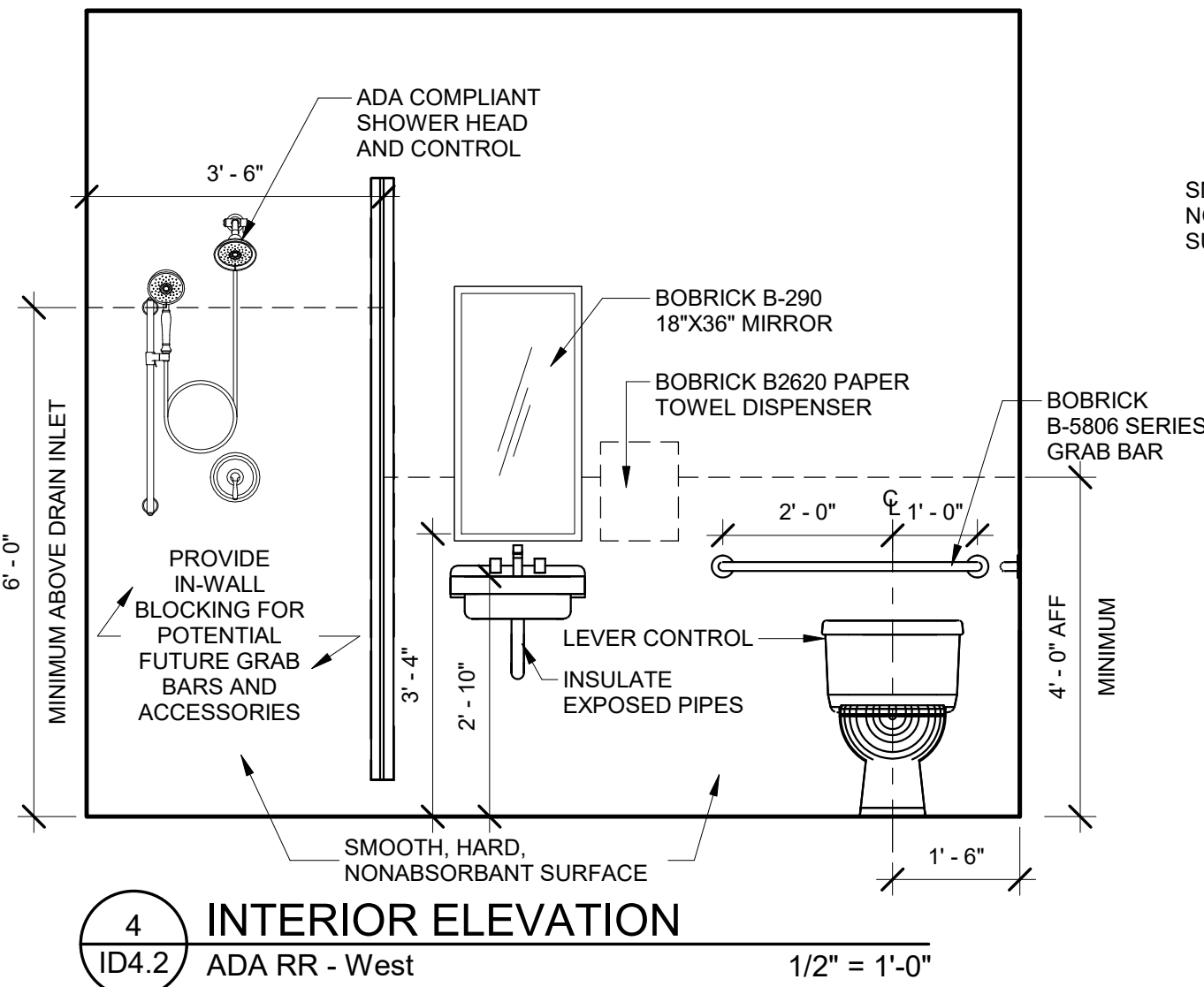
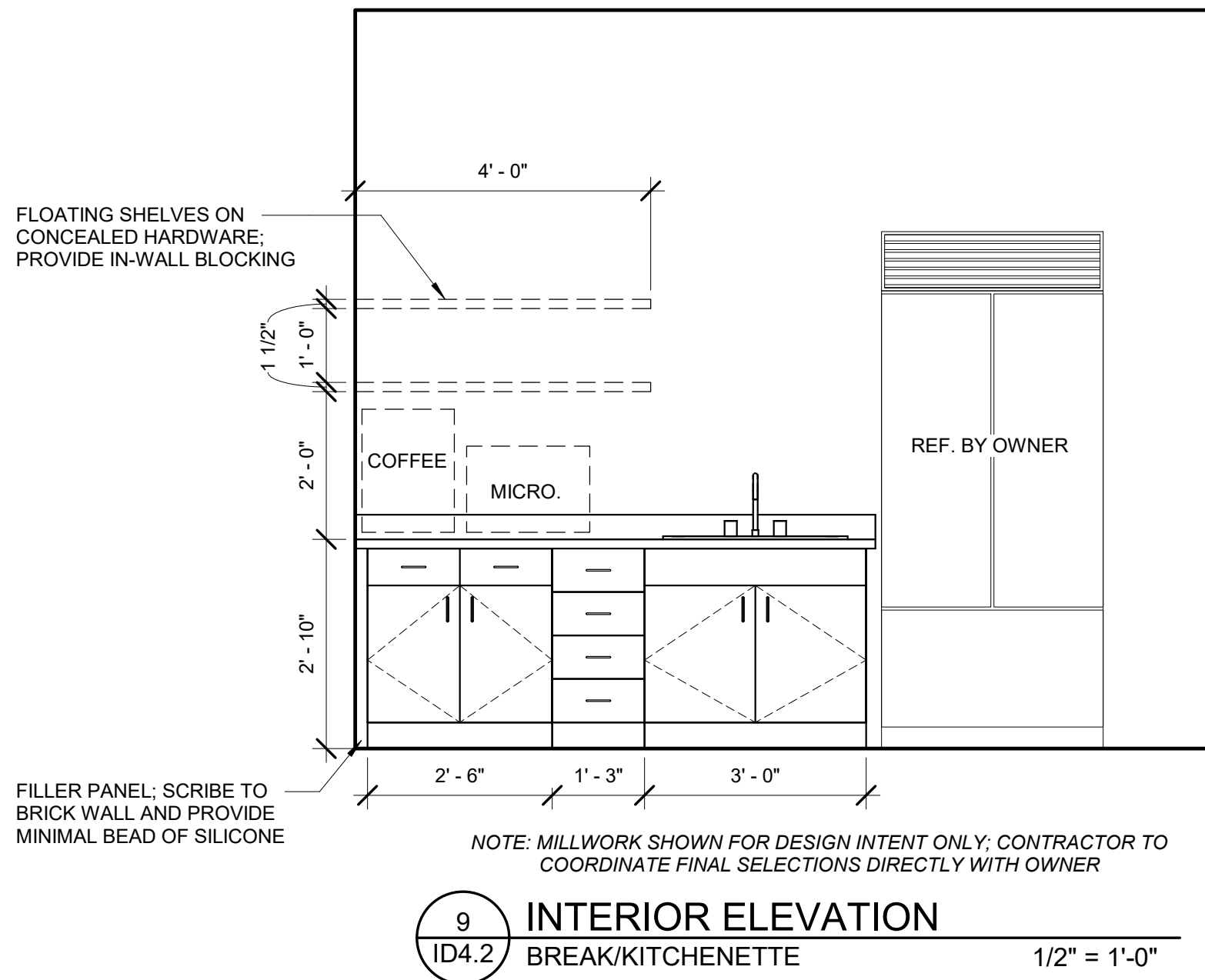
