

NEW BUILDING FOR: BUILDING 5 CORE AND SHELL PENNY ROAD, WENATCHEE, WA

GA

ABBREVIATIONS ANGLE CENTERLINE

-			DOUDLL	4 / (
<u>¢</u>	CENTERLINE	DTL	DETAIL	GALY
#	DIAMETER OR ROUND	DF	DRINKING FOUNTAIN	GB
	SQUARE	DIA	DIAMETER	GL
(E)	EXISTING	DIM	DIMENSION	GND
PL	PROPERTY LINE	DISP	DISPENSER	GWB
_		DN	DOWN	
AB	ANCHOR BOLT	DR	DOOR	HB
ACC	ACCESSIBLE	DS DS	DOWNSPOUT	HC
AD	AREA DRAIN		DRAWING	HC
ADJ	ADJUSTABLE	DWG		
		DWR	DRAWER	HDW
AGGR	AGGREGATE	_		HDWD
ALUM	ALUMINUM	E	EAST	HGT
ALT	ALTERNATE	EA	EACH	HM
APPROX		EJ	EXPANSION JOINT	HORIZ
ANOD	ANODIZED	ELECT	ELECTRICAL	ID
ARCH	ARCHITECTURAL	ELEY	ELEVATION	
ΑŤ	ACOUSTICAL TILE	EQ.	EQUAL	INSUL
		EQPT	EQUIPMENT	INT
BD	BOARD	EXIST	EXISTING	JAN
BLDG	BUILDING	EXP	EXPANSION	JT
BLKG	BLOCKING	EXPO	EXPOSED	01
BM	BEAM	EXT	EXTERIOR	LAM
BOT	BOTTOM			LAY
BL	BUILDING LINE	FACP	FIRE ANNUNCIATOR	LT.
		17101	CONTROL PANEL	
С	CONDUIT	FD	FLOOR DRAIN	MAS
CAB	CABINET	FE	FIRE EXTINGUISHER	MATL
CB	CATCH BASIN	FIN	FINISH	MB
Cl	CURB INLET	FLASH	FLASHING	MAX
CJ	CONST. JOINT	FLR	FLOOR	MECH
CL	CENTERLINE	FLUOR	FLUORESCENT	
CLG	CEILING	FND	FOUNDATION	MFGR
CLR	CLEAR	F/O	FACE OF	MH
CMU	CONCRETE MASONRY	FOC	FACE OF CONST	MIN
0110	UNIT	FOF	FACE OF FINISH	MISC
COL	COLUMN	FOS	FACE OF STUDS	MTD
	• •	FPLY	FIRE-TREATED	MTL
CONC	CONCRETE	11 1		
CONN	CONNECTION		PLYWOOD	N
CONST	CONSTRUCTION	FT	FOOT OR FEET	NIC
CONTR	CONTRACTOR	FTG	FOOTING	NOM
CONT	CONTINUOUS	FURR	FURRING	NTS
CT	CERAMIC TILE	FUT	FUTURE	

DBL

DOUBLE

GAUGE GALYANIZED GRAB BAR GLASS (GLAZING) GROUND	OA OC OD OFCI
GYPSUM WALLBOAR	RDOFOI
HOSE BIBB HANDICAPPED HOLLOW CORE HARDWARE	OPNG OPP OPW
HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL	PNL PC PCP PIP PL
INSIDE DIAMETER INSULATION INTERIOR	PLAM PLAS PLYWD
JANITOR JOINT	PR PT
LAMINATE LAYATORY LIGHT	R RD REF REFR
MASONRY MATERIAL MACHINE BOLT MAXIMUM MECHANICAL MANUFACTURER	REINF REQ'D RESIL RM RO RWL
MANHOLE MINIMUM MISCELLANEOUS MOUNTED METAL	S SCHED SD SECT

NORTH

NOMINAL

NOT IN CONTRACT

NOT TO SCALE

OVERALL ON CENTER OUTSIDE DIA / OVERFLOW DRAIN OWNER FURNISH CONTRACTOR INSTALL OWNER FURNISH OWNER INSTALL OPENING OPPOSITE OPERABLE WALL	SIM SPI SQ STL ST ST ST STS SYI
PANEL PRECAST PRECAST CONCRETE PANEL POURED IN RICH CONCRETE	TB TBI
POURED IN PLACE CONCRETE PLATE / PROPERTY LINE PLASTIC LAMINATE PLASTER PLYWOOD PAIR PAINT	TC TEL T\$ C THK TY TYF
RISER ROOF DRAIN	UNG UNF UR
REFERENCE REFRIGERATOR REINFORCED REQUIRED	YC YEI YE
RESILIENT ROOM ROUGH OPENING RAIN WATER LEADER	W W C W D
SOUTH	WH

SOLID CORE

SOAP DISPENSER

SCHEDULE

SECTION

SHOWER

SEALER

SLR

SHEATHING

SHEET

SPECIFICATION SQUARE STANDARD STEEL STAIN STORAGE STRUCTURAL SUSPENDED SYMMETRICAL TREAD TOWEL BAR TO BE DETERMINED TOP OF CURB TELEPHONE TONGUE & GROOVE THICK TELEVISION TYPICAL UNLESS NOTED OTHERWISE UNFINISHED URINAL VINYL COMPOSITION TILE YERTICAL VESTIBULE MITH WATER CLOSET

WATER HEATER

WATERPROOF

WATER RESISTANT

WATER-RESISTANT GWB

WELDED WIRE FABRIC

MITHOUT

WEIGHT

SIMILAR

GENERAL NOTES

- WORK IS TO CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES. DISCREPANCIES BETWEEN DRAWINGS AND CODES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 2. DO NOT SCALE DRAWINGS. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. YERIFY ALL DIMENSIONS BEFORE PROCEEDING.
- 3. VERIFY EXISTING SITE CONDITIONS BEFORE PROCEEDING WITH WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS.
- 4. LOCATE AND PRESERVE EXISTING SURVEY MARKERS.
- 5. LOCATE AND PRESERVE ANY EXISTING UTILITIES PRESENT AND SCHEDULE TO REMAIN UNCHANGED.
- 6. EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE OR FACE OF SHEATHING UNLESS OTHERWISE NOTED.
- INTERIOR DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- 8. ANY DIMENSIONAL DEVIATIONS AFFECTING THE INTENT OR INCORPORATION OF OTHER ELEMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 9. REFER TO FOUNDATION AND FRAMING PLANS FOR REFERENCE TO STRUCTURAL DETAILING.
- 10. SUBCONTRACTORS AND FABRICATORS TO SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR MATERIALS AND ASSEMBLIES AS INDICATED IN SPECIFICATIONS. DRAWINGS TO SHOW SIZES MATERIALS CONNECTION DETAILS TO ADJACENT MATERIALS. INDICATE ALL REQUIRED BACKING AND BLOCKING.
- REFER TO STRUCTURAL NOTES FOR DESIGN LOADS.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK
- 13. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 14. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.

PLAN SYMBOL LEGEND

BUILDING SECTION	# SHT	SECTION LETTE SHEET WHERE	
DETAIL	# SHT	DETAIL NUMBE	
INTERIOR ELEVATION	SHT #	ELEVATION NUI SHEET WHERE	
ROOM IDENTIFICATION	RM#	NAME ROOM NUMBER	
DOOR NUMBER	# -	ROOM NUMBER	. N
GRID LINES	# F	PLAN NORTH	
WINDOW TYPE	(#) k	KEYNOTE REFERENCE	\(\frac{\pm}{\pm}\)
WALL TYPE	# E	EXIT SIGN	

PROJECT TEAM

ARCHITECT:	OWNER:
MJNEAL ASSOCIATES P.O. BOX 1945 WENATCHEE, WA 509-663-6455 MARK NEAL mjn@mjnealaia.com	2023 OLD STATION PO BOX 3081 WENATCHEE, WA 98807 MIKE NOYD michaeln@noydrmc.com
CONTRACTOR:	LANDSCAPE:

CHUCK STRAWN LANDSCAPE DESIGN 307 MICHAEL PLACE WENATCHEE, WA 98801 509-630-7617 chuck@nwi.net

PROJECT DATA

200 E. PENNY ROAD PROJECT LOCATION: WENATCHEE, WASHINGTON 98801

PROJECT DESCRIPTION PROJECT IS NEW CONSTRUCTION OF A 6,043 SF COMMERCIAL BUILDING. THE DESIGN WILL BE

LIMITED TO THE BUILDING SHELL AND INTERIOR ROUGH IN FOR THIS SUBMITTAL.

GOVERNING AGENCIES

CITY OF WENATCHEE COMMUNITY DEVELOPMENT DEPARTMENT

(509) 888-3253

APPLICABLE CODES:

2021 INTERNATIONAL BUILDING CODE AND STATEWIDE AMENDMENTS 2017 ICC-ANSI A117.1 ACCESSIBILITY CODE

2021 WASHINGTON STATE NONRESIDENTIAL ENERGY CODE

2021 INTERNATIONAL FIRE CODE

2021 INTERNATIONAL MECHANICAL CODE

2021 UNIFORM PLUMBING CODE

NATIONAL ELECTRIC CODE (NFPA 70)

SHEET INDEX

ARCHITECTURAL

AØ.1	COVER SHEET
AØ.2	CODE FLOOR PLAN
AØ.3	ENERGY CODE DATA
AØ.4	ASSEMBLY TYPES

SITE PLAN OVERALL SITE PLAN

SITE DETAILS MAIN FLOOR PLAN

ROOF PLAN SCHEDULES

ELEVATIONS SECTIONS

REFLECTED CEILING PLAN

DETAILS

STRUCTURAL

STRUCTURAL NOTES STRUCTURAL NOTES FOUNDATION PLAN ROOF FRAMING PLAN

LANDSCAPE

LI.Ø LANDSCAPE PLAN



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FOR:

2024-07-26 Scale Factor: Drawn: 2444**9**

CODE INFORMATION

ALLOWABLE AREA

CONSTRUCTION TYPE: YB 6,043 SF TOTAL FLOOR AREA: MAIN FLOOR AREA: 6,Ø43 SF UPPER FLOOR AREA: NONE OCCUPANCY TYPE: B - BUSINESS OCCUPANCY SEPARATIONS: NOT REQUIRED OCCUPANCY AREAS: 6,043 SF BASE ALLOWABLE AREA: B - 9,000 SF (NS) 2 STORIES (NS) FRONTAGE INCREASE: NONE USED SPRINKLED = NO SPRINKLER INCREASE: 1 STORY BUILDING

NOT USED

<u>PLUMBING</u> NON-OCCUPIED AT THIS POINT

ALLOWABLE AREA CALCULATION:

FIRE AND SMOKE PROTECTION REQUIREMENTS

BUILDING ELEMENT RESISTANCE (IBC TABLE 601) RATING (HRS) PRIMARY STRUCTURAL FRAME: BEARING WALLS EXTERIOR:

BEARING WALLS INTERIOR:

NONBEARING WALLS EXTERIOR: 1 (5-10 FEET SEPERATION) NONBEARING WALLS INTERIOR: Ø

Ø

EXIT ACCESS RATINGS

ROOF CONSTRUCTION:

CORRIDORS (IBC TABLE 1020.2): Ø N/A YERTICAL ENCLOSURES:

EGRESS TRAVEL DISTANCES (IBC 1006.2.1 & 1017.2)

COMMON PATH OF EGRESS TRAVEL: 75' (57'-Ø" PROYIDED) EXIT ACCESS TRAVEL DISTANCE: 75' (57'-Ø" PROYIDED)

CODE FLOOR PLAN LEGEND

101 ROOM NUMBER

OLF: 100 OLF - OCCUPANT LOAD FACTOR PER IBC TIØØ4.5 OCC - CALCULATED NUMBER OF OCCUPANTS

LIGHTED EXIT SIGNS

NUMBER IN CIRCLE INDICATES CUMULATIVE NUMBER OF OCCUPANTS AT THIS POINT OF ROUTE

LONGEST COMMON PATH OF TRAVEL (CPT)

FIRE EXTINGUISHER WALL BRACKET MOUNTED

LONGEST EXIT ACCESS PATH (EAP)

