

HARLEY DAVIDSON SHOP ADDITION 1515 M. PACIFIC COAST HNY, HARBOR CITY, CA.

DIRECTORY

GOVERNING AUTHORITY

CITY OF LOS ANGELES DEPARTMENT OF BUILDING & SAFETY

(310) 575-8094

LOS ANGELES CITY FIRE DEPARTMENT FIRE PREVENTION BUREAU

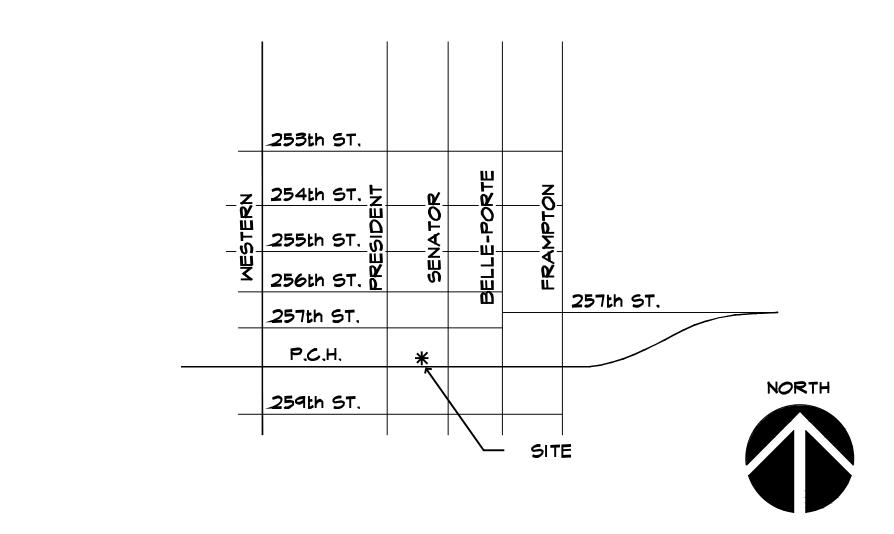
(213) 485-5966

GOVERNING CODE:

1996 L.A.B.C.

VICINITY MAP

NOT TO SCALE



FIRE PREVENTION NOTES

- I. WHEN EVER THE BUILDING IS OCCUPIED, EXIT SIGNS SHALL BE LIGHTED SO THAT THEY ARE CLEARLY VISIBLE.
- 2. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR.
- 3. ROOF OBSTRUCTION SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, AND RAZOR RIBBON SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF A FIRE.
- 4. PARKING SPACES SHALL NOT OBSTRUCT REQUIRED EXITS.
- 5. EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT, SPECIAL LOCKING DEVICES SHALL BE AN APPROVED TYPE.
- 6. AISLES LEADING TO REQUIRED CORRIDORS AND EXITS SHALL HAVE A MINIMUM WIDTH OF 44".

PROJECT DATA

SITE AREA:	19,000 S.F.
BUILDING FOOTPRINT (NEW & EXISTING)	9,878 (52%)
PARKING AREA:	8,932 (46%)
MISC. SITE AREA (LOADING AREA):	200 (2%)
LANDSCAPING AREA (4% OF PARKING AREA): (REQUIRED: 357 S.F. MIN.)	372 S.F.

PARKING TABULATION:

* COMPACT TANDEM (7'-6"x15'):	10
* STANDARD TANDEM (8'-4" x 18'):	19
* HANDICAPPED:	
* VAN ACCESSIBLE: (9'-0"x18'-0" W/8' LOADING)	1
* STANDARD ACCESSIBLE: (9'-0"x18'-0")	I

TOTAL # PARKING STALLS PROVIDED

PARKING ANALYSIS:

* SALES	3,000/250	=	Ľ
* STORAGE & PARTS	1,600/500	=	3
* OFFICES	800/500	=	2
* 2nd FLOOR STORAGE	<u> 1,100/500</u>	=	2
	6510 S.F.		18

No. OF STALLS REQ'D PER PERMIT 935P14070 14 (GOVERNS)

NEW BUILDING AREA:		
* REPAIR SHOP, PARTS & MISC.	4,468/500	=
*_2nd FLOOR STORAGE	4,129/500	= _
	8,597 S.F.	

TOTAL NO. PARKING STALLS REQ'D **BUILDING AREA:**

* UPPER FLOOR (STORAGE)

STRUCTURES TO BE DEMOLISHED 1400 SF

* PARTS AND SERVICE	1,600 5,1
* CARPORT	425
* STORAGE & TRASH ENCLO.	276

2,301 S.F. TOTAL TO BE DEMOLISHED

EXISTING BUILDING TO REMAIN		6,510 S.F.
* LOWER FLOOR	5,400 S.F.	
(SALES, OFFICES, STORAGE		

AND RESTROOMS) * UPPER FLOOR (STORAGE) 1,110

8,597 S.F. NEW BUILDING 4,468 S.F * LOWER FLOOR (REPAIR SHOP)

OVERALL LOWER FLOOR	9,888 S.F.
OVERALL UPPER FLOOR	5,239

15.107 TOTAL BUILDING AREA

BUILDING DATA:

TYPE OF CONSTRUCTION:	V NON RATED
FIRE SPRINKLERED	NO
OCCUPANCY GROUP: * EXIST. RETAIL OFFICE & M STORAGE AREA * NEW VEHICLE SERVICE AREA S-3 * NEW STORAGE AREA S-1	MIXED
BASIC ALLOWED FLOOR AREA (TABLE 5-B):	8,000 S.F.

