



# HARLEY DAVIDSON SHOP ADDITION 1515 W. PACIFIC COAST HWY, HARBOR CITY, CA.

## DIRECTORY

## GOVERNING AUTHORITY

CITY OF LOS ANGELES DEPARTMENT OF  
BUILDING & SAFETY

(310) 575-8094

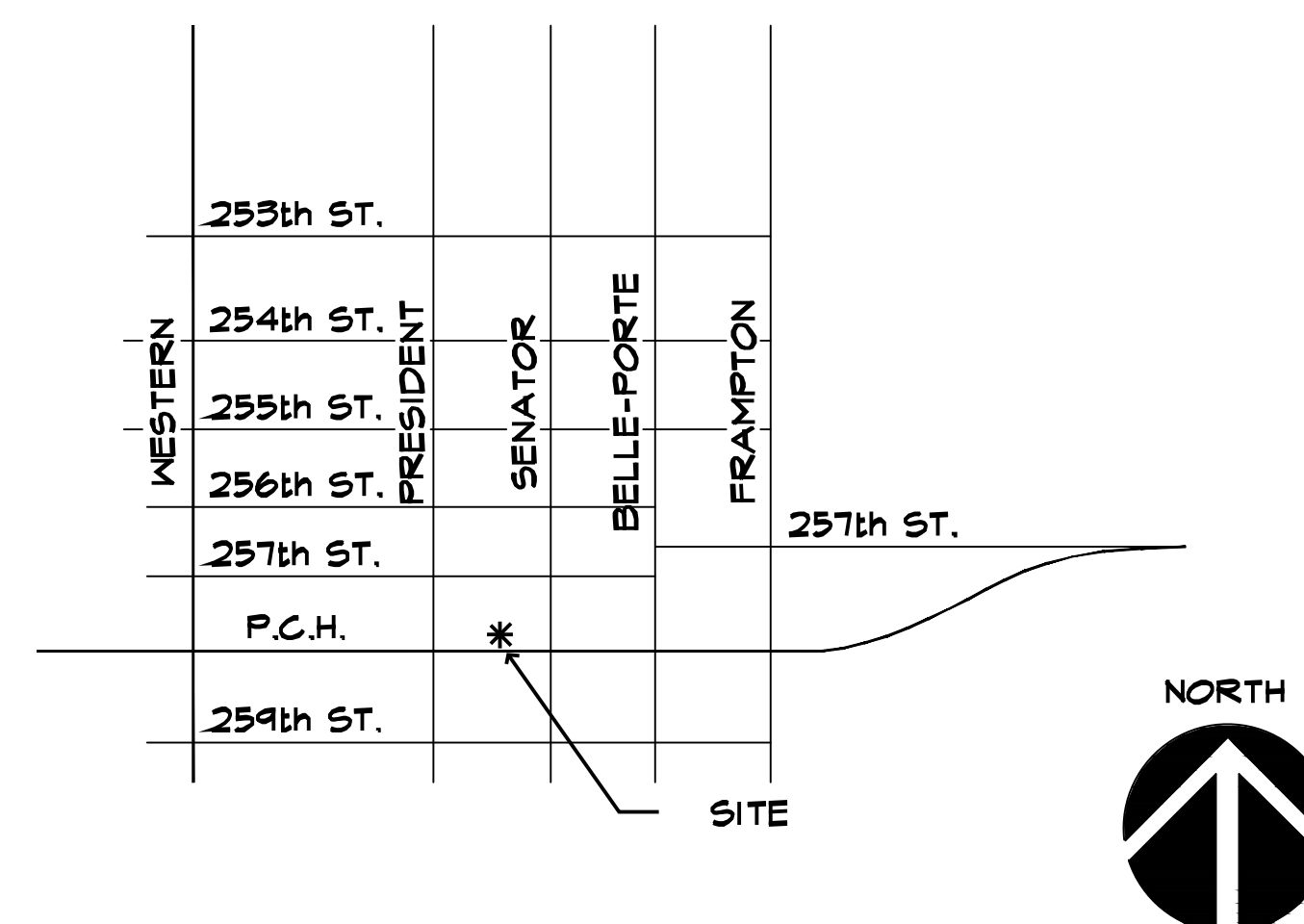
LOS ANGELES CITY FIRE DEPARTMENT  
FIRE PREVENTION BUREAU

(213) 485-5966

GOVERNING CODE: 1996 L.A.B.C.