→ → → 1-HR RATED FIRE WALL

REVISIONS



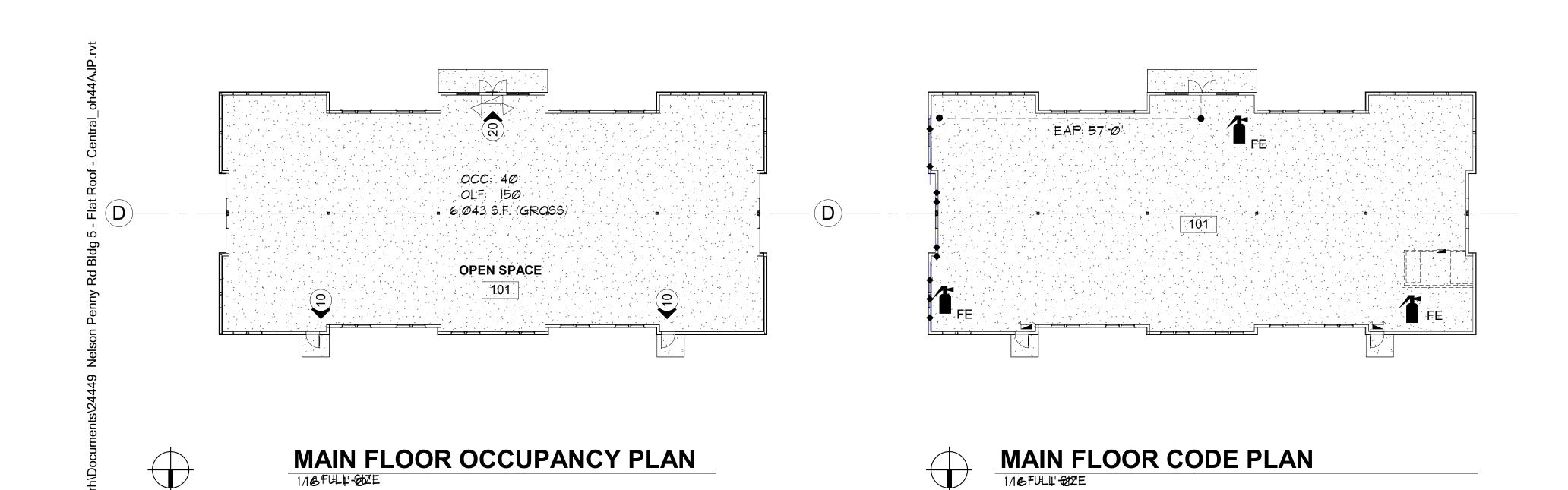
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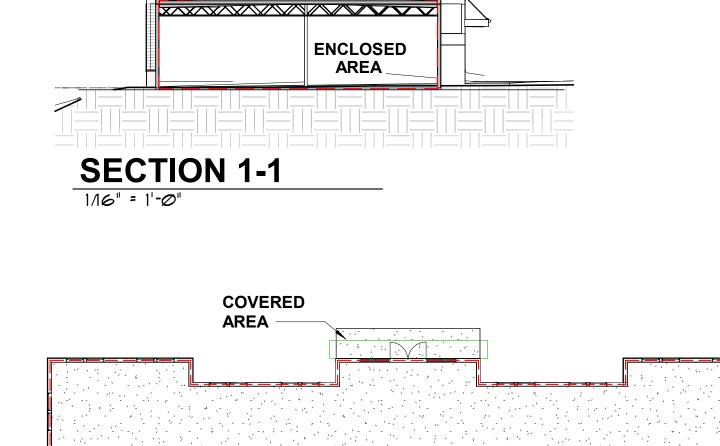


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BUILDING ENVELOPE

Date:	2024-07-26	
Scale Factor	: 1	
Drawn:	LC,OH	
File:	24449	
A0.2		





ENCLOSED AREA

PARAPET HEIGHT 20' - 3"

BUILDING ENVELOPE



CLIMATE ZONE (PER TABLE C3Ø1.1): 5B

2021 WASHINGTON STATE ENERGY CODE BUILDING THERMAL ENVELOPE REQUIREMENTS. U-FACTOR METHOD.

OPÁQUE THERMÁL ENVELOPE ASSEMBLY MÁXIMUM REQUIREMENTS, U-FÁCTOR METHOD. TÁBLE C4Ø2.1.4 COMMERCIÁL

ROOFS		SLAB-ON-GRADE FLOORS	
INSULATION ENTIRELY ABOVE DECK	U-Ø.Ø27	UNHEATED SLABS	F-Ø.54
METAL BUILDINGS	U-Ø.Ø31	HEATED SLABS	F-Ø.55
ATTIC AND OTHER	U - Ø.Ø21		
JOIST OR SINGLE RAFTER	U-Ø.Ø27	OPAQUE DOORS	
		NONSWINGING DOOR	U-Ø.31
WALLS, ABOYE & BELOW GRADE		SWINGING DOOR	U-Ø.37
MASS	U-Ø.1Ø4		
MASS TRANSFER DECK SLAB	U - Ø.2Ø	FENESTRATION	
METAL BUILDING	U-Ø.Ø5Ø	VERTICAL CURTAIN WALLS AND SITE-BUILT	
STEEL FRAMED	U-Ø.Ø55	FIXED	U-Ø.34
WOOD FRAMED AND OTHER	U-Ø.Ø51	OPERABLE	U-Ø.36
		ENTRANCE DOORS	U-0.60
FLOORS		ALL OTHER VERTICAL FENESTRATION	
MASS	U - Ø.Ø31	FIXED WINDOWS	U-Ø.26
JOIST/FRAMING	U-Ø.Ø29	OPERABLE OR MULLED WINDOWS	U-Ø.28

U-FACTOR METHOD

ROOFS U-FACTOR FOR CEILING:	3 TABLE A1Ø2.1	A1Ø2.2.2 VAULTED CEILINGS.
INSULATION ENTIRELY ABOVE DECK MIN. R-40, MAX R-85	U-Ø.Ø17	ROOF IS ASSUMED TO BE TAPERED WITH INSULATION ENTIRELY ABOVE DECK AND UNINTERUPTED BY FRAMING. THE BASE ASSEMBLY IS CONTINUOUS INSULATION OVER A STRUCTURAL DECK. THE SLOPE OF THE TAPERED INSULATION IS 1/4" PER FOOT
WALLS 2X6 WOOD STUD TABLE R-VALUE OF FOAM BOARD- R-Ø	A1Ø3.3.1(5) LAPPED WOOD ADVANCED 24"OC U-Ø.Ø51	A1Ø3.2.3 ADVANCED STUDS FRAMED ON 24 INCH CENTERS WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE. CORNERS USE TWO STUDS OR OTHER MEANS OF FULLY INSULATING CORNERS, AND ONE STUD IS USED TO SUPPORT EACH HEADER. HEADERS CONSIST OF DOUBLE 2X MATERIAL WITH R-1Ø INSULATION. INTERIOR PARTITION WALL/EXTERIOR WALL INTERSECTIONS ARE FULLY INSULATED IN THE EXTERIOR WALL.
FLOORS UNHEATED, FULLY INSULATED SLAB	INSULATION TYPE: CONTINUOUS UNDER SLAB R-10 RIGID INSULATION- U-0.54	TWO FOOT VERTICAL/FULLY INSULATED SLAB: INSULATION EXTENDS FROM THE TOP OF THE SLAB, ALONG THE ENTIRE PERIMETER AND COMPLETELY COVERS THE AREA UNDER THE SLAB. THICKER PERIMETER INSULATION COVERS THE SLAB EDGE AND EXTENDS 2 FEET UNDER THE SLAB.

CONSTRUCTION SHALL COMPLY WITH 2021 EDITION WASHINGTON STATE COMMERCIAL ENERGY CODE CLIMATE ZONE: YB PRESCRIPTIVE PATH

BUILDING SHELL: TABLE C406.2

EFFICIENCY MEASURE	DESCRIPTION	CREDITS
25	ENHANCED ENVELOPE PERFORMANCE: PROPOSED TOTAL UA OF THE THERMAL ENVELOPE	13.0
	OF THE PROJECT SHALL BE 15 PERCENT LOWER THAN THE ALLOWABLE TOTAL UA DETERMINED IN	
	ACCORDANCE WITH SECTION C 402.1.5 AND EQUATION 4-2	

TOTAL

PROJECTION FACTOR CALCULATIONS

FOR VERTICAL FENESTRATION SHADED BY BUILDING ELEMENT OVERHANGS OR PERMANENT EXTERNAL SHADING DEVICES, PROVIDE PROJECTION FACTOR CALCULATIONS PER EQUATION 4-6 FOR EACH FIXED AND OPERABLE VERTICAL FENESTRATION TYPE WITH SIMILAR PERMANENT SHADING GEOMETRY.

EQUATION 4-6: PF=A/B A= OVERHANG WIDTH= 4FT

B= DISTANCE FROM BOTTOM OF FENESTRATION TO UNDERSIDE OF OVERHANG: 10º-2"