ALLOWED AREA INCREASES:

MAXIMUM FLOOR AREA:	16,000 S.F
TOTAL BUILDING AREA:	15,107 S.F.

MAXIMUM FLOOR AREA ANY ONE FLOOR 8,000 S.F. AREA SEPARATION 2 HOUR

MIXED OCCUPANCY FLOOR AREA CALCULATION:

M OCC, S-3 OCC, S-1 OCC,

* 100% FOR TWO STORIES

0.93 O.K. 16,000 16,000 16,000

I HOUR OCCUPANCY SEPARATION:

INDEX

COVER SHEET

A-0	EXISTING SITE PLAN
A- I	SITE PLAN
A-2	FLOOR - IST
4-3	FLOOR - 2ND
A-4	SCHEDULE - DOOR, WINDOW & FINISH

A-5 ROOF PLAN A-6 SECTIONS A-7 ELEVATIONS A-8 ARCH, DETAILS A-9 ACCESSIBILITY NOTES AND DETAILS

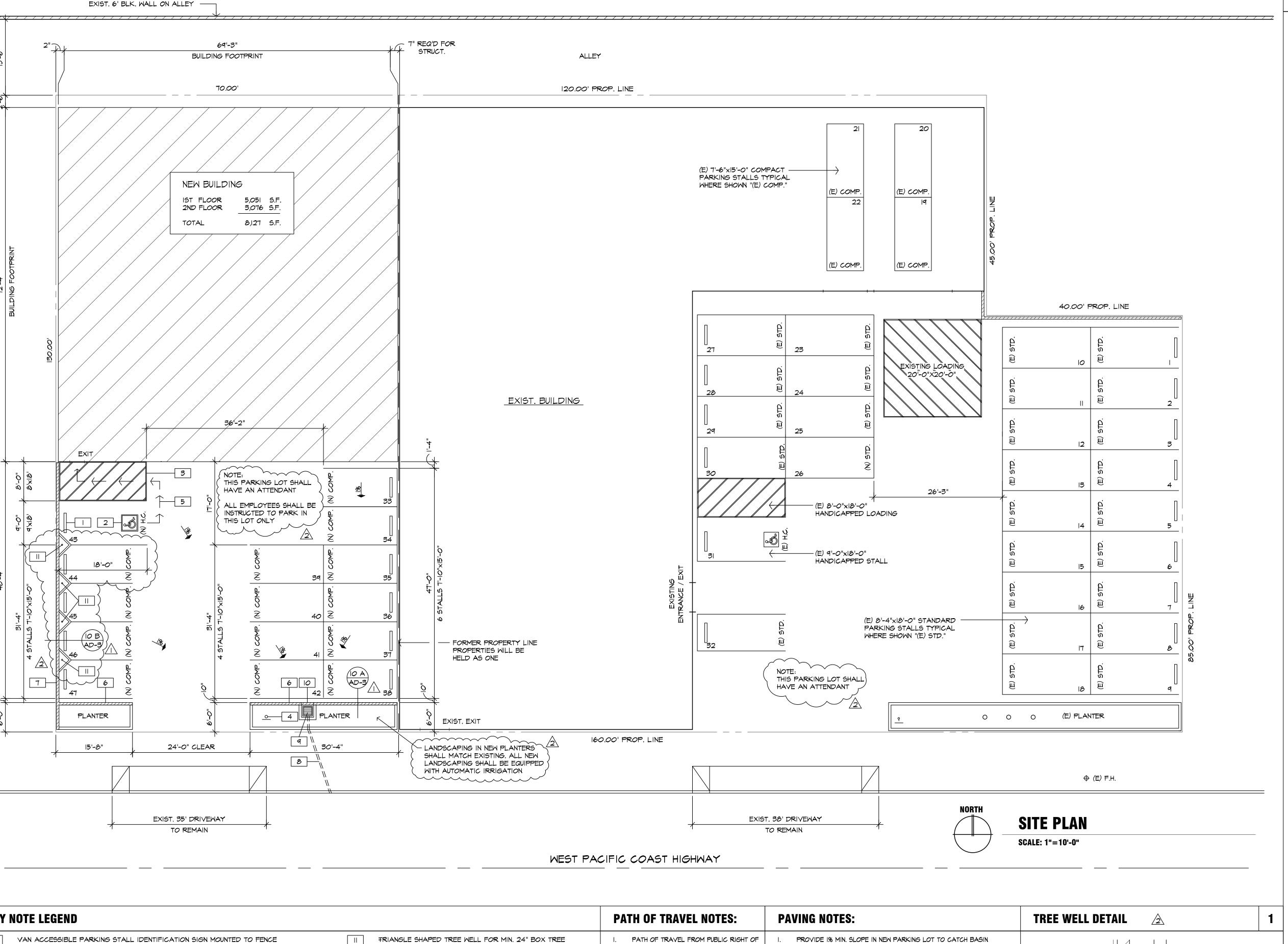
A-10 ACCESSIBILITY NOTES S-I FOUNDATION PLAN 5-2 FLOOR FRAMING PLAN 5-3 ROOF FRAMING PLAN SD-OSTRUCTURAL SPECIFICATIONS

SD-I STRUCTURAL DETAILS SD-2 STRUCTURAL DETAILS E-I SINGLE LINE DIAGRAM & ELEC, NOTES

E-2 FIRST FLOOR POWER PLAN E-3 SECOND FLOOR POWER PLAN AND PANEL SCHEDULES E-4 FIRST FLOOR LIGHTING AND MANDATORY MEASURES E-5 SECOND FLOOR LIGHTING AND ENERGY FORMS

M-I MECHANICAL PLAN & NOTES

SHEET NO.