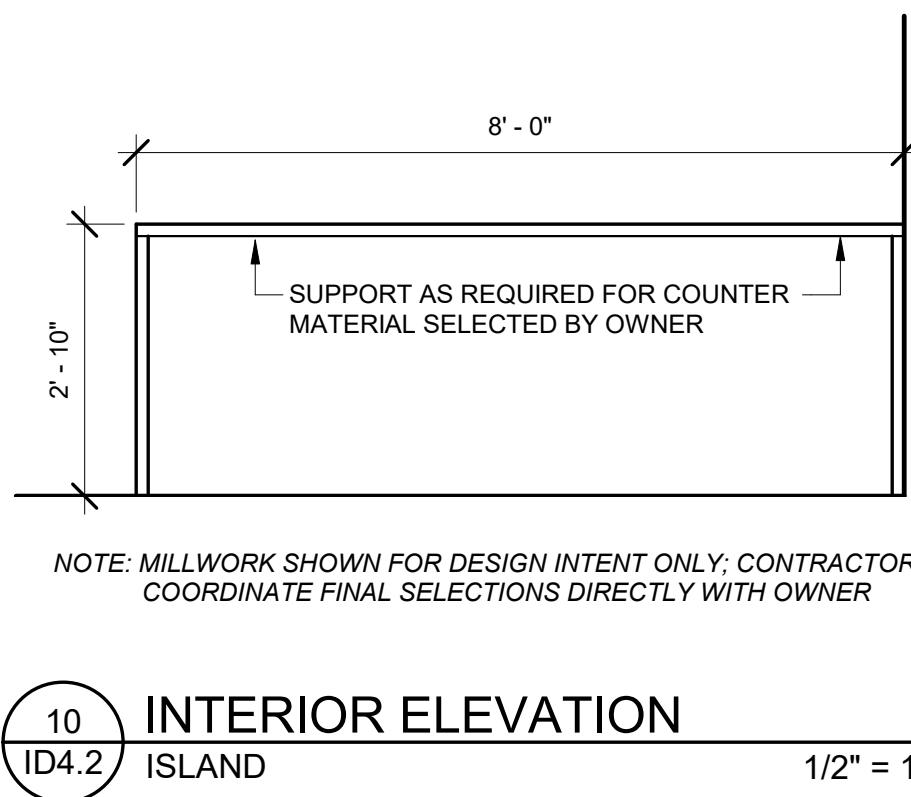