PF= .39

2021 WASHINGTON STATE ENERGY CODE NOTES

- EXTERIOR ENVELOPE THERMAL PERFORMANCE FOLLOWS THE 2021 WSEC PRESCRIPTIVE ENERGY COMPLIANCE PATH PER SECTION C401 OR C501.
- IDENTIFICATION MARK SHALL BE APPLIED TO ALL INSULATION MATERIALS AND INSULATION INSTALLED SUCH THAT THE MARK IS READILY OBSERVABLE DURING INSPECTION. FOR INSULATION MATERIALS THAT ARE INSTALLED WITHOUT AN OBSERVABLE MANUFACTURER'S R-VALUE MARK, SUCH AS BLOWN OR DRAPED PRODUCTS, AN INSULATION CERTIFICATE COMPLYING WITH SECTION C3Ø3.1.1 SHALL BE LEFT IMMEDIATELY AFTER INSTALLATION BY THE INSTALLER, IN A CONSPICUOUS LOCATION WITHIN THE BUILDING, TO CERTIFY THE INSTALLED R-VALUE OF THE INSULATION MATERIAL
- ALL FENESTRATION PRODUCTS SHALL BE LABELED WITH NFRC U-FACTOR, SHGC, YT AND LEAKAGE RATING. PRODUCTS LACKING SUCH A LABELED U-FACTOR SHALL BE ASSIGNED A DEFAULT U-FACTOR FROM TABLE C3Ø3.1.3(1), C3Ø3.1.3(2) OR C3Ø3.1.3(4). THE SOLAR HEAT GAIN COEFFICIENT (SHGC) AND VISIBLE TRANSMITTANCE (YT) OF GLAZED FENESTRATION PRODUCTS (WINDOWS, GLAZED DOORS AND SKYLIGHTS) SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 200 BY AN ACCREDITED. INDEPENDENT LABORATORY, AND LABELED AND CERTIFIED BY THE MANUFACTURER. PRODUCTS LACKING SUCH A LABELED SHGC OR YT SHALL BE ASSIGNED A DEFAULT SHGC OR YT FROM TABLE C3Ø3.1.3(3).
- 4. WHERE MULTIPLE LAYERS OF RIGID INSULATION ARE USED THE EDGE JOINTS BETWEEN EACH LAYER OF CONTINUOUS INSULATION BOARDS SHALL BE STAGGERED PER SECTION C3Ø3.2.2
- ALL EXTERIOR WOOD WALLS SHALL UTILIZE INTERMEDIATE FRAMING PER A1Ø3.2.2: INTERMEDIATE STUDS FRAMED ON 16-INCH CENTERS WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE, U.N.O. CORNERS USE TWO STUDS OR OTHER MEANS OF FULLY INSULATING CORNERS, AND EACH OPENING IS FRAMED BY TWO STUDS. HEADERS CONSIST OF DOUBLE 2X MATERIAL WITH R-10 INSULATION. INTERIOR PARTITION WALL/EXTERIOR WALL INTERSECTIONS ARE FULLY INSULATED IN THE EXTERIOR WALL
- 6. U-FACTOR OR R-YALUE (NON-SWINGING) OF OPAQUE DOORS (WITH LESS THAN 50% GLAZED AREA) SHALL BE AS INDICATED ON WALL SECTIONS OR DOOR SCHEDULES AND WILL BE RATED BY TABLE C3Ø3.1.3(1)/R3Ø3.1.3(1) AS APPROPRIATE.
- FENESTRATION THAT IS ENTIRELY WITHIN THE CONDITIONED SPACE OR IS BETWEEN CONDITIONED AND OTHER ENCLOSED SPACE IS EXEMPT FROM SOLAR HEAT GAIN COEFFICIENT REQUIREMENTS AND NOT INCLUDED IN THE SHGC CALCULATION PER TABLE C402.4.
- PROVIDE TOTAL GROSS SF AREA OF ALL ABOYE GRADE WALL ELEMENTS AND ROUGH OPENING SF AREA OF ALL VERTICAL FENESTRATION ELEMENTS IN THE BUILDING. THE TOTAL BUILDING VERTICAL FENESTRATION AREA (NOT INCLUDING OPAQUE DOORS AND OPAQUE SPANDREL PANELS) SHALL NOT EXCEED 30 PERCENT OF THE TOTAL BUILDING GROSS ABOYE-GRADE WALL AREA. THE SKYLIGHT AREA SHALL NOT EXCEED 5 PERCENT OF THE TOTAL BUILDING GROSS ROOF AREA (SKYLIGHT-TO-ROOF RATIO). FOR BUILDINGS WITH MORE THAN ONE SPACE CONDITIONING CATEGORY. COMPLIANCE WITH THE MAXIMUM ALLOWED WINDOW-TO-WALL RATIO (WWR) AND SKYLIGHT-TO-ROOF RATIO SHALL BE DEMONSTRATED SEPARATELY FOR EACH SPACE CONDITIONING CATEGORY. INTERIOR PARTITION CEILING. WALL, FENESTRATION AND FLOOR AREAS THAT SEPARATE SPACE CONDITIONING AREAS SHALL NOT BE APPLIED TO THE WINDOW-TO-WALL RATIO AND SKYLIGHT-TO-ROOF RATIO CALCULATIONS. FOR BUILDINGS THAT COMPLY WITH SECTION C402.4.1.1.1 OR C402.4.1.1.2, THE TOTAL BUILDING VERTICAL FENESTRATION AREA IS PERMITTED TO EXCEED 30 PERCENT BUT SHALL NOT EXCEED 40 PERCENT OF THE GROSS ABOVE GRADE WALL AREA.
- 9. LOCATION OF CONTINUOUS AIR BARRIER SHALL BE AS INDICATED IN PLANS AND SECTIONS. A CONTINUOUS AIR BARRIER SHALL BE PROVIDED THROUGHOUT THE BUILDING THERMAL ENVELOPE. THE CONTINUOUS AIR BARRIERS SHALL BE LOCATED ON THE INSIDE OR OUTSIDE OF THE BUILDING THERMAL ENVELOPE. LOCATED WITHIN THE ASSEMBLIES COMPOSING THE BUILDING THERMAL ENVELOPE. OR ANY COMBINATION THEREOF. THE AIR BARRIER SHALL COMPLY WITH SECTIONS C402.5.1.1 AND C402.5.1.2.
- 10. THE SEALING OF FENESTRATION OPENINGS SHALL BE SEALED BY CASKETING, WEATHERSTRIPPING, CAULKING OR OTHER APPROVED SEALING METHOD CONSTRUCTED TO COMPLY WITH SECTION C402.5.1.1
- BUILDING ENCLOSURE AIR LEAKAGE TESTING IS REQUIRED FOR WSEC COMPLIANCE. THE THERMAL ENVELOPE OF BUILDINGS SHALL COMPLY WITH SECTIONS C402.5.1 THROUGH C402.5.8. AND SHALL BE TESTED IN ACCORDANCE WITH ASTM E779, ANSI/RESNET/ICC 380. ASTM E3158 OR ASTM E1827 OR AN EQUIVALENT METHOD APPROVED BY THE CODE OFFICIAL. THE MEASURED AIR LEAKAGE SHALL NOT EXCEED Ø.25 CFM/FT2 (1.27 L/S × M2) OF THE BUILDING THERMAL ENVELOPE AREA AT A PRESSURE DIFFERENTIAL OF Ø.3 INCH WATER GAUGE (75 PA). SUBMIT BUILDING ENCLOSURE AIR LEAKAGE TEST REPORTS TO JURISDICTION AND OWNER; WHERE THE MEASURED AIR LEAKAGE RATE EXCEEDS Ø.25 CFM/FT2 (2.0 L/S X M2) CORRECTIVE ACTION SHALL BE TAKEN TO SEAL LEAKS IN THE AIR BARRIER. POST-CORRECTIVE ACTION TESTING AND REPEATED CORRECTIVE ACTION MEASURES WILL BE TAKEN UNTIL THE REQUIRED AIR LEAKAGE RATING IS ACHIEVED. FINAL PASSING OF THE AIR LEAKAGE TEST RESULTS SHALL BE SUBMIT-TED TO THE CODE OFFICIAL
- 12. A PERMANENT THERMAL ENVELOPE CERTIFICATE SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE SPACE CONDITIONING EQUIPMENT IS LOCATED. A UTILITY ROOM OR OTHER APPROVED LOCATION. IF LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER 🔧 REQUIRED LABELS. A COPY OF THE CERTIFICATE SHALL ALSO BE INCLUDED IN THE CONSTRUCTION FILES FOR THE PROJECT, WHERE THERE IS MORE THAN ONE VALUE FOR ANY COMPONENT OF THE BUILDING ENVELOPE, THE CERTIFICATE SHALL INDICATE THE AREA-WEIGHTED AVERAGE VALUE WHERE AVAILABLE. IF THE AREA-WEIGHTED AVERAGE IS NOT AVAILABLE. THE CERTIFICATE SHALL EACH VALUE THAT APPLIES TO 10 PERCENT OR MORE OF THE TOTAL COMPONENT AREA PER SECTION C401.4
- 13. PROVIDE PROJECT CLOSE OUT DOCUMENTATION, INCLUDING APPLICABLE CALCULATIONS, WSEC ENVELOPE COMPLIANCE REPORTS, AND FENESTRATION NFRC RATING CERTIFICATES TO BUILDING OWNER WITHIN A MAXIMUM OF 90 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY PER SECTION C103.6.
- 14. MECHANICAL SYSTEMS AND EQUIPMENT SERVING HEATING, COOLING, YENTILATING, AND OTHER NEEDS SHALL COMPLY WITH SECTION C403
- 15. LIGHTING SYSTEM CONTROLS. THE MAXIMUM LIGHTING POWER FOR INTERIOR AND EXTERIOR APPLICATIONS. ELECTRICAL ENERGY CONSUMPTION, VERTICAL AND HORIZONTAL TRANSPORTATION SYSTEMS, AND MINIMUM EFFICIENCIES FOR MOTORS AND TRANSFORMERS SHALL COMPLY WITH SECTION C405
- 16. THE PROJECT SHALL MEET THE MINIMUM NUMBER REQUIRED EFFICIENCY CREDITS SHOWN IN TABLE C406.1.
- 17. SOLAR READINESS & SOLAR ZONE SHALL BE PROVIDED ON BUILDINGS THAT ARE 20 STORIES OR LESS IN HEIGHT ABOVE GRADE PLANE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OF THE BUILDING OR ON ANOTHER STRUCTURE ELSEWHERE ON THE SITE. THE SOLAR ZONE SHALL BE IN ACCORDANCE WITH SECTION C411.3 AND THE INTERNATIONAL FIRE CODE. THE MINIMUM AREA OF THE SOLAR ZONE SHALL BE DETERMINED BY 40% OF THE ROOF AREA OR 20% OF ELECTRICAL SERVICE SIZE ONE OF THE FOLLOWING WHICHEVER RESULTS IN THE SMALLER AREA.

ASSOCIATES

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REGISTERED ARCHITECT

Date:	2024-07-2
Scale Fact	or:
Drawn:	LC,D
File:	2444
Sheet	

(2) 2X6 TOP PLATES SEE EXTERIOR ELEVATIONS FOR SIDING TYPE WEATHER RESISTIVE BARRIER - LP FLAME BLOCK SHEATHING - 5/8" TYPE 'X' GWB PLAN 2X6 WD STUDS @ 24" OC - INSULATION PER ENERGY CODE REQUIREMENTS VAPOR BARRIER BASE PER SCHEDULE

WALL TYPE 2

SEALANT AT TOP AND

ULY340

BOTTOM OF BASE

EXTERIOR I HR RATED ASSEMBLY- ULY340

GYPSUM WALLBOARD, FIRE RATED PLYWOOD SHEATHING, WOOD STUDS

Fire Design:

EXTERIOR SIDE: One layer 48" wide 1/2" fire rated plywood sheathing (LP Flameblock or equivalent by other manufacturer) applied parallel to 2 x 4 wood studs 24" o.c. with 1-3/4" galvaninzed roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.

INTERIOR SIDE: One layer 5/8" type × gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1-7/8" long, Ø.Ø915" shank, 1/4" heads, 7" o.c. (LOAD BEARING)

ASSEMBLY TYPE NOTES

- SEE FLOOR PLANS FOR WALL TYPE
- 2. REFER TO STRUCTURAL SHEETS FOR SHEAR WALL LOCATIONS AND REQUIRED WOOD SHEATHING FASTENING.
- 3. ALL WOOD IS CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND HAVE SILL SEALERS AT SILL PLATES.

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DIN ROAD,

2024-07-26 Scale Factor:

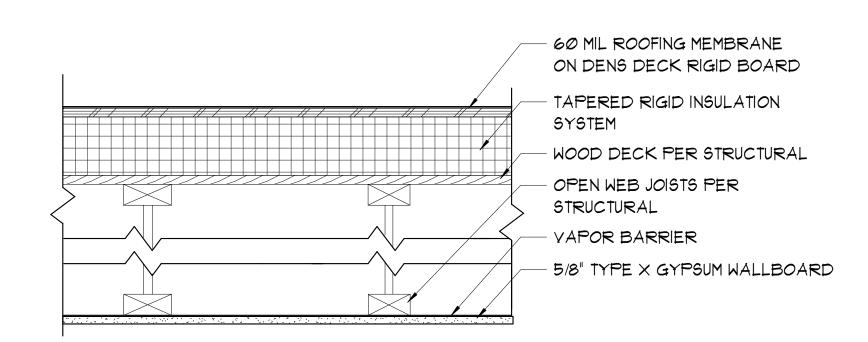
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FLOOR ASSEMBLY 1

WALL TYPE 1

NOTE: REFER TO STRUCT.

FOR THICKENED SLAB FOOTINGS



FINISH PER FINISH

CONCRETE THICKNESS & REINFORCING PER STRUCT.

6-MIL VAPOR BARRIER

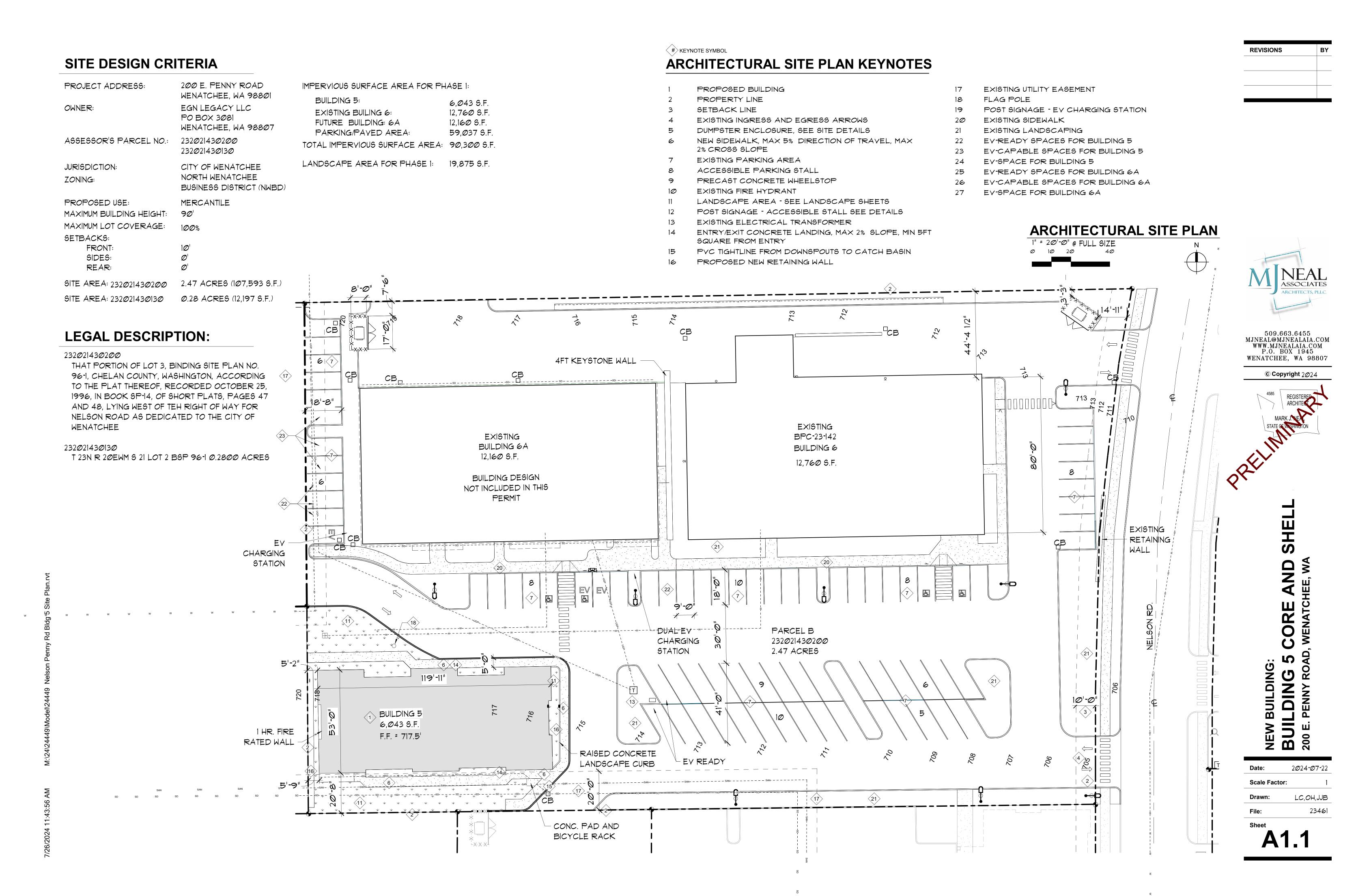
4" COMPACTED GRAYEL

R-10 RIGID INSULATION

BASE

SCHEDULES

ROOF ASSEMBLY, NOT RATED



PARKING CALCULATIONS:

PARKING REQUIREMENTS PER WCC TABLE 10.60.080 RETAIL:

3.5 SPACES PER 1,000 SQUARE FEET FOR

2,001 - 7,500 GFA

EXISTING

BUILDING 6: 8,124/1,000 = 8.124 × 2.85 = 23 STALLS

4,214*/*5,*ØØØ =* 1 STALL WAREHOUSE

EXISTING

BUILDING 6A:

12,160/1,000 = 12.16 × 2.85 = 35 STALLS

PROPOSED

BUILDING 5: 6,000/1,000 = 6 × 3.5 = 21 STALLS

PARKING REDUCTION INCENTIVES - TRANSIT PER WCC10.60.070

PROPOSED

BUILDING 5: 21 × 20% = 4.2 STALLS 17 STALLS TOTAL EY CHARGING STATIONS: 10% OF TOTAL PARKING SPACES 3 SPACES REQUIRED & PROPOSED 10% OF TOTAL PARKING SPACES EY-READY SPACES: 3 SPACES REQUIRED & PROPOSED 10% OF TOTAL PARKING SPACES EY-CAPABLE SPACES: 3 SPACES REQUIRED & PROPOSED

> 2 STALLS REQUIRED 1 CAR + 1 VAN = 2 STALLS PROPOSED

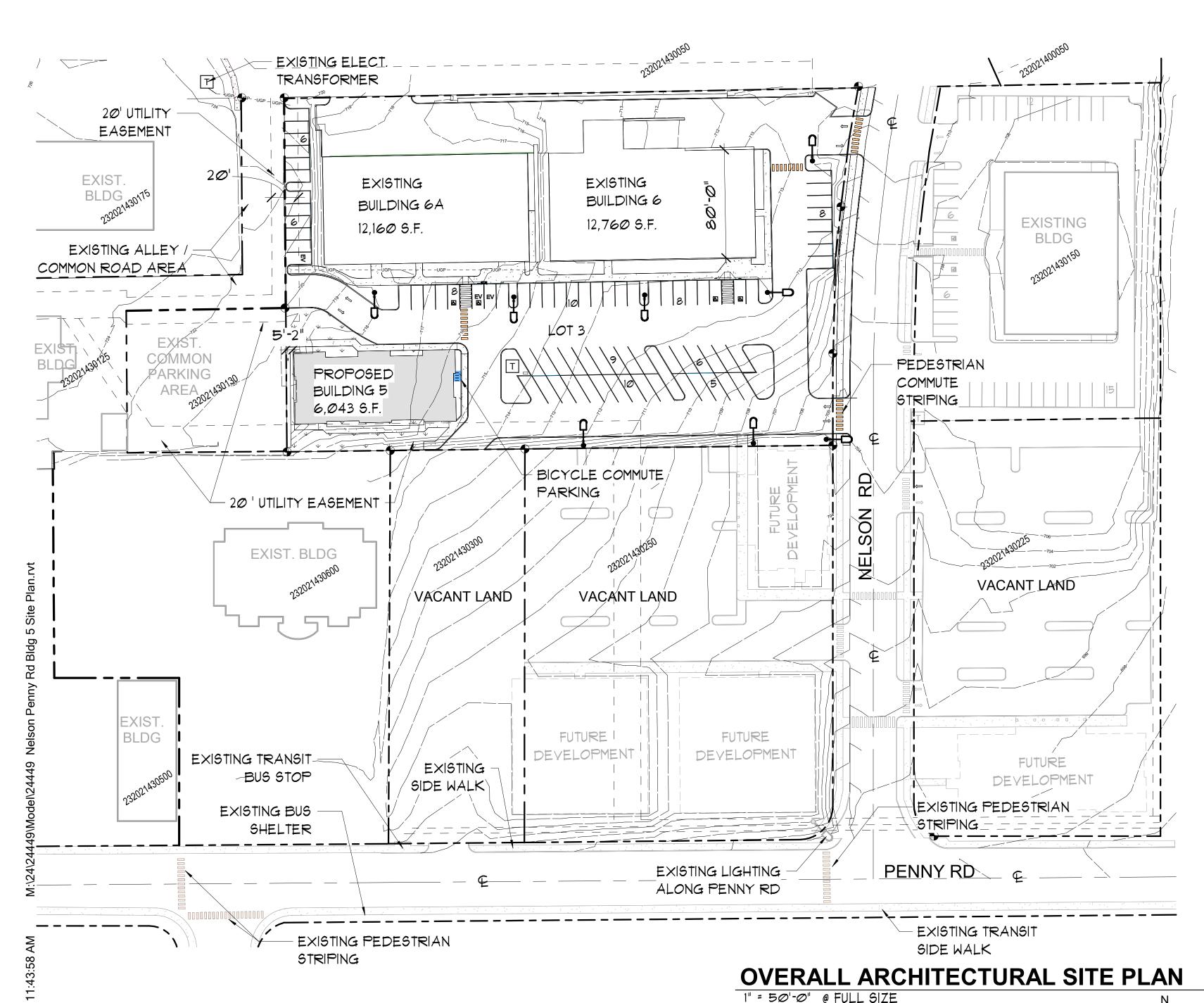
10% OF EACH TYPE OF EV CHARGING SYSTEMS REQ.

NOTE: SEE ALI FOR EY CHARGING LOCATIONS

TOTAL REQUIRED STALLS:

ACCESSIBLE STALLS:

TOTAL PROPOSED STALLS: 76



GENERAL SITE NOTES:

1. CONTRACTOR SHALL PROVIDE AND COORDINATE PLACEMENT, SIZE AND LOCATION OF ALL UNDERGROUND SLEEYE.

- 2. ALL DIMENSIONS TO CURBS ARE TO FACE OF CURB. UNLESS NOTED OTHERWISE.
- 3. ALL DIMENSIONS TO BUILDING ARE PERPENDICULAR TO PROPERTY LINES UNLESS NOTED OTHERWISE
- 4. YERIFY ALL LOCATIONS OF PROPERTY LINES. UTILITY LINES AND EXISTING STRUCTURES
- 5. SEE GEOTECH REPORT FOR SUITABILITY OF EXCAYATED MATERIAL FOR FILL.
- 6. REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO EXISTING SURFACES AND STRUCTURES PROVIDE APPROPRIATE TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING CONDITIONS. EXTEND CONCRETE OR ASPHALT REPLACEMENT TO A UNIFORM TRANSITION OR THE NEAREST EXISTING JOINT.
- 7. PROVIDE 4" PYC FOUNDATION DRAINAGE PIPE AT PERIMETER OF BUILDING TO NEAREST CATCH BASIN

SITE PLAN LEGEND

PROPERTY LINE SETBACK OR EASEMENT CONTOUR - NEW CONTOUR - EXISTING PROJECT LIMITS CONTRACTOR STAGING AREA - LANDSCAPED AREA LANDSCAPING BUFFER AREA CONCRETE GRAYEL ASPHALT PAVEMENT

HYDRANT

FIRE DEPARTMENT CONNECTION (FDC)

POST INDICATOR VALVE (PIV) SINGLE POST MOUNTED LIGHTING FIXTURE

RSXI LED P3 40K R3 (LITHONIA LIGHTING

BQ WALL MOUNTED LIGHT W BATTERY BACKUP WDG2 LED P2 40K 80CRI YW

(LITHONIA LIGHTING) Q WALL MOUNTED LIGHT

WDG3 LED P3 70CRI R3 40K (LITHOINA LIGHTING)

WATER METER

T ELECTRICAL TRANSFORMER

LANDSCAPE CALCULATIONS:

A CONTINUOUS 6' (AVERAGE) AREA OF LANDSCAPING FRONTAGE LANDSCAPING: ALONG THE STREET RIGHT-OF-WAY SHALL BE REQUIRED.

17.5 S.F. REQUIRED PER I STALL FIRST 50 STALLS

PARKING LOT LANDSCAPING: 25 S.F. REQUIRED PER STALL IN EXCESS OF 50 STALLS

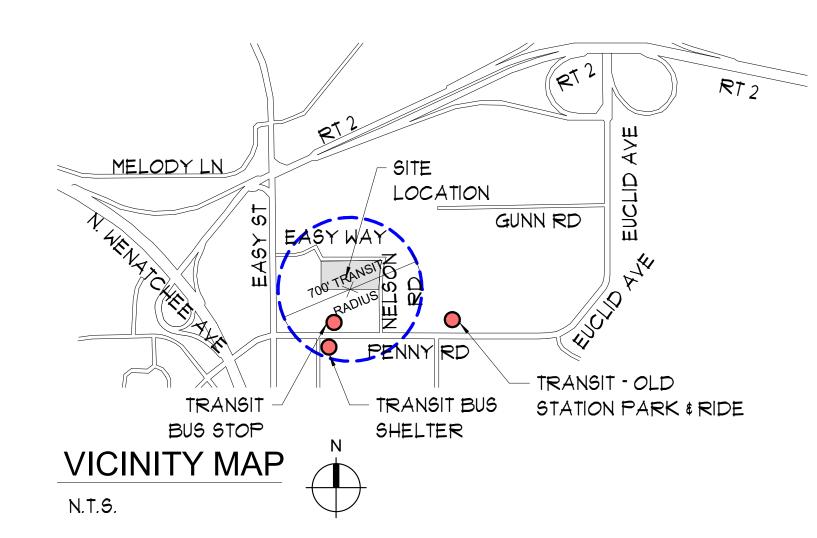
22.957 S.F. PROVIDED

LANDSCAPE BUFFER: 10.62.070

PEDESTRIAN AMENITIES REQUIREMENTS:

10.26.050 (5)

PROVIDED:





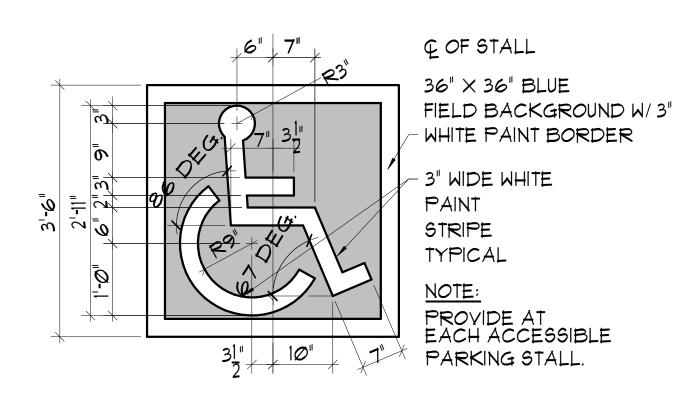
NEAL ASSOCIATES

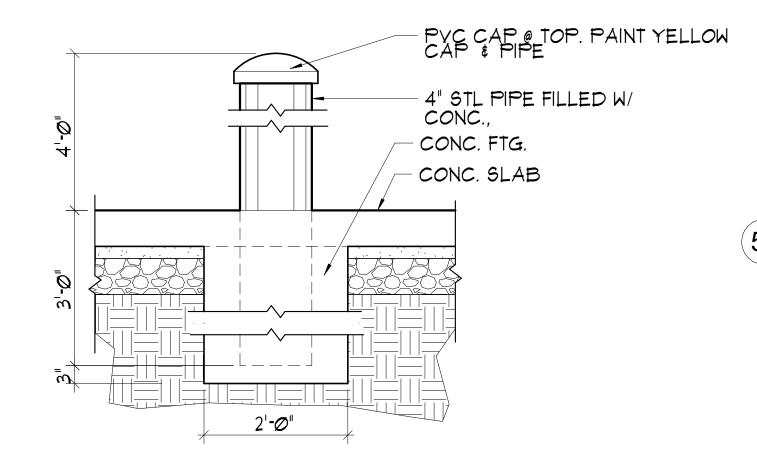
REVISIONS

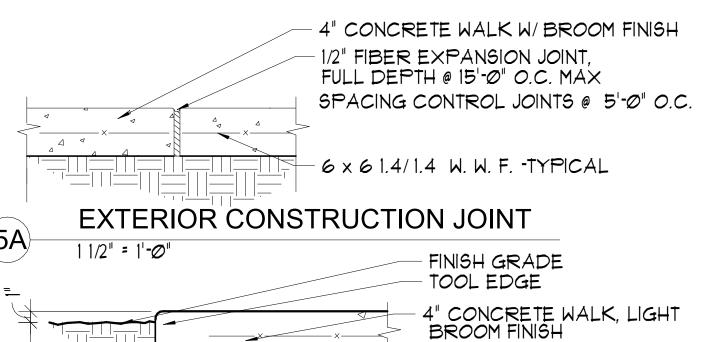
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2*0*24-*0*7-22 Scale Factor: JJB, DP