	WEST PA	CIFIC COAST HIGHWAY		SCALE: 1"=10'-0"
KEY NOTE LEGEND		PATH OF TRAVEL NOTES:	PAVING NOTES:	TREE WELL DETAIL
1 VAN ACCESSIBLE PARKING STALL IDENTIFICATION SIGN MOUNTED TO FENCE SEE I/AF-2 2 ACCESSIBLE PARKING STALL PAVEMENT MARKET SEE I/AF-2 3 &' WIDE × I&' LONG VAN LOADING ZONE SEE I/AF-2 4 ACCESSIBLE SIGN AT ENTRANCE TO PARKING PER II29B.5 5 ACCESSIBLE PATH OF TRAVEL TO NEW ENTRANCE 6 "WIDE × 3'-O" HIGH CONC. BLK. WALL WITH STUCCO FINISH TO MATCH BLDG. PER CITY STD. 7 6" WIDE × 6'-O" HIGH CONC. BLK. WALL WITH STUCCO FINISH TO MATCH BLDG. PER CITY STD. 8 3" DIAM. ABS SCHEDULE &O PIPE UNDER SIDEWALK AND THROUGH CURB FACE. SET INVERT ELEVATION OF PIPE I/2" ABOVE INVERT AT GUTTER. 9 12" SQ. CATCH BASIN WITH CAST IRON GRATE 10 LEAVE OUT LOWER COURSE OF BLOCK AT CATCH BASIN	TRIANGLE SHAPED TREE WELL FOR MIN. 24" BOX TREE (MIN. 2" DIAM. TRUNK X & HIGH AT PLANTING) WITH 6" HIGH CONC. CURB AND AUTOMATIC IRRIGATION. SEE DETAIL I/SP-I	 PATH OF TRAVEL FROM PUBLIC RIGHT OF WAY TO BUILDING SHALL NOT EXCEED 5% WITH 2% MAX. CROSS SLOPE. PATH OF TRAVEL FROM PARKING STALLS TO BUILDING SHALL NOT EXCEED 5% WITH 2% MAX. CROSS SLOPE. SLOPE IN ACCESSIBLE PARKING AREA SHALL NOT EXCEED 2% 	 PROVIDE I% MIN. SLOPE IN NEW PARKING LOT TO CATCH BASIN PAVING SHALL BE 3" ASPHALT CONCRETE OVER 4" AGGREGATE BASE PLACE PAVING AND BASE OVER COMPETENT NATURAL SOIL 	TREE TRUNK MIN. 4" WIDE x 6" H CONC. CURB

SITE AREA:		
	19,000 S.F.	
NEW TOTAL SITE AREA	9,100 28,100 S.F.	
BUILDING FOOTPRINT:		
EXISTING	9,868 S.F.	
NEW TOTAL BUILDING F.P.	5,051 14919 S.F. (53% OF	SITE)
PARKING AREA:	11,111 3.1. (33/3 31	J <u>2</u> ,
EXISTING	8,832 S.F.	
NEW TOTAL PARKING AREA	3,535	F SITE)
LANDSCAPING:	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	- C., <u>-</u>
EXISTING NEW	360 S.F. 276	
NEW	210	
TOTAL LANDSCAPING	636 S.F. (5% OF F	PARKING AREA)
EXISTING BUILDING FIRST FLOOR:	APEA	PKG. RATIO
MOTORCYCLE SHOWROOM		
RETAIL SALES	3,000	1:250
OFFICES	800	1:500
RESTROOMS REPAIR SHOP	130 4,468	1:500 1:500
TOTAL EXIST. FIRST FL.	9,868 S.F.	
SECOND FLOOR:		
STORAGE	5,239 S.F.	1:500
TOTAL EXIST. BLDG.	15,1 <i>0</i> 7 S.F.	
(THE RETAIL SALES USE IN THE NEW BLDG. AND WILL		
NEW BUILDING		
FIRST FLOOR:	AREA	PKG. RATIO
RETAIL SALES (M)	3,004 S.F.	1:500
PARTS MGR. OFFICE (B) PARTS STORAGE (S-I)	113	I: 5 00
PARTS STORAGE (5-1) RETAIL STORAGE (5-1)	1,000 1 26	l:500 l:500
RETAIL STORAGE (S-I) EXIT RAMPS & STAIRS (S-I) MOTORCYCLE LIFT (S-I)) 383 1 69	l:500 l:500
RECYCLING ROOM (5-1)	256	l:500
TOTAL NEW FIRST FLOOR	5,051 S.F.	
SECOND FLOOR: OPEN OFFICE AREA (B)	24 4 6 6 E	1.500
OWNER'S OFFICE (B) MISC. STORAGE (S-1)	284 286	1:500 1:500
TOTAL NEW SECOND FLOOR		1.300
TOTAL NEW BUILDING		
TOTAL NEW AND EXIST.	23,234 S.F.	
(THE RETAIL SALES USE IS B	· ·	
BLDG. AND IS PART OF THE	EXIST. PARKING TA	NOULATION)
REQUIRED PARKING FOR EXI PER PRESENT CODE	STING BUILDING	_
$\frac{ 2 07}{500} = 24 + \frac{3,000}{250}$) - = 12 = 36	
PARKING REQUIRED FOR EXI		RNS)
BUILDING PER PERMIT #98WL		
REQUIRED PARKING FOR NEW	N BUILDING:	
<u>8,127</u> =	16	
TOTAL PARKING REQUIRED	47	
TOTAL PARKING PROVIDED	47	
PARKING TABULATION:		
EXIST. STD. TANDEM EXIST. COMPACT	(7'-6" × 15'-0")	4
	(8'-4" × 18'-0") (9'-0" × 18'-0")	
EXIST. STANDARD EXIST. VAN ACCESSIBLE		10
EXIST. STANDARD EXIST. VAN ACCESSIBLE W/8'-O" WIDE LOADING NEW COMPACT TANDEM	(7'-6" × 15'-0")	,
EXIST. STANDARD EXIST. VAN ACCESSIBLE W/&'-O" WIDE LOADING NEW COMPACT TANDEM NEW COMPACT NEW STD. TANDEM	(7'-6" × 15'-0") (8'-4" × 18'-0")	4
EXIST. STANDARD EXIST. VAN ACCESSIBLE W/8'-O" WIDE LOADING NEW COMPACT TANDEM NEW COMPACT	(7'-6" × 15'-0")	
EXIST. STANDARD EXIST. VAN ACCESSIBLE W/8'-O" WIDE LOADING NEW COMPACT TANDEM NEW COMPACT NEW STD. TANDEM NEW VAN ACCESSIBLE	(7'-6" × 15'-0") (8'-4" × 18'-0")	