## VICINITY MAP

NOT TO SCALE



## FIRE PREVENTION NOTES

- WHEN EVER THE BUILDING IS OCCUPIED, EXIT SIGNS SHALL BE LIGHTED SO THAT THEY ARE CLEARLY VISIBLE.
- PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR.
- ROOF OBSTRUCTION SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, AND RAZOR RIBBON SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF A FIRE.
- PARKING SPACES SHALL NOT OBSTRUCT REQUIRED EXITS.
- EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE AN APPROVED TYPE.
- AISLES LEADING TO REQUIRED CORRIDORS AND EXITS SHALL HAVE A MINIMUM WIDTH OF 44".

## PROJECT DATA

SITE AREA:	19,000 S.F.
BUILDING FOOTPRINT (NEW & EXISTING)	9,878 (52%)
PARKING AREA:	8,932 (46%)
MISC. SITE AREA (LOADING AREA):	200 (2%)
LANDSCAPING AREA (4% OF PARKING AREA): (REQUIRED: 357 S.F. MIN.)	372 S.F.
<b>PARKING TABULATION:</b>	
* COMPACT TANDEM (7'-6"x15'):	10
* STANDARD TANDEM (8'-4" x 18'):	19
* HANDICAPPED:	
* VAN ACCESSIBLE: (9'-0"x18'-0" W/B' LOADING)	1
* STANDARD ACCESSIBLE: (9'-0"x18'-0")	1
<b>TOTAL # PARKING STALLS PROVIDED</b>	<b>31</b>

### PARKING ANALYSIS:

* SALES	3,000/250 = 12
* STORAGE & PARTS	1,600/500 = 3
* OFFICES	800/500 = 2
* 2nd FLOOR STORAGE	1,100/500 = 2
	6510 S.F. 18

No. OF STALLS REQ'D PER PERMIT 935PI4070 14 (GOVERNS)

### NEW BUILDING AREA:

* REPAIR SHOP, PARTS & MISC.	4,468/500 = 9
* 2nd FLOOR STORAGE	4,129/500 = 8
	8,597 S.F. 17

TOTAL NO. PARKING STALLS REQ'D 31

### BUILDING AREA:

STRUCTURES TO BE DEMOLISHED	
* PARTS AND SERVICE	1,600 S.F.
* CARPORT	425
* STORAGE & TRASH ENCLD.	276
<b>TOTAL TO BE DEMOLISHED</b>	<b>2,301 S.F.</b>
EXISTING BUILDING TO REMAIN	6,510 S.F.
* LOWER FLOOR (SALES, OFFICES, STORAGE AND RESTROOMS)	5,400 S.F.
* UPPER FLOOR (STORAGE)	1,110
NEW BUILDING	8,597 S.F.
* LOWER FLOOR (REPAIR SHOP)	4,468 S.F.
* UPPER FLOOR (STORAGE)	4,129
<b>OVERALL LOWER FLOOR</b>	<b>9,868 S.F.</b>
<b>OVERALL UPPER FLOOR</b>	<b>5,239</b>
<b>TOTAL BUILDING AREA</b>	<b>15,107</b>

## BUILDING DATA:

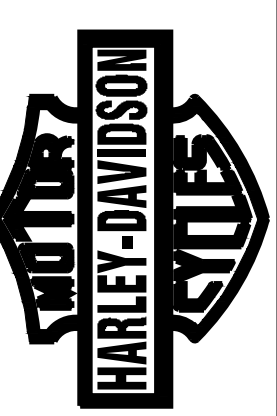
TYPE OF CONSTRUCTION:	V NON RATED
FIRE SPRINKLERED	NO
OCCUPANCY GROUP:	MIXED
* EXIST. RETAIL OFFICE & STORAGE AREA	M
* NEW VEHICLE SERVICE AREA	S-3
* NEW STORAGE AREA	S-1
BASIC ALLOWED FLOOR AREA (TABLE 5-B):	8,000 S.F.
ALLOWED AREA INCREASES:	
* 100% FOR TWO STORIES	
MAXIMUM FLOOR AREA:	16,000 S.F.
TOTAL BUILDING AREA:	15,107 S.F.
MAXIMUM FLOOR AREA ANY ONE FLOOR	8,000 S.F.
AREA SEPARATION	2 HOUR
MIXED OCCUPANCY FLOOR AREA CALCULATION:	
M OCC. S-3 OCC. S-1 OCC.	
$\frac{6,510}{16,000} + \frac{2,999}{16,000} + \frac{5,239}{16,000} = 0.93$ O.K.	
OCCUPANCY SEPARATION:	1 HOUR