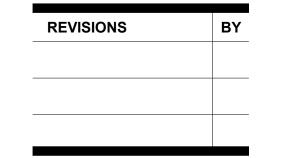




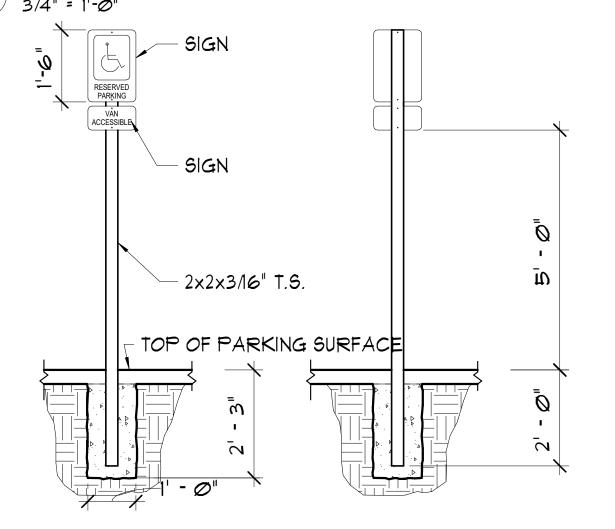
WALK EDGE & PLANTER LAWN

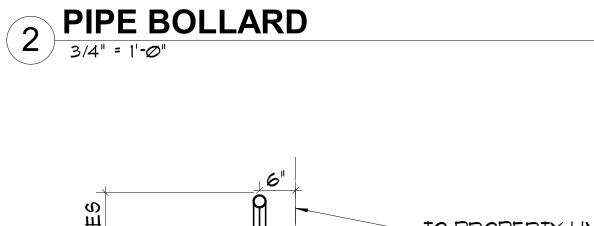
PERPENDICULAR

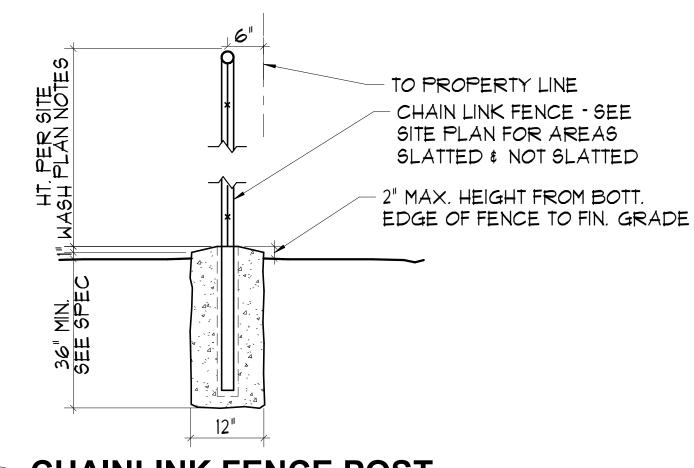
TO DIRECTION OF TRAVEL



INTERN'L SYMBOL OF ACCESSIBILITY

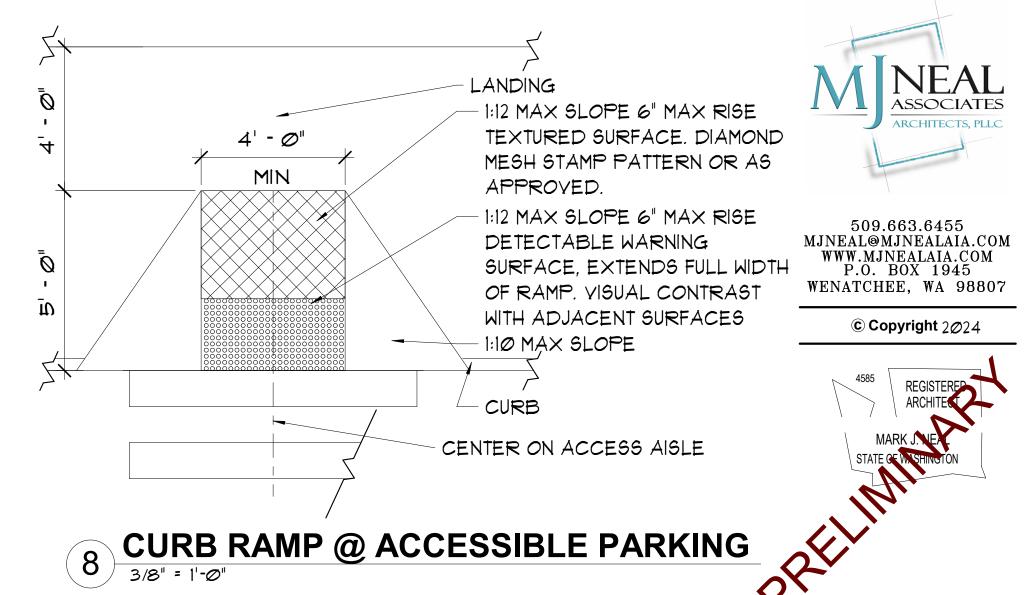


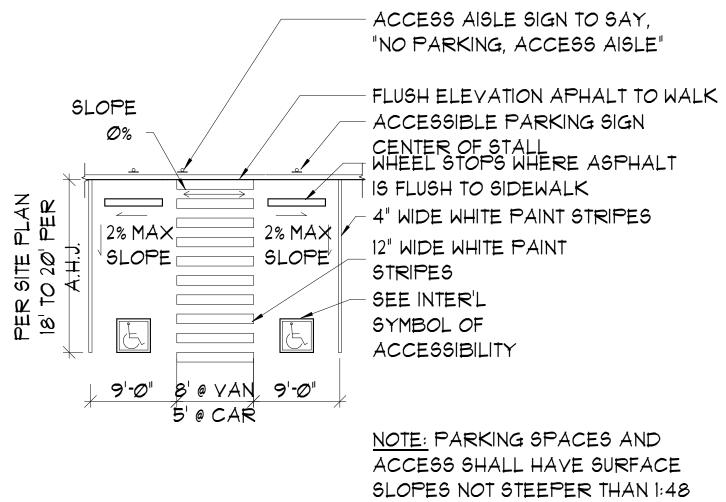




5 ACCESSIBLE SIGNAGE

6 CHAINLINK FENCE POST





OR (EQUAL TO OR LESS THAN 2%) ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

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Sheet A1.3	

NEW BUILDING:
BUILDING 5 C
200 E. PENNY ROAD, V

SHEL

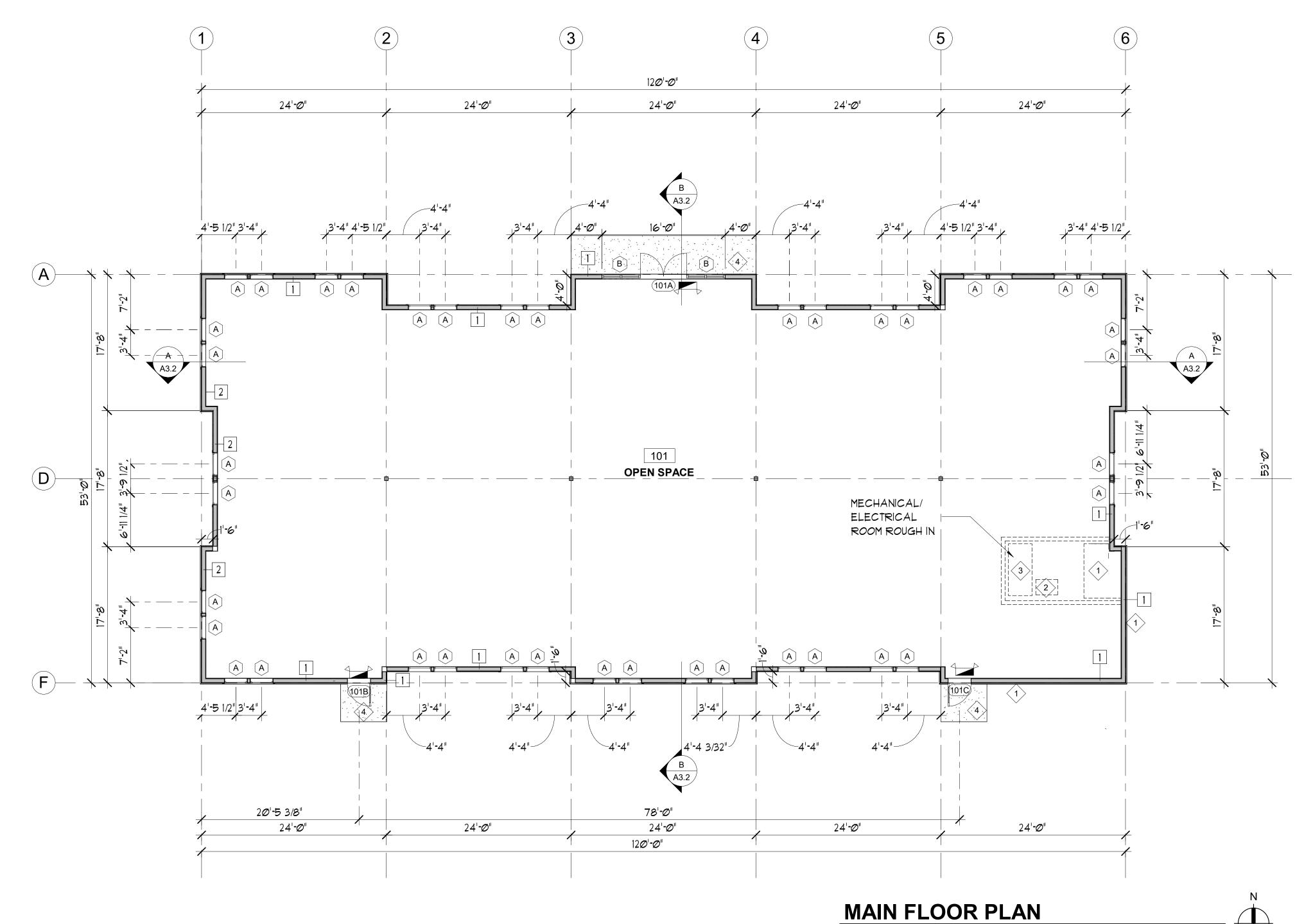
CORE AND S, WENATCHEE, WA

ACCESSIBLE PARKING STALL

16 1" = 100'-00"

GENERAL FLOOR PLAN NOTES

- 1. ALL GRIDLINES ARE AT FACE OF SHEATHING OR CONCRETE.
- 2. ALL DIMENSIONS TO WINDOWS ARE TO CENTER OF OPENING, U.N.O.
- 3. REFER TO STRUCTURAL DRAWINGS FOR SIZE AND LOCATIONS OF STRUCTURAL MEMBERS, HOLD DOWNS, AND
- SHEAR WALLS.
- 4. REFER TO ROOF PLAN FOR LOCATION OF DOWNSPOUTS.
- 5. PROVIDE MINIMUM OF THREE (3) STUDS AT CORNERS, TYPICAL.
- 6. ALL EXTERIOR WALLS TO BE WALL TYPE 1, U.N.O., SEE EXTERIOR ELEVATIONS FOR SIDING MATERIALS.



1/8" = 1'-0" @ FULL SIZE

KEYNOTE SYMBOL

MAIN FLOOR PLAN KEYNOTES

1) ELECTRICAL SERVICE WALL

2 PLUMBING SERVICE ENTRY ROUGH IN AREA

3 PHOTOVOLTAIC, ELECTRICAL VEHICLE AND INVERTER SYSTEM PANEL SPACES

4 EXTERIOR CONCRETE LANDING, SEE SITE PLAN

FLOOR PLAN LEGEND

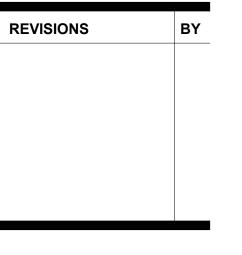
EXIT SIGN

WALL TYPES

1/4" = 1'-0"