CALIFORNIA HARLEY-DAVIDSON

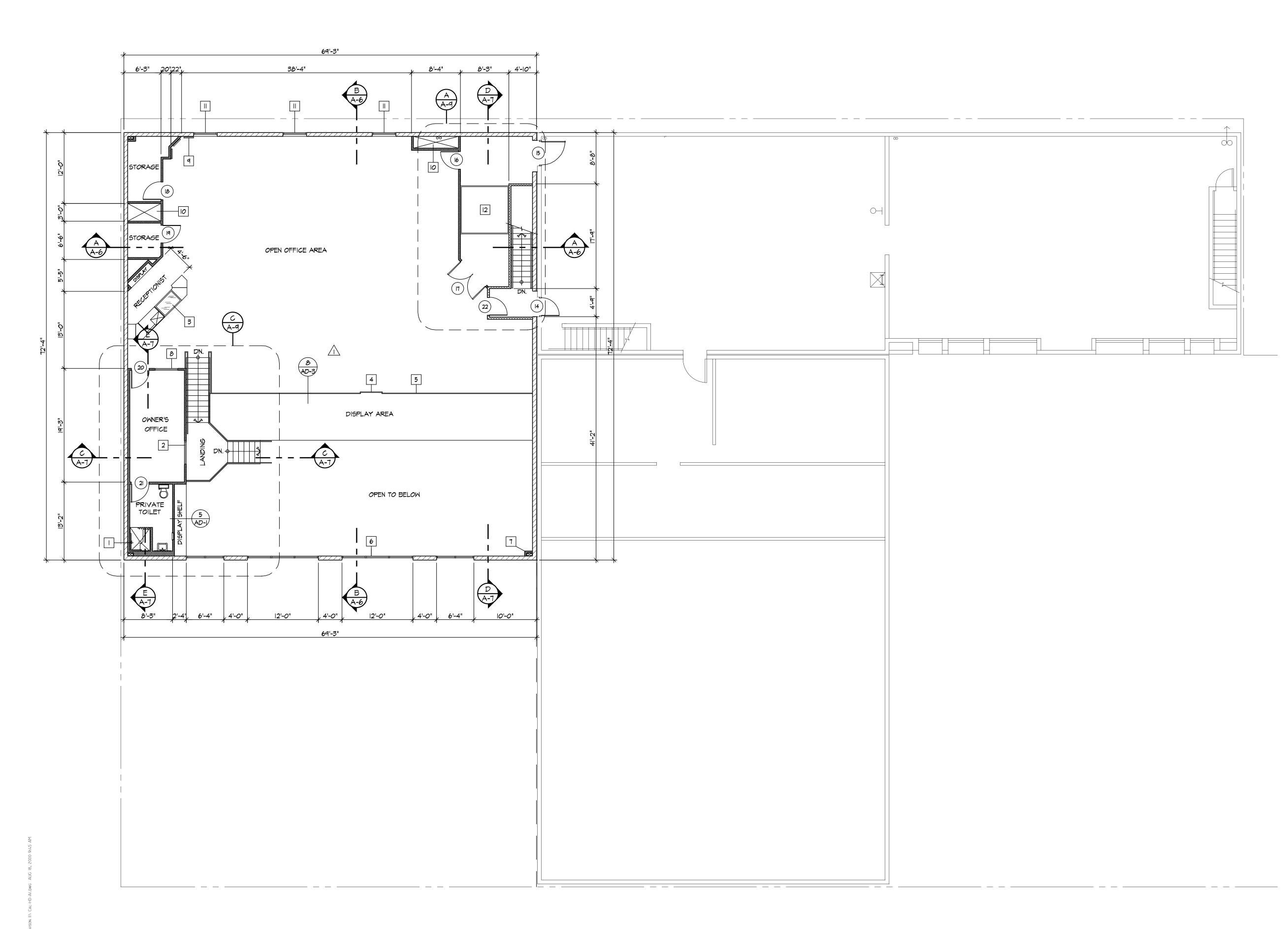
IS17 WEST PACIFIC COAST HIGHWAY
HARBOR CITY, CA.