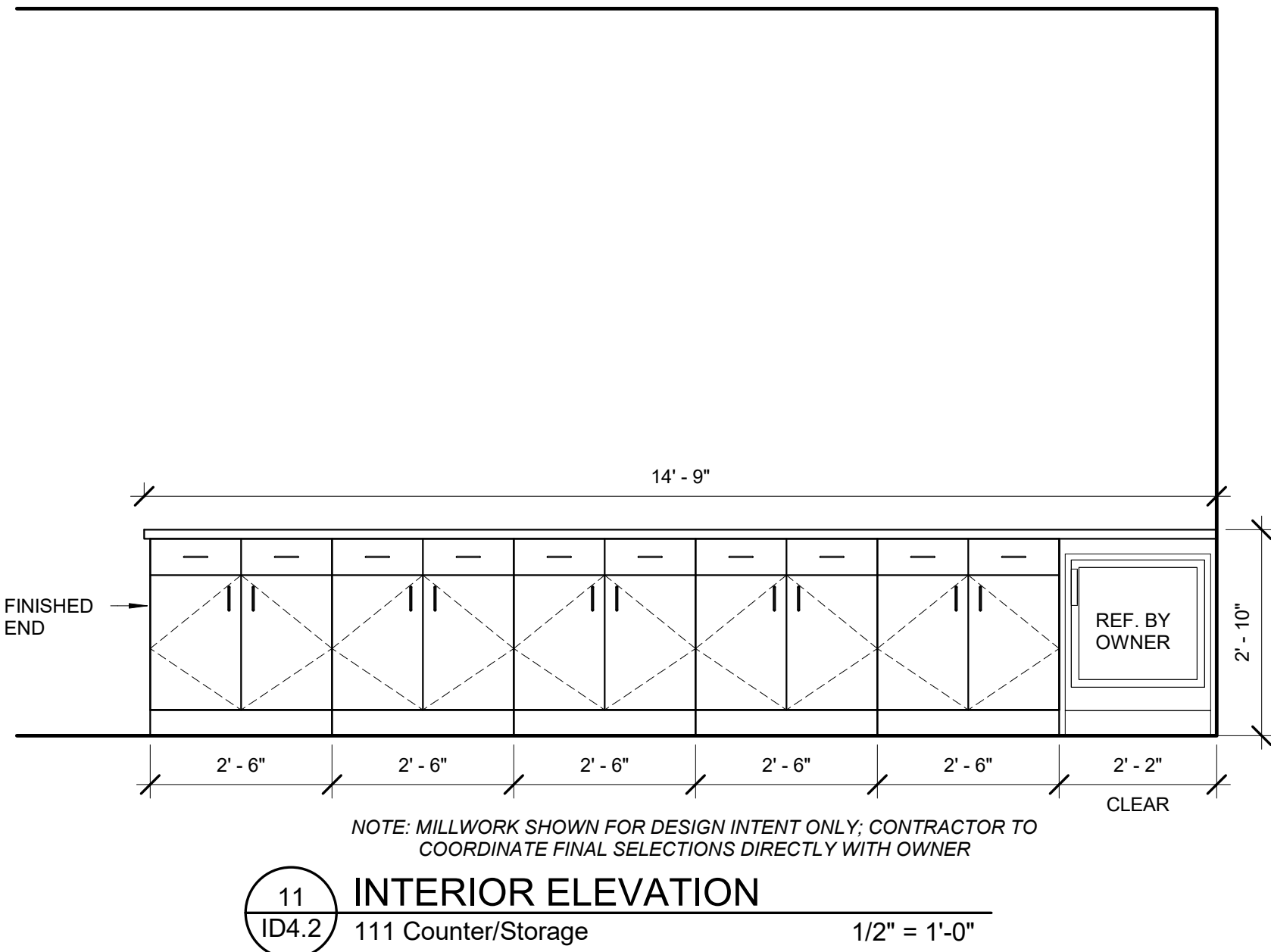
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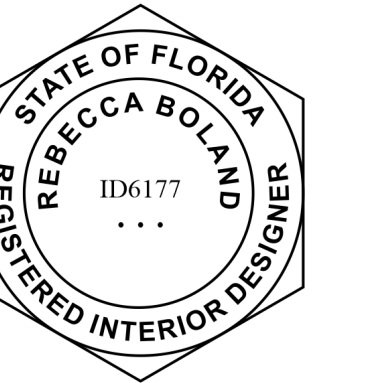
INTERIOR ELEVATIONS