WALL TYPE I

WALL TYPE 2-FIRE RATED





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A585

REGISTERED ARCHITECT

MARK J. NEA
STATE OF WASHINGTON

NG 5 CORE AND SHELAD, WENATCHEE, WA

 Date:
 2024-07-26

 Scale Factor:
 1

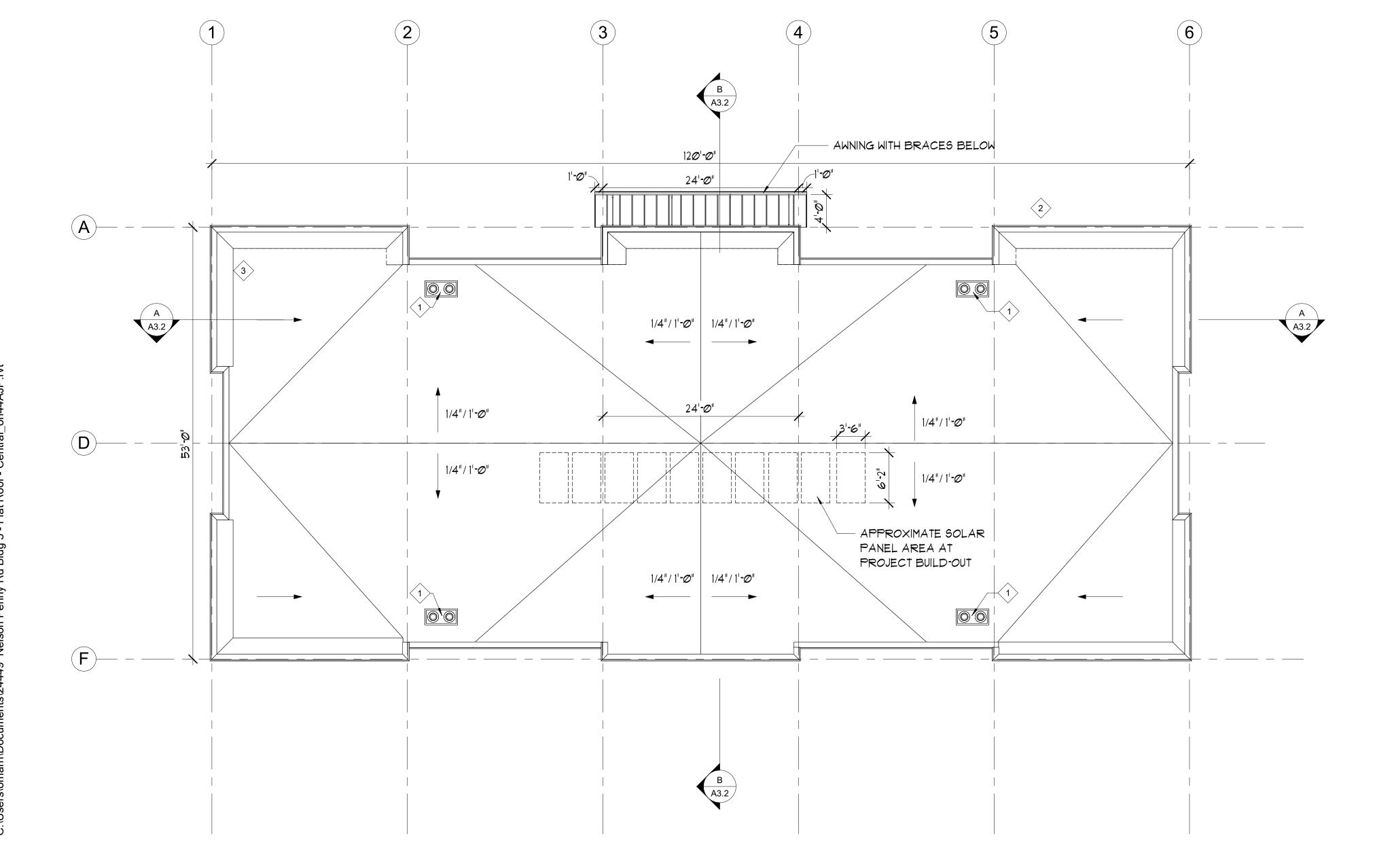
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A2.1

- 1. ALL ROOFING TO BE CONCEALED METAL FASTENER.
- 2. PROVIDE UNDERLAYMENT ICE SHIELD.
- 3. PROVIDE ROOF AND ATTIC VENTILATION PER CALCULATIONS, THIS SHEET.
- 5. DOWNSPOUT LOCATIONS, INSTALL MORE WHERE NEEDED TIGHTLINE TO STORM.
- 6. ALL ROOF OVERHANGES TO BE 4'-0" MIN, U.N.O.
- 7. SEE SECTIONS FOR ROOF HEIGHTS.



KEYNOTE SYMBOL

ROOF PLAN KEYNOTES

- 1 ROOF DRAINS SEE SHEET A8.2 FOR DETAILS
- 2 PARAPET WALLS
- 3 ROOF CRICKETS, SEE DETAILS

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MARK J. NEAL STATE OF WASHINGTON

5 CORE AND SHEL

BUILDING 5 CC

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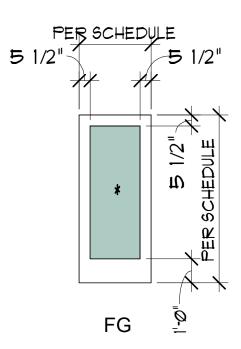
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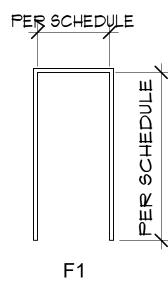
ROOF PLAN

1/8" = 1'-0"@ FULL SIZE

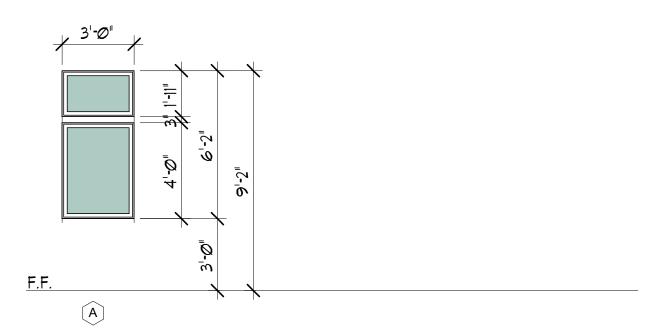


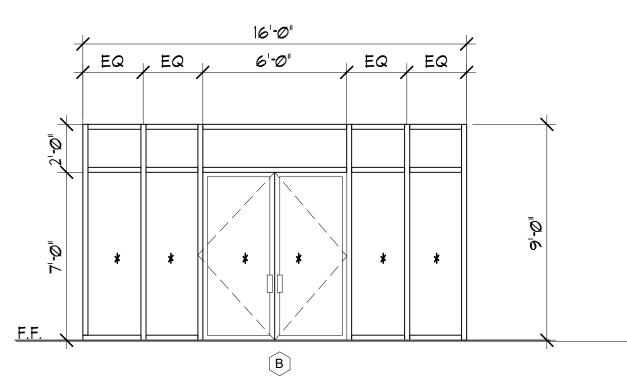


DOOR ELEVATIONS



DOOR FRAME TYPES





WINDOW ELEVATIONS 1/4" = 1'-0"

	DOOR SCHEDULE														
DOOR				DOC	R			FRAME		HDWR		DETAIL		LABEL	
NO.	MIDTH	HEIGHT	ELEY	CONST	M	F	TYPE	M	F	GRP	JAMB	HEAD	SILL	(HR)	COMMENTS
1Ø1A	6' - 0"	7' - Ø"	FG	TYPE 2	ALUM	-	-	ALUM	-	H1	12/A3.6	16/A83.6	-	NR	ALUMINUM STOREFRONT
1Ø1B	3' - Ø"	7' - Ø"	FG	1	HM	PT	F1	HM	PT	H1				NR	
1010	3' - Ø"	7' - Ø"	FG	1	HM	PT	F1	HM	PT	H 1				NR	

DOOR CONSTRUCTION

TYPE 1: 18 GA. INSULATED HOLLOW METAL FOR M (MATERIAL) AND F (FINISH) SEE ABBREVIATIONS TYPE 2: ALUMINUM STOREFRONT

_ DOOR DESIGNATION _ ROOM DESIGNATION

WINDOW NOTES

- FIELD VERIFY ALL DIMENSIONS
- SEE ENERGY CODE NOTES FOR U-FACTOR AND SHGC
- RATED.

ABBREVIATIONS

ALUM ALUMINUM HOLLOW METAL PAINT STAIN

HARDWARE GROUPS

HI EXIT DOOR; PANIC BAR, CLOSER, PULL, THRESHOLD, DOOR BOTTOM

PROVIDE 1 1/2" PAIR HINGES PER LEAF & LEVER HANDLES AT ALL DOORS, AND WALL BUMPERS AT DOORS OPENING TO WALLS.

M	NEAL ASSOCIATES ARCHITECTS, PLLC

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DOOR NOTES

- SEE ENERGY NOTES FOR OPAQUE DOOR U-FACTOR
- 3. * SYMBOL INDICATES TEMPERED GLAZING

- * SYMBOL INDICATES TEMPERED GLAZING

- 4. AT FIRE RATED WEST WALL WINDOWS TO BE 45 MIN. FIRE

WINDOW SCHEDULE						
MARK	OPERATION	MIDTH	HEIGHT	REMARKS		
А	FIXED - FIXED	3' - Ø"	5'-Ø"	ALUMINUM - THERMALLY BROKEN		
В	STOREFRONT	16'-0"	9'-Ø"	ALUMINUM - THERMALLY BROKEN		
B	STOREFRONT	16'-0"	9'-Ø"	ALUMINUM - THERMALLY BROKEN		

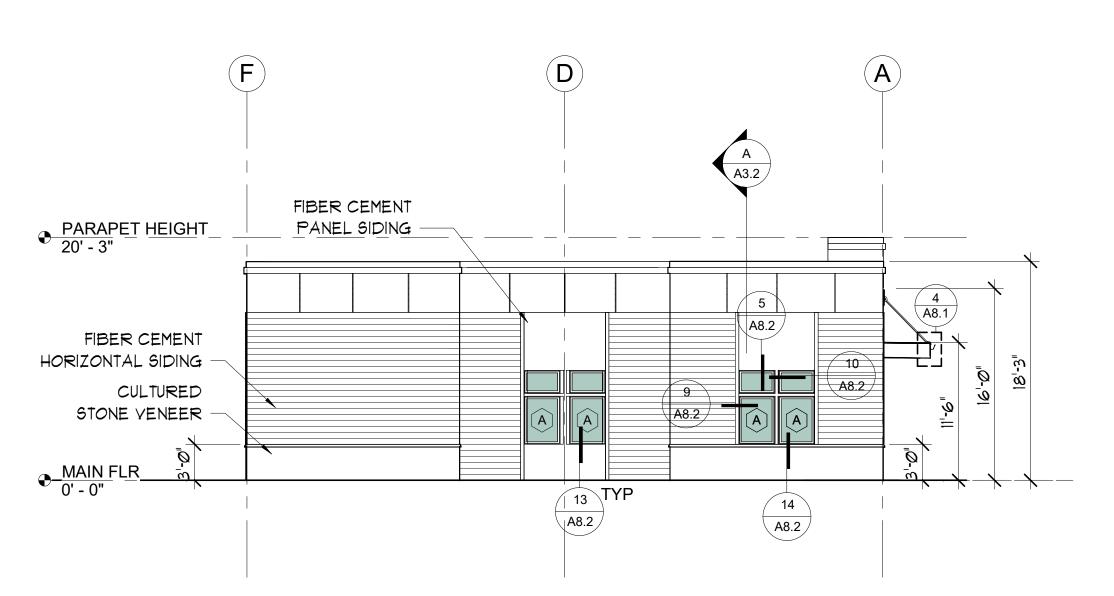
					R	OOM FII	NISH SC	HEDULI	E				
			FLOOR			WALLS							
ROOM					No	ORTH	· ·	EAST	S	<i>O</i> UTH	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	NEST	
NO	ROOM NAME	M	F	BASE	M	F	M	F	M	F	M	F	REMARKS
101	OPEN SPACE	CONC	SLR		GWB	PT	GWB	PT	GWB	PT	GWB	PT	SEE WALL TYPE 2 FOR WEST WALL TO BE FIRE RATED

FINISH MATERIAL NOTES

- EXTERIOR EXPOSED STEEL TO BE PAINTED TBD
- EXTERIOR WOOD BEAMS TO BE STAINED TBD
- EXTERIOR HM DOORS TO BE PAINTED TBD. 4. EXTERIOR DOOR FRAMES TO BE PAINTED TBD
- 5. ALL WINDOW SILLS POLY-1. WINDOW SILLS TO BE INSTALLED ON ALL EXTERIOR WINDOWS UNO

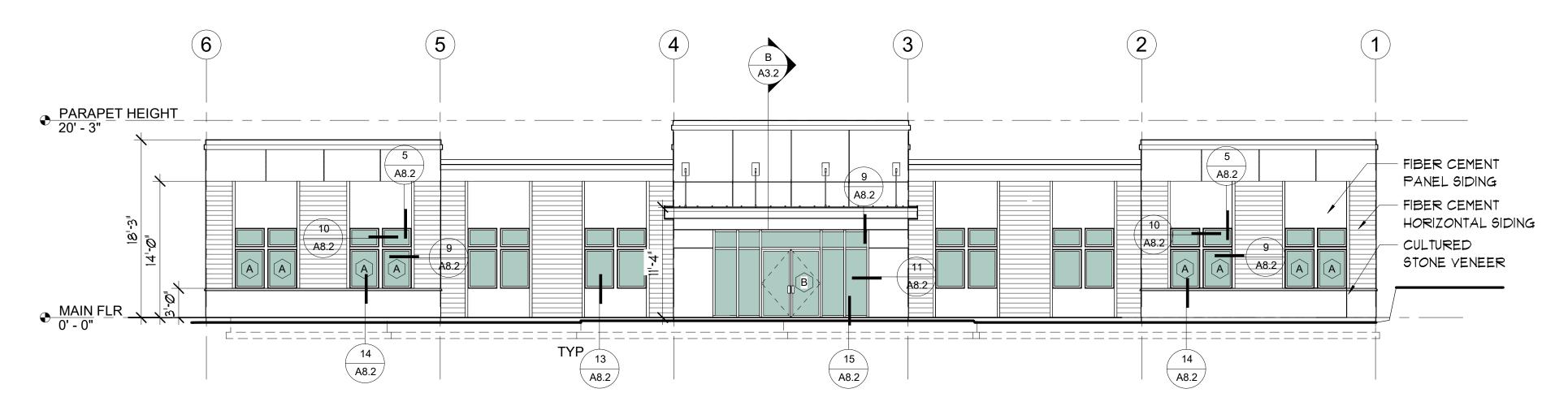
FINISH ABBREVIATIONS

CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
GWB	GYPSUM WALLBOARD
OPW	OPERABLE WALL
SLR	SEALER
TBD	TO BE DETERMINED
WD	WOOD
FPLY	FIRE-TREATED PLYWOOD