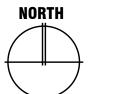
SITE PLAN

SHEET NO.

SP-1

REVISIONS





SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

FLOOR PLAN KEY NOTE LEGEND

- TILE SHOWER. PROVIDE TILE TO CEILING ON THREE
- 2 4'-0"x7'-0" ONE WAY WINDOW IN TIMELY FRAME HEAD HEIGHT SET AT 7'-0" FROM OWNERS OFFICE FLOOR
- 3 RECEPTIONIST COUNTER PROVIDE AN AREA AT LEAST 36" LONG WITH A HEIGHT OF 28" MIN. TO 34" MAX.
- REMOVABLE RAIL 4'-0" WIDE. RAIL SHALL BE LOCKED OR BOLTED IN PLACE WHEN NOT ACCESSING DISPLAY AREA
- 5 42" HIGH GUARDRAIL. OPENING IN GUARDRAIL SHALL BE SUCH THAT A 4" SPHERE
- 6 STOREFRONT
- 7 ROOF DRAIN AND OVERFLOW
- 8 4'-0"x4'-0" ONE WAY WINDOW IN TIMELY FRAME. HEAD HEIGHT SET AT 7'-0" FROM SECOND FLOOR SHOWROOM FLOOR
- 4 WALL MOUNTED MIRRORS
- O MECAHNICAL CHASE
- 4'-0"W \times 5'-0"H FIXED STOREFRONT WINDOW WITH ALUMINUM MULLIONS
- MECHANICAL TWO POST VERTICAL RECIPROCATING MATERIAL LIFT (NON PASSENGER) BY JOYCE LIFTS AND JACKS (REQUIRES SEP. PERMIT BY INSTALLATION CONTRACTOR)

WALL SYMBOL LEGEND

	EXISTING CONCRETE BLOCK WAL
7//////	NEW CONCRETE BLOCK WALL
	EXISTING INTERIOR PARTITION
	NEW INTERIOR PARTITION

NEW I HOUR RATED INTERIOR PARTITION

FOR INTERIOR WALL FRAMING SPECIFICATIONS SEE I/AD-I

FOR INTERIOR WALL TO SLAB SEE 2/AD-I

FOR CEILING TO INTERIOR WALL SEE 3/AD-I

FOR INTERIOR WALL TO METAL DECK SEE 6/AD-I \$ 7/AD-I

FOR INTERIOR WALL TO FLOOR FRAMING SEE 8/AD-I \$ 9/AD-I

EXISTING FLOOR AREA BREAKDOWN

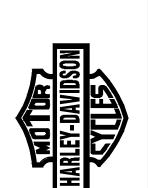
EXISTING SITE AREA	19,000 S.F.
GROUND LEVEL	
MOTORCYCLE SHOWROOM	1,470 S.F.
RETAIL SALES (CHANGE TO SHOWROOM AND LOCATE RETAIL SALES IN NEW BLDG.)	3,000
OFFICES	800
RESTROOMS	130
REPAIR SHOP & PARTS STORAGE	4,468
TOTAL GROUND LEVEL	9,868 S.F.
UPPER LEVEL	
STORAGE	5,239 S.F.
TOTAL UPPER LEVEL	5,239 S.F.
TOTAL EXISTING FLOOR AREA	15,107 S.F.

NEW FLOOR AREA BREAKDOWN

NEW SITE AREA	9,100 S.F.
FIRST FLOOR:	
PARTS MGR. OFFICE (B)	113 S.F.
RETAIL SALES (M)	3,004 S.F.
STORAGE AREAS (S-I)	1, 93 4 S.F.
TOTAL FIRST FLOOR	5,051 S.F.
SECOND FLOOR:	
OFFICE AREAS (B)	2,780 S.F.
STORAGE AREAS (S-I)	296 S.F.
TOTAL SECOND FLOOR	3,076 S.F.
TOTAL BUILDING AREA PROPOSED	8,127 S.F.

THE FLOOR AREA FIGURES SHOWN FOR THE UPPER LEVEL EXCLUDE THE MOTORCYCLE LIFT (169 S.F.), STAIRWAYS (172 S.F.), THE DISPLAY PLATFORM (683 S.F.) AND MECH. SHAFTS (40 S.F.)