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## D4.3



The diagram illustrates three door types with their respective dimensions and references:

- DOOR TYPE 'F'**: A flush solid door. Dimensions shown are **HEIGHT** and **WIDTH**. Both dimensions are labeled "REFER TO DOOR SCHEDULE". The door is shown above a **FINISHED FLOOR** line.
- DOOR TYPE 'GL'**: A glass door interior storefront system single. Dimensions shown are **HEIGHT** and **WIDTH**. Both dimensions are labeled "REFER TO DOOR SCHEDULE".
- DOOR TYPE 'EXT'**: A glass door exterior storefront system double. Dimensions shown are **HEIGHT** and **WIDTH**. Both dimensions are labeled "REFER TO DOOR SCHEDULE".

| BASIS OF DESIGN: ALL INTERIOR DOORS SHALL RECIEVE SCHLAGE S SERIES GRADE 1 LEVERS, OR EQUAL<br>THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS FOR ALL DOORS SHALL BE 5 POUNDS MAXIMUM |                |   |   |                 |   |
|--|----------------|---|---|-----------------|---|
| <b>SET 1 - BUILDING ENTRY</b>  |                | <b>SET 3 - HOUSE KEEPING</b>                |   |                 |   |
| 3  | BUTTS          | 4 1/2 X 4 1/2 FBB HINGES                    | 3 | BUTTS           | 4 1/2 X 4 1/2 FBB HINGES                |
| 1  | LOCKSET        | MORTISE LOCK FUNCTION FOR BUILDING SECURITY | 1 | LOCKSET         | STOREROOM FUNCTION                      |
| 1  | CLOSURE        | OVERHEAD MOUNTED DELAYED ACTION CLOSURE     | 1 | CLOSURE         | OVERHEAD MOUNTED DELAYED ACTION CLOSURE |
| 3  | RUBBER BUMPERS | JAMB MOUNTED SILENCER INSERTS               | 3 | WALL BUMPER     | WALL MOUNTED RUBBER DOME                |
|  |                |   | 3 | RUBBER BUMPERS  | JAMB MOUNTED SILENCER INSERTS           |
| <b>SET 2 - PASSAGE</b>   |                | <b>SET 4 - TOILET</b>                       |   |                 |   |
| 3  | BUTTS          | 4 1/2 X 4 1/2 FBB HINGES                    | 3 | BUTTS           | 4 1/2 X 4 1/2 FBB HINGES                |
| 1  | LATCHSET       | PASSAGE SET                                 | 1 | PRIVACY LOCKSET | PRIVACY FUNCTION LOCK SET               |
| 1  | WALL BUMPER    | WALL MOUNTED RUBBER DOME                    | 1 | CLOSURE         | OVERHEAD AUTO MOUNTED CLOSURE           |
| 3  | RUBBER BUMPERS | JAMB MOUNTED SILENCER INSERTS               | 3 | WALL BUMPER     | WALL MOUNTED RUBBER DOME                |
|  |                |   | 3 | RUBBER BUMPERS  | JAMB MOUNTED SILENCER INSERTS           |

The image contains two architectural section details, labeled 12 and 11, showing cross-sections of exterior storefront doors and windows.

**Section 12: EXTERIOR STOREFRONT DOOR**  
 This section shows a door assembly. From top to bottom, the components are:  
 - **TRANSOM HEAD**: The upper part of the door assembly.  
 - **EXISTING BRICK WALL**: The wall above the transom head.  
 - **BACKER ROD AND SEALANT, BOTH SIDES**: Located between the transom head and the brick wall.  
 - **ALUMINUM STOREFRONT ASSEMBLY**: The main door frame.  
 - **DOOR(S) BY STOREFRONT MANUFACTURER**: The door leaf.  
 - **ADA COMPLIANT THRESHOLD**: The bottom edge of the door.  
 - **EXISTING CONCRETE SLAB**: The floor below the threshold.  
 - **DOOR BOTTOM RAIL**: The bottom part of the door assembly.

**Section 11: EXTERIOR STOREFRONT WINDOW**  
 This section shows a window assembly. From top to bottom, the components are:  
 - **MULLION AT WALL**: The top part of the window frame.  
 - **EXISTING BRICK WALL**: The wall above the mullion.  
 - **BACKER ROD AND SEALANT, BOTH SIDES**: Located between the mullion and the brick wall.  
 - **MULLION**: The main vertical part of the window frame.  
 - **ALUMINUM STOREFRONT ASSEMBLY**: The window unit.  
 - **SILL**: The bottom part of the window frame.  
 - **BACKER ROD AND SEALANT, BOTH SIDES**: Located between the sill and the concrete slab.  
 - **EXISTING CONCRETE SLAB**: The floor below the sill.

Both sections include a scale bar indicating  $3" = 1'-0"$ .