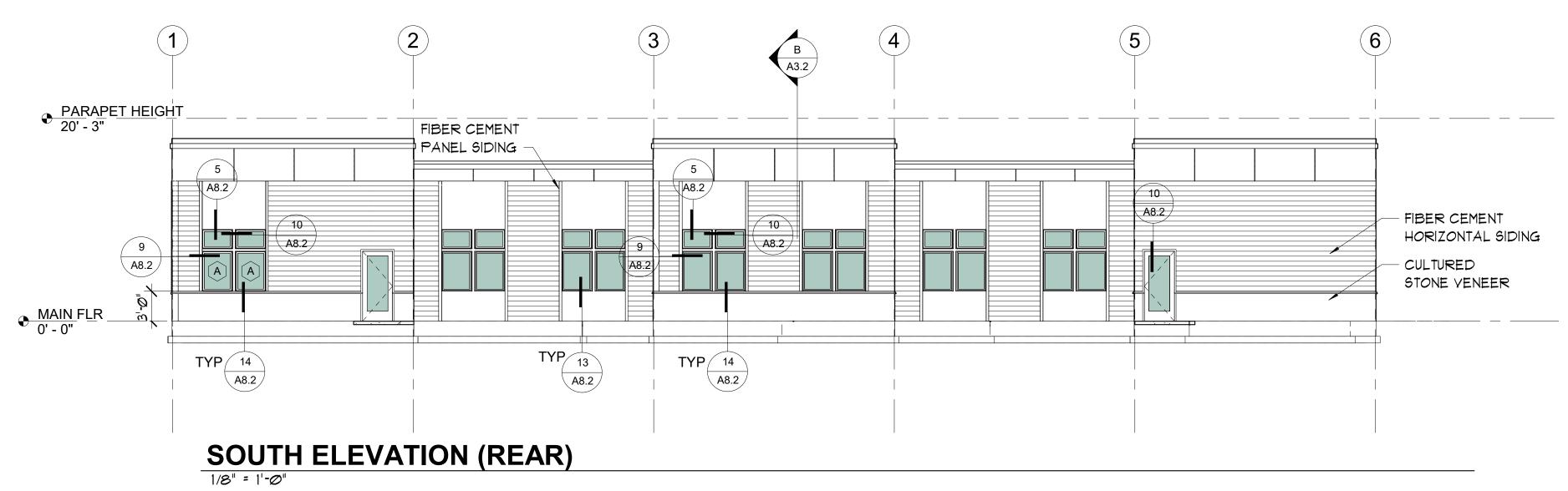


EAST ELEVATION (SIDE) 1/8" = 1'-0"

WEST ELEVATION (SIDE)



NORTH ELEVATION - MAIN ENTRY



KEYNOTE SYMBOL

ELEVATION KEYNOTES

REVISIONS

ELEVATION GENERAL NOTES

SEE ROOF PLANS FOR DOWNSPOUT LOCATIONS. SEE ROOF PLAN FOR ROOF SLOPE INFORMATION

MATERIALS LEGEND

4" FIBER CEMENT LAP SIDING	COLOR TBD.
CULTURED STONE	COLOR TBD.
FIBER CEMENT REVEAL PANEL SYSTEM	COLOR TBD.



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NEW BUILDING FOR:

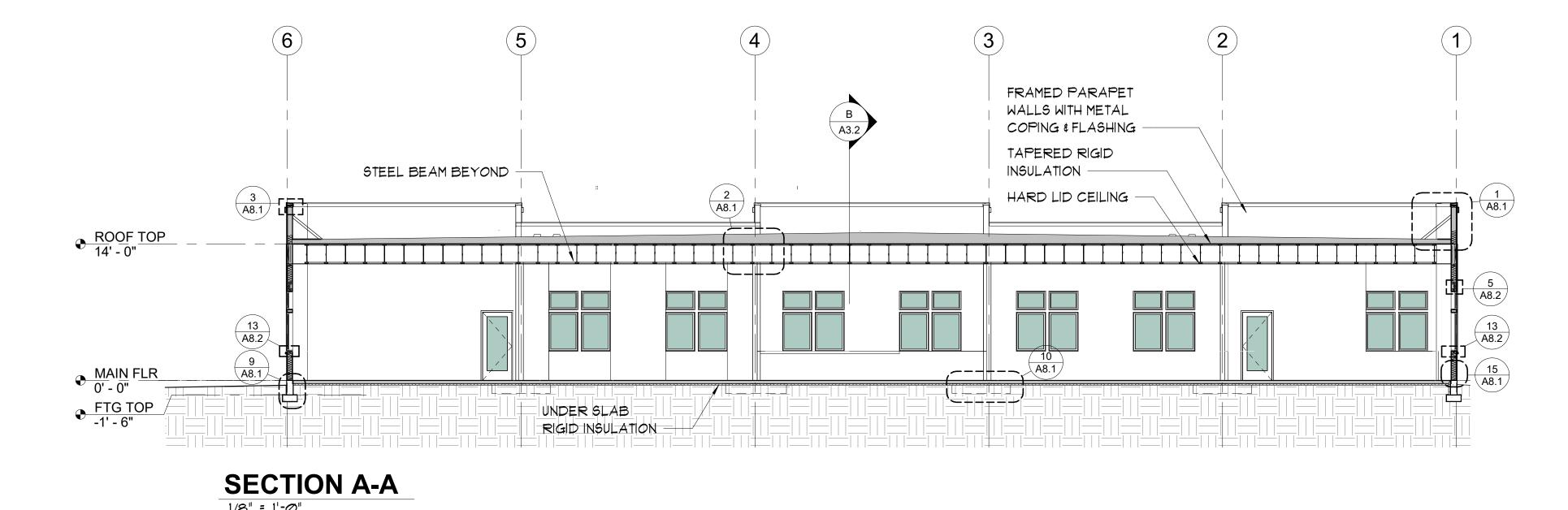
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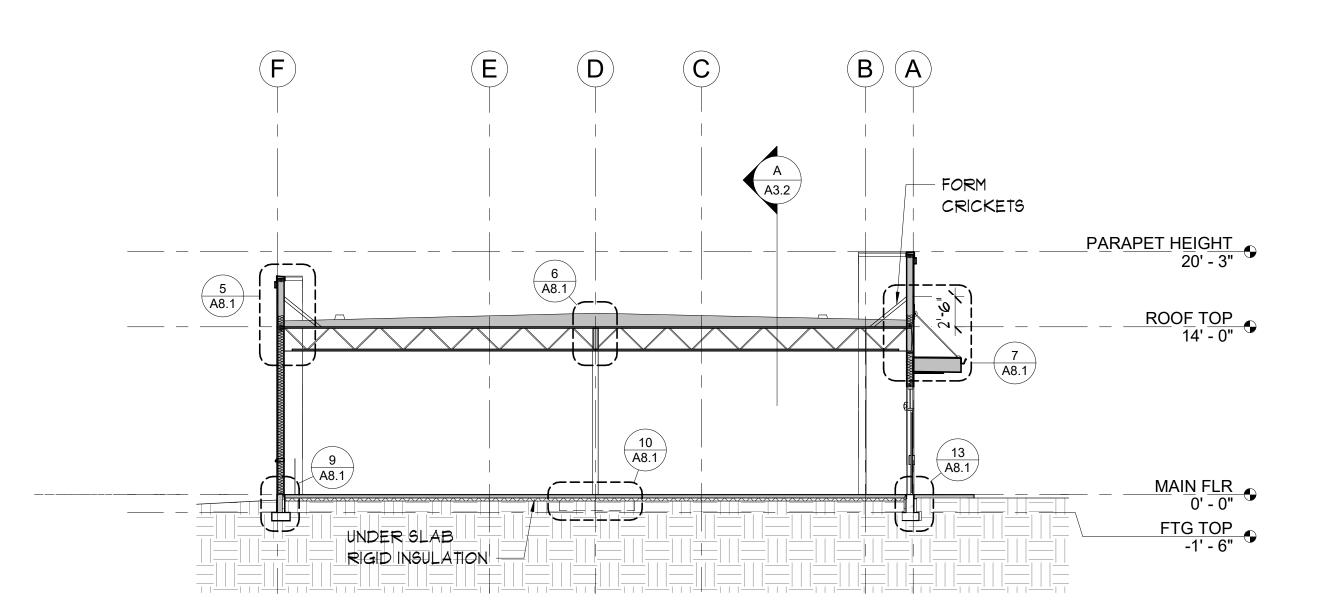


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SECTION B-B

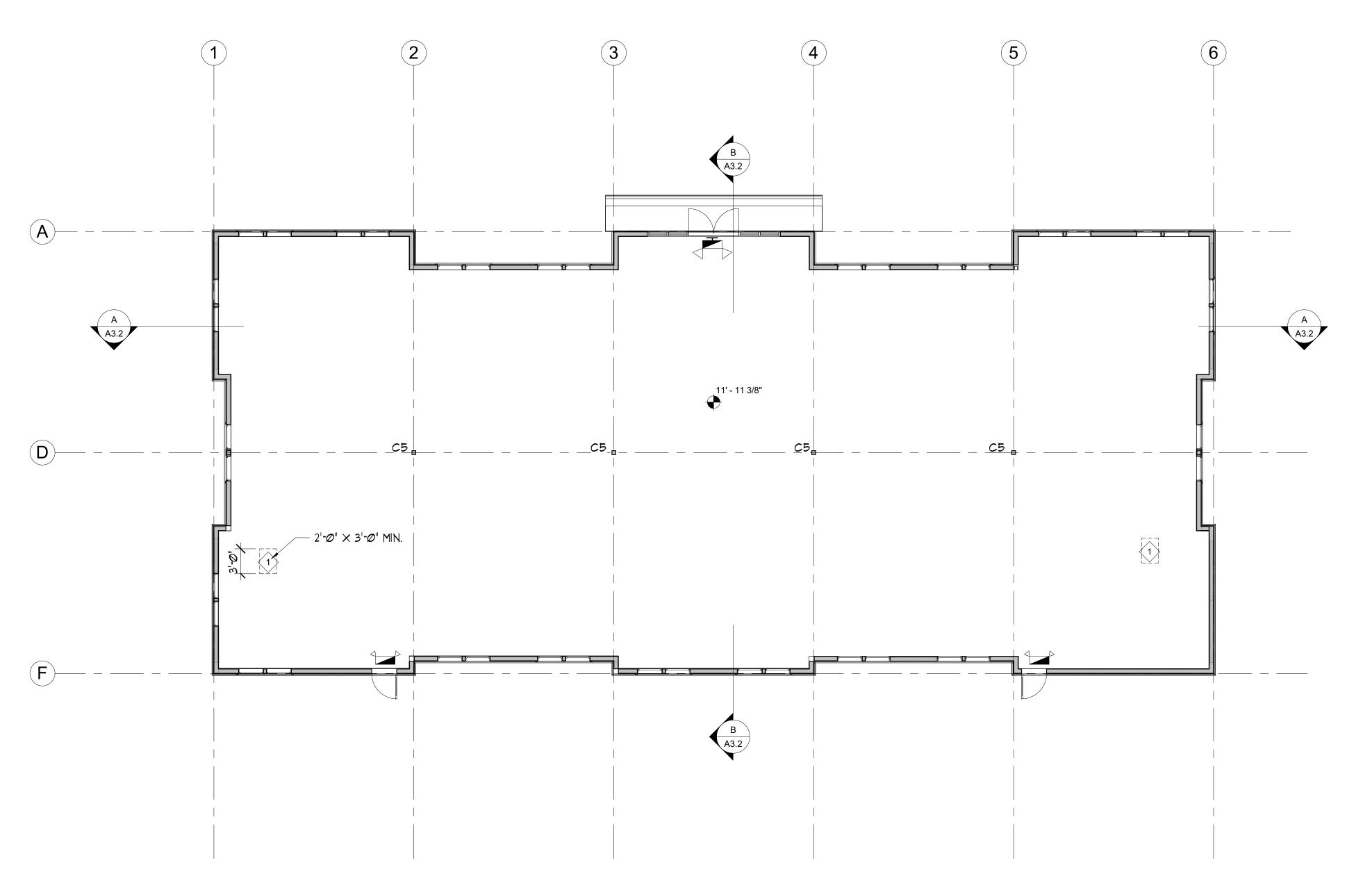
140 Nelson Denny Bd Blda 5 - Flat Boof - Central of

KEYNOTE SYMBOL

REFLECTED CEILING PLAN KEYNOTES

CONCEALED SPACE ACCESS HATCH, COORDINATE WITH TRUSS LAYOUT.