REVISIONS



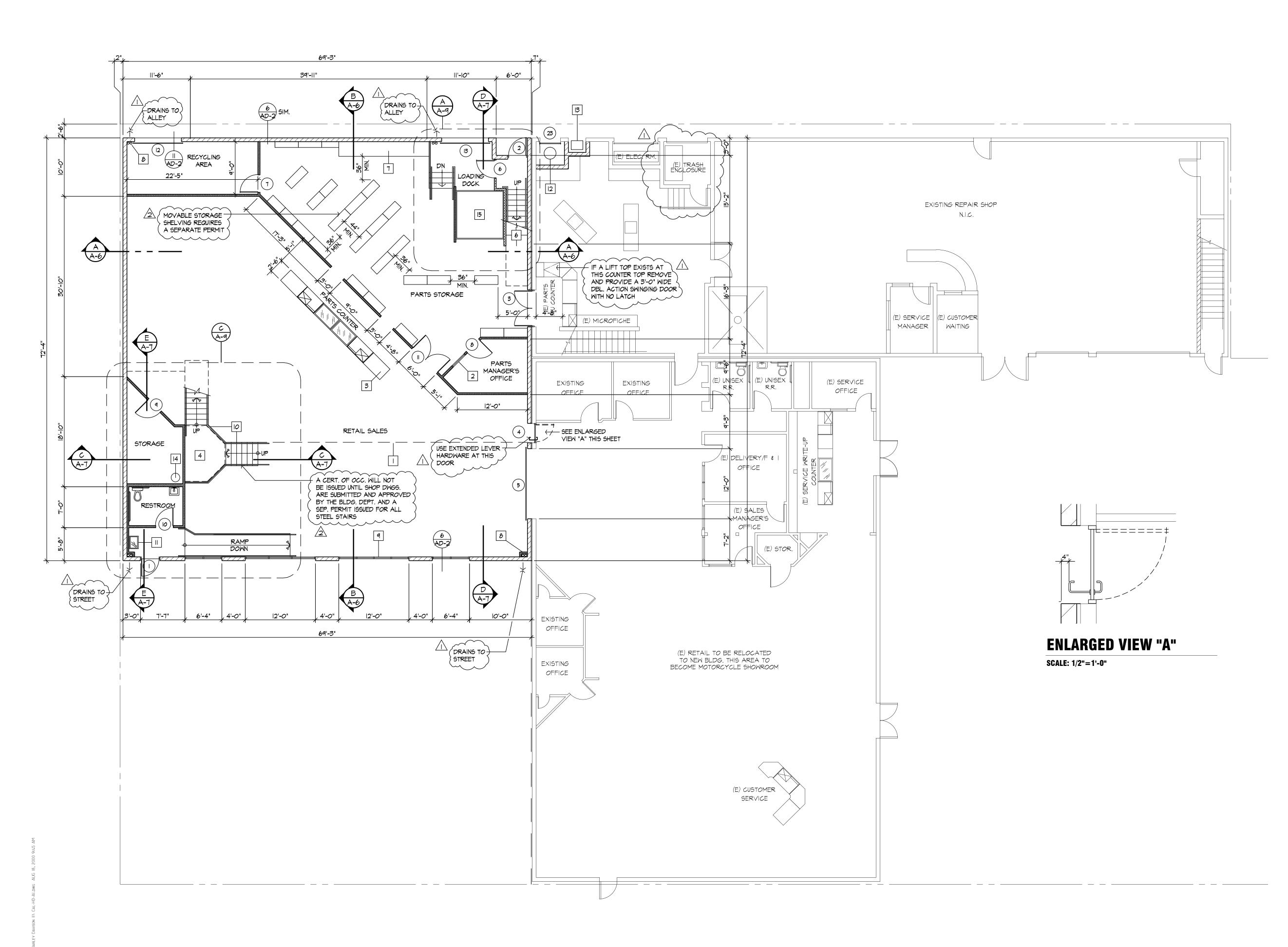
CALIFORNIA HARLEY-DAVIDSON
1517 WEST PACIFIC COAST HIGHWAY
HARBOR CITY, CA.



DRAWN CHECKED

SHEET NO.

A-2





FLOOR PLAN KEY NOTE LEGEND I LINE OF 2ND FLOOR ABOVE 2 3'-0"x4'-0" WINDOW IN TIMELY FRAME HEAD HEIGHT SET AT 7'-0" WITH HEIGHT OF 28" MIN. TO 34" MAX. METAL STORAGE SHELVING UNITS UNDER STAIR WORK TABLE ROOF DRAIN AND OVERFLOW PIPES STORE FRONT STEEL STAIR WAY DRINKING FOUNTAIN - SEE 4/AF-I NEW AIR COMPRESSOR LOCATION NEW GAS METER LOCATION 14 WATER HEATER - SEE PLUMBING PLANS WALL SYMBOL LEGEND EXISTING CONCRETE BLOCK WALL NEW CONCRETE BLOCK WALL EXISTING INTERIOR PARTITION NEW INTERIOR PARTITION NEW I HOUR RATED INTERIOR PARTITION FOR INTERIOR WALL FRAMING SPECIFICATIONS SEE I/AD-I FOR INTERIOR WALL TO SLAB SEE 2/AD-I FOR CEILING TO INTERIOR WALL SEE 3/AD-I FOR INTERIOR WALL TO METAL DECK SEE 6/AD-I & T/AD-I **EXISTING FLOOR AREA BREAKDOWN** EXISTING SITE AREA GROUND LEVEL MOTORCYCLE SHOWROOM RETAIL SALES (CHANGE TO SHOWROOM AND LOCATE RETAIL SALES IN NEW BLDG.) OFFICES RESTROOMS REPAIR SHOP & PARTS STORAGE TOTAL GROUND LEVEL UPPER LEVEL STORAGE TOTAL UPPER LEVEL TOTAL EXISTING FLOOR AREA **NEW FLOOR AREA BREAKDOWN** NEW SITE AREA FIRST FLOOR: PARTS MGR. OFFICE (B) RETAIL SALES (M) STORAGE AREAS (S-I) TOTAL FIRST FLOOR SECOND FLOOR: OFFICE AREAS (B) STORAGE AREAS (S-I)