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## REVISIONS

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**SECTION DETAIL 10**  
ID5.1 MULLION AT WALL BYPASS  
3" = 1'-0"

**SECTION DETAIL 9**  
ID5.1 TRANSOM HEAD  
3" = 1'-0"

**SECTION DETAIL 8**  
ID5.1 SILL  
3" = 1'-0"

**SECTION DETAIL 7**  
ID5.1 TYPICAL MULLION  
3" = 1'-0"

**SECTION DETAIL 6**  
ID5.1 WALL MULLION  
3" = 1'-0"

**SECTION DETAIL 5**  
ID5.1 DOOR HEADER  
3" = 1'-0"

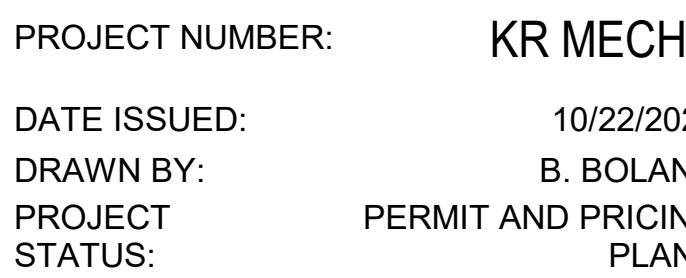
**SECTION DETAIL 4**  
ID5.1 DOOR JAMB WITH SIDELITE  
3" = 1'-0"

**SECTION DETAIL 3**  
ID5.1 DOOR JAMB AT WALL  
3" = 1'-0"

**SECTION DETAIL 2**  
ID5.1 HM - DOOR JAMB DETAIL  
3" = 1'-0"

**SECTION DETAIL 1**  
ID5.1 HM - DOOR HEAD DETAIL  
3" = 1'-0"

Labels in drawings include: PARTITION AS NOTED, SEE NEW FLOOR PLAN; J-BEAD AT CORNERS, TYP.; FINISHED END; BACKER ROD AND SEALANT, BOTH SIDES; ALUM. STOREFRONT ASSEMBLY; FINISHED TOP ALUM. STOREFRONT ASSEMBLY; NOTE: BRACE TO STRUCTURE ABOVE AS REQUIRED FOR RIGIDITY; CONCRETE SLAB; ALUM. STOREFRONT ASSEMBLY; BACKER ROD AND SEALANT; EXISTING PARTITION OR NEW PARTITION, SEE PLAN; BACKER ROD AND SEALANT; ALUM. STOREFRONT ASSEMBLY; DOUBLE STUD AT JAMB; METAL JAMB ANCHORS 3 PER JAMB; EQ; REF. DOOR SCHEDULE & FLOOR PLANS FOR DOOR SIZE & HANDING; CAULK BOTH SIDES OF FRAME TO PARTITION; TYPICAL HOLLOW METAL EQUAL RABBIT MTL STUD - DOOR JAMB DETAIL; PARTITION TYPE VARIES; DOUBLE STUD AT HEAD; CAULK BOTH SIDES OF FRAME TO PARTITION; REFER TO DOOR SCHEDULE AND FLOOR PLANS FOR DOOR TYPE; TYPICAL HOLLOW METAL EQUAL RABBIT MTL STUD - DOOR HEAD DETAIL.