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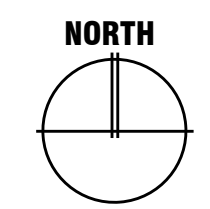
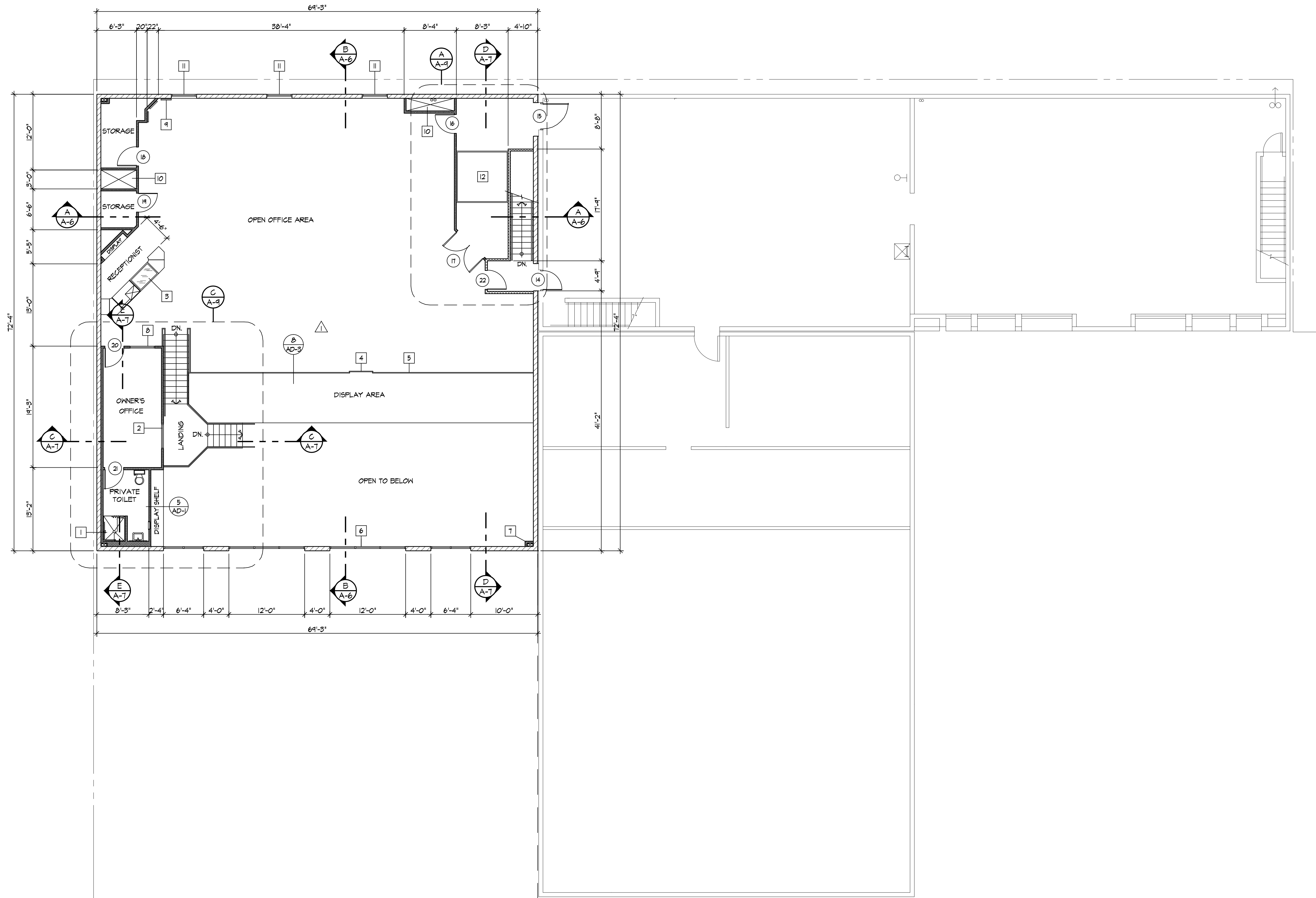
REVISIONS:	
DRAWN BY:	
DATE:	
SCALE:	
CHECKED BY:	
APPROVED BY:	
JOB NO.:	

1515 WEST PACIFIC COAST HWY.  
HARBOR CITY, CA



COVER SHEET





**SECOND FLOOR PLAN**

SCALE: 1/8"=1'-0"