SALES COUNTER PROVIDE AN AREA AT LEAST 36" LONG 4 UNDER LANDING STORAGE ACCESSIBLE FROM STORAGE 5/8 TYPE X GYPSUM BOARD AT ENCLOSED USABLE SPACE MECHANICAL TWO POST VERTICAL RECIPROCATING MATERIAL LIFT (NON PASSENGER) BY JOYCE LIFTS AND JACKS (REQUIRES SEP. PERMIT BY INSTALLATION CONTRACTOR) **REVISIONS** FOR INTERIOR WALL TO FLOOR FRAMING SEE 8/AD-I \$ 9/AD-I N HARLEY-DAVIDSON
PACIFIC COAST HIGHWAY 19,000 S.F. CALIFORNIA HARLEY-D.
1517 WEST PACIFIC COAST H
HARBOR CITY, CA. 1,470 S.F. FL00R 3,000 800 130 4,468 9,868 S.F. 5,239 S.F. 5,239 S.F. 15,107 S.F. 9,100 S.F. 113 S.F. 3,004 S.F. 1,934 S.F. 5,051 S.F. 2,780 S.F. 296 S.F. TOTAL SECOND FLOOR 3,076 S.F. SHEET NO. TOTAL BUILDING AREA PROPOSED 8,127 S.F. **A-1** THE FLOOR AREA FIGURES SHOWN FOR THE UPPER LEVEL EXCLUDE THE MOTORCYCLE LIFT (169 S.F.), STAIRWAYS (172 S.F.), THE DISPLAY PLATFORM (683 S.F.) AND MECH. SHAFTS (40 S.F.)