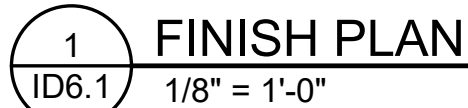
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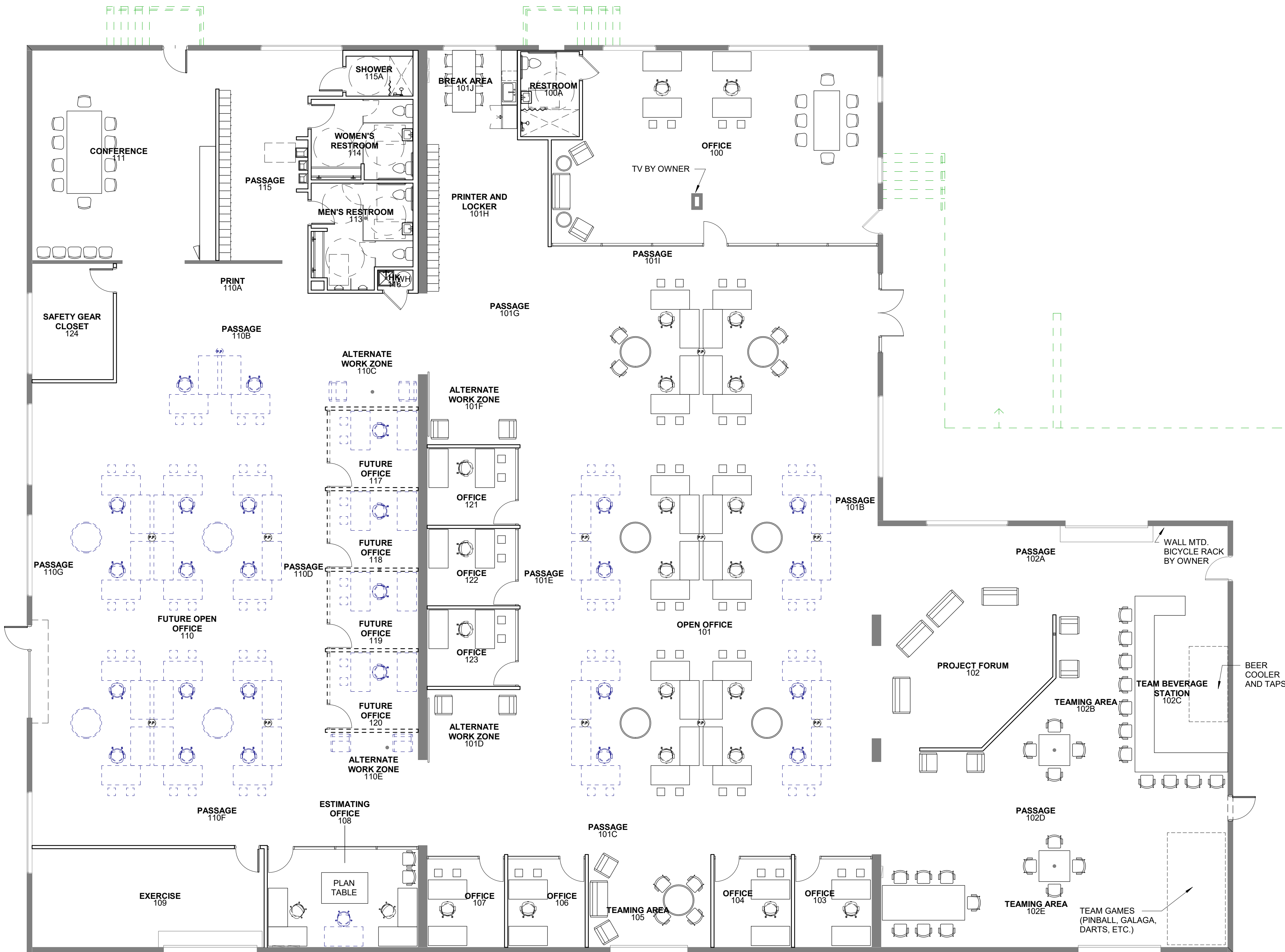
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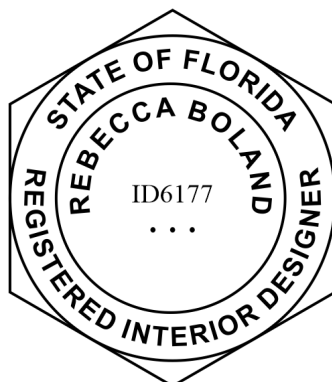
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FURNITURE PLAN NOTES

- FURNITURE PLAN PROVIDED FOR REFERENCE ONLY. LAYOUT IS BASED ON OWNER'S EXISTING FURNITURE WITH TEST-FIT FOR FUTURE GROWTH.



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FURNITURE PLAN