**FLOOR PLAN KEY NOTE LEGEND**

- 1 TILE SHOWER. PROVIDE TILE TO CEILING ON THREE WALLS
- 2 4'-0"x7'-0" ONE WAY WINDOW IN TIMELY FRAME HEAD HEIGHT SET AT 7'-0" FROM OWNERS OFFICE FLOOR
- 3 RECEPTIONIST COUNTER PROVIDE AN AREA AT LEAST 56" LONG WITH A HEIGHT OF 28" MIN. TO 34" MAX.
- 4 REMOVABLE RAIL 4'-0" WIDE. RAIL SHALL BE LOCKED OR BOLTED IN PLACE WHEN NOT ACCESSING DISPLAY AREA
- 5 42" HIGH GUARDRAIL. OPENING IN GUARDRAIL SHALL BE SUCH THAT A 4" SPHERE
- 6 STOREFRONT
- 7 ROOF DRAIN AND OVERFLOW
- 8 4'-0"x4'-0" ONE WAY WINDOW IN TIMELY FRAME. HEAD HEIGHT SET AT 7'-0" FROM SECOND FLOOR SHOWROOM FLOOR
- 9 WALL MOUNTED MIRRORS
- 10 MECHANICAL CHASE
- 11 4'-0"W x 5'-0"H FIXED STOREFRONT WINDOW WITH ALUMINUM MULLIONS
- 12 MECHANICAL TWO POST VERTICAL RECIPROCATING MATERIAL LIFT (NON PASSENGER) BY JOYCE LIFTS AND JACKS (REQUIRES SEP. PERMIT BY INSTALLATION CONTRACTOR)

**WALL SYMBOL LEGEND**

- EXISTING CONCRETE BLOCK WALL
- NEW CONCRETE BLOCK WALL
- EXISTING INTERIOR PARTITION
- NEW INTERIOR PARTITION
- NEW 1 HOUR RATED INTERIOR PARTITION

FOR INTERIOR WALL FRAMING SPECIFICATIONS SEE 1/AD-1  
 FOR INTERIOR WALL TO SLAB SEE 2/AD-1  
 FOR CEILING TO INTERIOR WALL SEE 3/AD-1  
 FOR INTERIOR WALL TO METAL DECK SEE 6/AD-1 & 7/AD-1  
 FOR INTERIOR WALL TO FLOOR FRAMING SEE 8/AD-1 & 9/AD-1

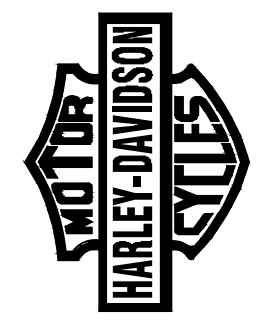
**EXISTING FLOOR AREA BREAKDOWN**

EXISTING SITE AREA	19,000 S.F.
<b>GROUND LEVEL</b>	
MOTORCYCLE SHOWROOM	1,470 S.F.
RETAIL SALES (CHANGE TO SHOWROOM AND LOCATE RETAIL SALES IN NEW BLDG.)	3,000
OFFICES	800
RESTROOMS	130
REPAIR SHOP & PARTS STORAGE	4,468
<b>TOTAL GROUND LEVEL</b>	<b>9,868 S.F.</b>
<b>UPPER LEVEL</b>	
STORAGE	5,239 S.F.
<b>TOTAL UPPER LEVEL</b>	<b>5,239 S.F.</b>
<b>TOTAL EXISTING FLOOR AREA</b>	<b>15,107 S.F.</b>

**NEW FLOOR AREA BREAKDOWN**

NEW SITE AREA	9,100 S.F.
<b>FIRST FLOOR:</b>	
PARTS MGR. OFFICE (B)	113 S.F.
RETAIL SALES (M)	3,004 S.F.
STORAGE AREAS (S-1)	1,434 S.F.
<b>TOTAL FIRST FLOOR</b>	<b>5,051 S.F.</b>
<b>SECOND FLOOR:</b>	
OFFICE AREAS (B)	2,780 S.F.
STORAGE AREAS (S-1)	246 S.F.
<b>TOTAL SECOND FLOOR</b>	<b>3,026 S.F.</b>
<b>TOTAL BUILDING AREA PROPOSED</b>	<b>8,127 S.F.</b>

THE FLOOR AREA FIGURES SHOWN FOR THE UPPER LEVEL EXCLUDE THE MOTORCYCLE LIFT (164 S.F.), STAIRWAYS (112 S.F.), THE DISPLAY PLATFORM (683 S.F.) AND MECH. SHAFTS (40 S.F.)

 <b>CALIFORNIA HARLEY-DAVIDSON</b> 1517 WEST PACIFIC COAST HIGHWAY HARBOR CITY, CA.	<b>SECOND FLOOR PLAN</b>												
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