J	B NO.		
DI	RAWN		
CI	HECKED		
so	CALE		
D	ATE		



CALIFORNIA HARLEY-DAVIDSON



1517 WEST PACIFIC COAST HIGHWAY, HARBOR CITY, CALIFORNIA

PROJECT DIRECTORY	SITE AND BUILDING ANALYSIS	CODE ANALYSIS (NEW BUILDING ONLY)	INDEX OF DRAWINGS
	SITE AREA:		GENERAL:
	EXISTING 19,000 S.F.	TYPE OF CONSTRUCTION II NON-RATED OCCUPANCY GROUP B (OFFICES)	T-I TITLE SHEET, PROJECT INFORMATION
	NEW 9,100	M (RETAIL) S-I (STORAGE)	CUP-I CONDITIONS OF APPROVAL CUP-2 CONDITIONS OF APPROVAL
	TOTAL SITE AREA 28,100 S.F.	FLOOR AREA:	
	BUILDING FOOTPRINT:	FIRST FLOOR:	ARCHITECTURAL:
	EXISTING 9,868 S.F. NEW 5,051	PARTS MGR. OFFICE (B)	SP-I SITE PLAN
	TOTAL BUILDING F.P. 14,919 S.F. (53% OF SITE)	RETAIL SALES (M) 3,004 S.F.	A-I FIRST FLOOR PLAN
	PARKING AREA:	STORAGE AREAS (S-I) I,934 S.F.	A-2 SECOND FLOOR PLAN A-3 FIRST FLOOR REFLECTED CEILING PLAN
	EXISTING 8,832 S.F.	TOTAL FIRST FLOOR 5,051 S.F.	A-4 SECOND FLOOR REFLECTED CEILING PLAN A-5 EXTERIOR ELEVATIONS
	NEW 3,535	SECOND FLOOR:	A-5 EXTERIOR ELEVATIONS A-6 SECTIONS
	TOTAL PARKING AREA 12,367 S.F. (44% OF SITE)	OFFICE AREAS (B) 2,780 S.F.	A-7 SECTIONS A-8 ROOF PLAN
	LANDSCAPING:	STORAGE AREAS (S-I) 296 S.F.	A-9 ENLARGED STAIR PLANS
	EXISTING 360 S.F. NEW 276	TOTAL SECOND FLOOR 3,076 S.F.	A-IO RESTROOM INTERIOR ELEVATIONS A-II SCHEDULES
			A-I2 ENERGY FORMS
	TOTAL LANDSCAPING 636 S.F. (5% OF PARKING AREA)	TOTAL BUILDING AREA PROPOSED 8,127 S.F.	AD-I ARCHITECTURAL DETAILS AD-2 ARCHITECTURAL DETAILS
	EXISTING BUILDING	FIRE SPRINKLERED NO	AD-3 ARCHITECTURAL DETAILS
	FIRST FLOOR: AREA PKG. RATIO		AF-I ACCESSIBILITY DETAILS AF-2 ACCESSIBILITY DETAILS
	MOTORCYCLE SHOWROOM 1,470 S.F. 1:500 RETAIL SALES 3,000 1:250 (THIS USE WILL BE RELOCATED IN THE		AF-3 ACCESSIBLITY NOTES
	NEW BUILDING AND WILL BECOME SHOW- ROOM IN THE EXISTING BUILDING)		AF-4 ACCESSIBLITY NOTES
	OFFICES 800 1:500 RESTROOMS 130 1:500 1500 1:500	MAXIMUM ALLOWABLE FLOOR AREA 24,000 S.F. AREA SEPARATION BETWEEN EXIST. 2 HOUR	
	REPAIR SHOP 4,468 1:500 TOTAL EXIST. FIRST FL. 9,868 S.F. \(\rightarrow\)	AND PROPOSED BUILDING	STRUCTURAL: SN-I GENERAL NOTES
	SECOND FLOOR:	NOTES:	S-I FOUNDATION PLAN
	STORAGE 5,239 S.F. 1:500	I. NO ALCOHOLIC BEVERAGE SALES ARE PERMITTED. CONDITIONAL USE IS REQUIRED	S-2 SECOND FLOOR FRAMING S-3 ROOF FRAMING
	TOTAL EXIST. BLDG. 15,107 S.F. (2. AN APPROVED SEISMIC GAS SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE	SD-I STRUCTURAL DETAILS SD-2 STRUCTURAL DETAILS
	NEW BUILDING	ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL PIPING. SEPARATE	SD-3 STRUCTURAL DETAILS
	FIRST FLOOR: AREA PKG. RATIO	PLUMBING PERMIT IS REQUIRED 3. STRAP WATER HEATER TO WALL	SD-4 STRUCTURAL DETAILS
	RETAIL SALES (M) 3,004 S.F. 1:500 (THIS USE IS BEING RELOCATED FROM THE EXIST BLDG. & IS PART OF THE EXIST. PKG. CALC.)	1	ELECTRICAL:
	PARTS MGR. OFFICE (B) 113 1:500	SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION	E-I SINGLE LINE DIAGRAM AND LIGHT FIXTURE SCHEDULE
	PARTS STORAGE (5-1) 1,000 1:500 RETAIL STORAGE (5-1) 126 1:500	5. APPLY DUNN-EDWARDS IP631 ULTRASHIELD CLEAR OVER EXTERIOR FINISH OF BUILDING / FOR GRAFFITI PROTECTION (L.A.R.R. #25162)	E-2 SITE ELECTRICAL E-3 FIRST FLOOR POWER PLAN
	EXIT RAMPS & STAIRS (S-I) 383 :500 MOTORCYCLE LIFT (S-I) 69 :500		E-4 SECOND FLOOR POWER PLAN
	RECYCLING ROOM (5-1) 256 1:500		E-5 FIRST FLOOR LIGHTING PLAN E-6 SECOND FLOOR LIGHTING PLAN
	TOTAL NEW FIRST FLOOR 5,051 S.F.	LEGAL DESCRIPTION AND PLANNING DATA	E-7 ROOF ELECTRICAL
	SECOND FLOOR:		E-8 ENERGY FORMS E-9 PANEL SCHEDULES
	OPEN OFFICE AREA (B) 2,496 S.F. 1:500 OWNER'S OFFICE (B) 284 1:500	LOT 6, 7 AND 8, BLOCK 74 OF TRACT 2523	TARLE SOILEDGEES
GOVERNING AGENCIES AND CODES	MISC. STORAGE (S-I) 296 I:500	COUNTY OF LOS ANGELES, CALIFORNIA	
TOVEITHING AGENOILS AND SODES	TOTAL NEW SECOND FLOOR 3,076 S.F.	MAP BOOK 27, PAGE I ZONE: [Q] C2-IVL	MECHANICAL: M-I MECHANICAL NOTES AND DETAILS
GOVERNING AGENCIES:	TOTAL NEW BUILDING 8,127 S.F.	20NE: [Q] C2-IVL DISTRICT MAP: 33BI93	M-2 FIRST AND SECOND FLOOR MECHANICAL
CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY	TOTAL NEW AND EXIST. 23,234 S.F.	COUNCIL DISTRICT: 15	AND ENERGY FORMS
	REQUIRED PARKING FOR EXISTING BUILDING PER PRESENT CODE	PRIOR CASES: ORDI67235,SA-I	
	$\frac{12,07}{500} = 24 + \frac{3,000}{250} = 12 = 36$	ZA 97-0876(PAD)	PLUMBING:
GOVERNING CODES:	500 = 24 + 250 = 12 = 36		P-I PLUMBING NOTES AND DETAILS P-2 PLUMBING FIRST FLOOR PLAN
COMPLY FULLY WITH 1998 CBC, 1998 CMC, 1998 CPC, 1998 CEC AND STATE OF CALIFORNIA	PARKING REQUIRED FOR EXISTING 31 (GOVERNS) BUILDING PER PERMIT #98WL49118	VICINITY MAP NOT TO SCALE	P-3 PLUMBING SECOND FLOOR PLAN P-4 PLUMBING-ENLARGED TOILET PLANS
ENERGY STANDARDS, INCLUDING ALL STATE AND LOCAL AMENDMENTS AS ADOPTED BY THE CITY OF LOS ANGELES.		NOT TO SCALE	P-4 PLUMBING-ENLARGED TOILET PLANS
CITT OF LOS AROLLES.	REQUIRED PARKING FOR NEW BUILDING:		
	$\frac{\partial_{i} 27}{500} = 16$	253th ST.	
	TOTAL PARKING REQUIRED 47		
	TOTAL PARKING PROVIDED 47	- Z 254th ST. Z - Z - Z - Z - Z - Z - Z - Z - Z - Z	
	PARKING TABULATION:	255th ST. 90 255th ST. 91 255th	
	EXIST. STD. TANDEM (8'-4" × 18'-0") 25 EXIST. COMPACT (7'-6" × 15'-0") 4	256th ST.	
	EXIST. COM ACT (1-0 x 15-0) EXIST. STANDARD (8'-4" x 18'-0") EXIST. VAN ACCESSIBLE (9'-0" x 18'-0")	257th ST.	
	W/8'-0" WIDE LOADING NEW COMPACT TANDEM	257th ST.	
	NEW COMPACT (7'-6" × 15'-0") 4 NEW STD. TANDEM (8'-4" × 18'-0") 1	P.C.H. NORTH	
	NEW STD. TANDEM (8'-4" X 18'-0") NEW VAN ACCESSIBLE (9'-0" X 18'-0") W/8'-0" WIDE LOADING		
		259th ST. ()	
	TOTAL PARKING PROVIDED 47	SITE	

REVISIONS BY



HARLEY-DAVIDS ICIFIC COAST HIGHWAY 30R CITY, CA.

1517 WEST PACIFI HARBOR



JOB NO.

DRAWN

CHECKED

SCALE Date

SHEET NO.

T-1