REVISIONS



CEILING LEGEND





CEILING TYPES

C5: 5/8" TYPE X GWB WITH VAPOR BARRIER



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G 5 CORE AND SHELL

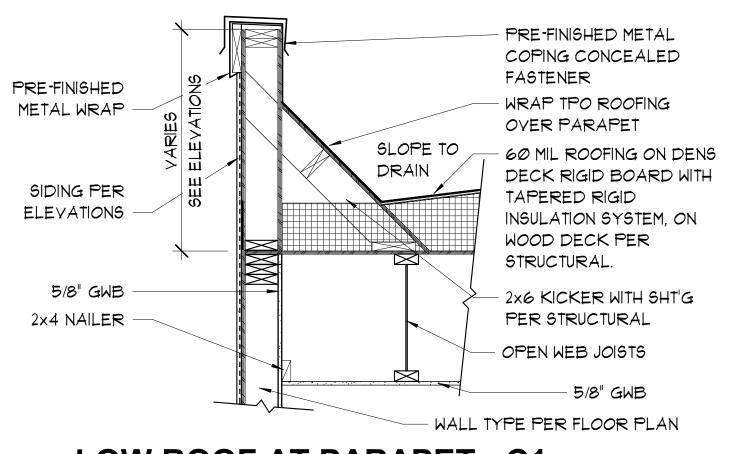
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File:	24449
Sheet	3.3

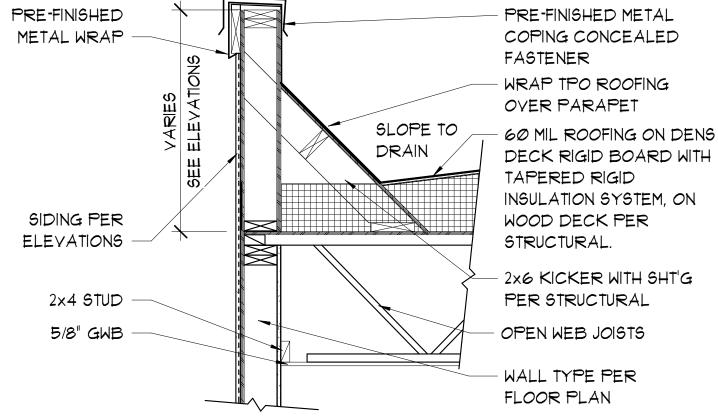
REFLECTED CEILING PLAN

1/8" = 1'-Ø"@ FULL SIZE

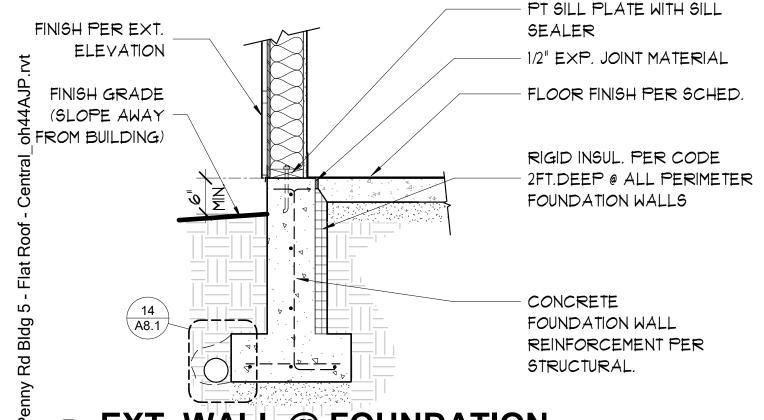




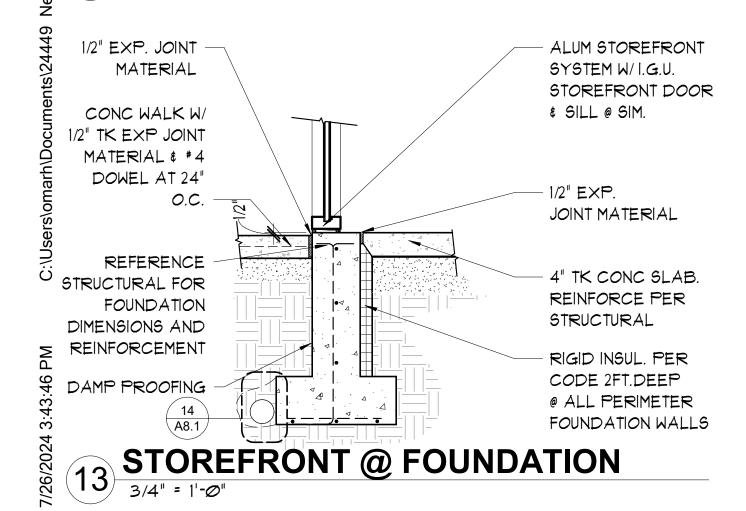
1 LOW ROOF AT PARAPET - C1

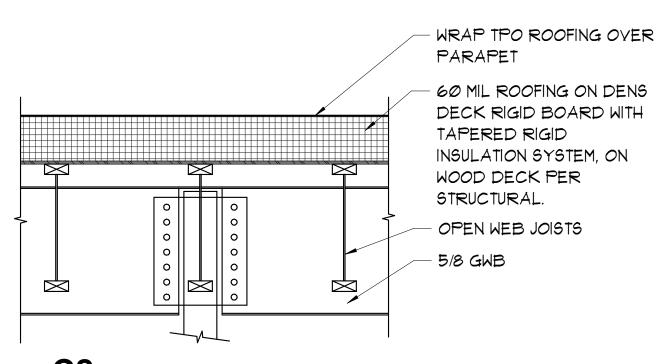


LOW ROOF AT PARAPET

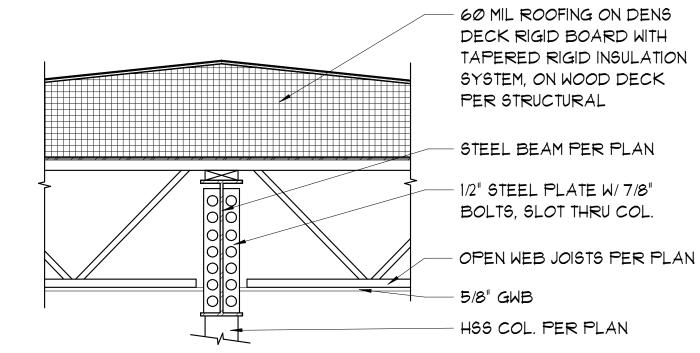


EXT. WALL @ FOUNDATION

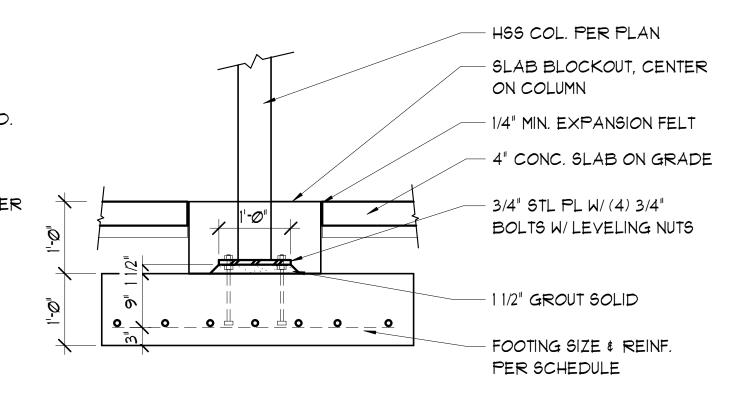




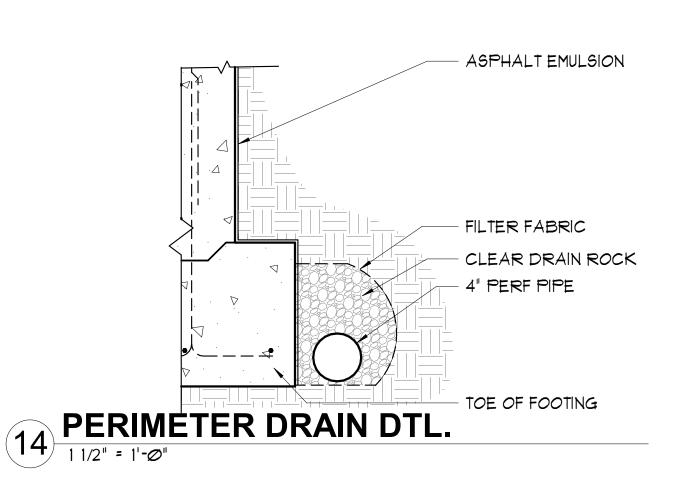
C2

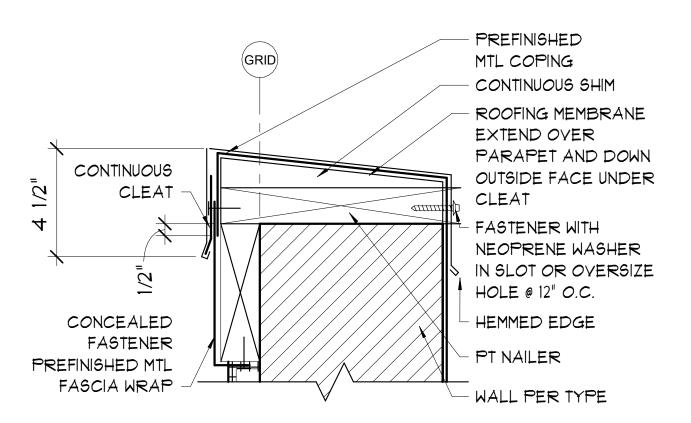


LOW ROOF AT PARAPET - C2



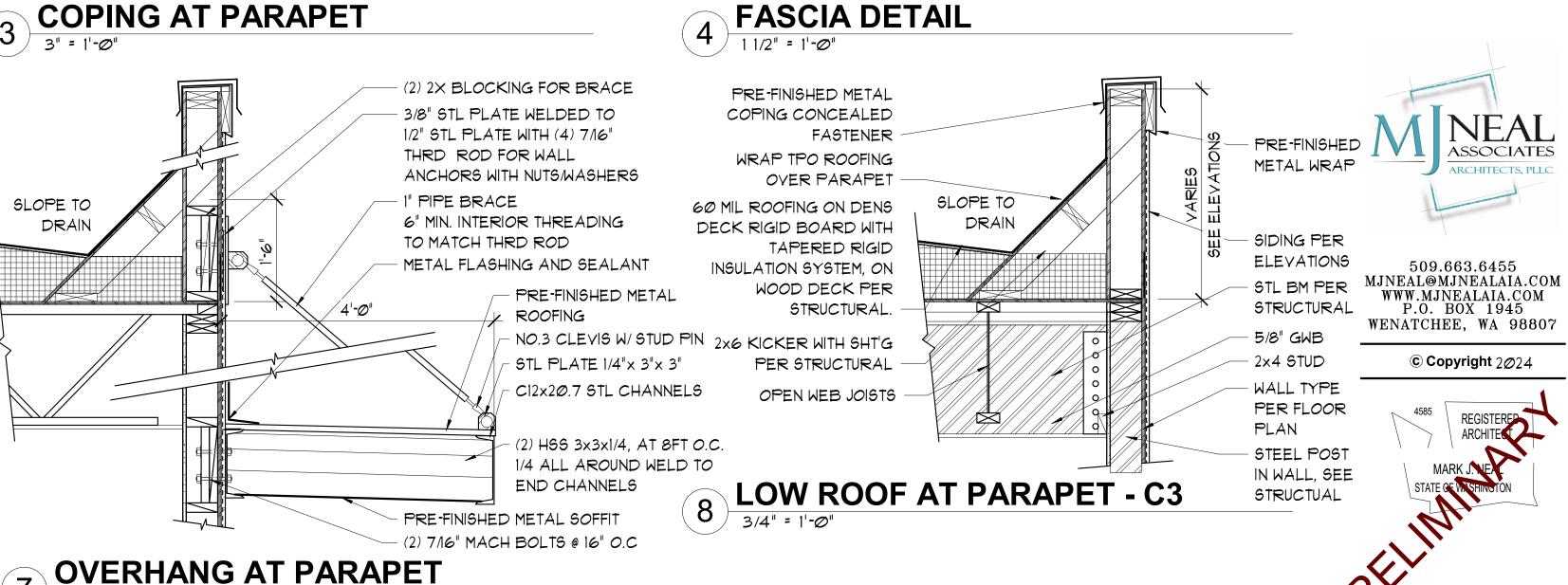
FOOTINGS @ COLUMNS





3 COPING AT PARAPET

3/4" = 1'-0"



N RE, W DIN ROAD,

REVISIONS

NEAL associates

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REGISTERED ARCHITECT

EXTENDICE & WATER

SHIELD ONTO FASCIA

SUB FACIA PER STRUCT

5/4 x8 ENG. WD. FASCIA

2X12 FASCIA BOARD

SOFFIT PANEL

CONT EAVE VENT

AND LAP O/CLEAT

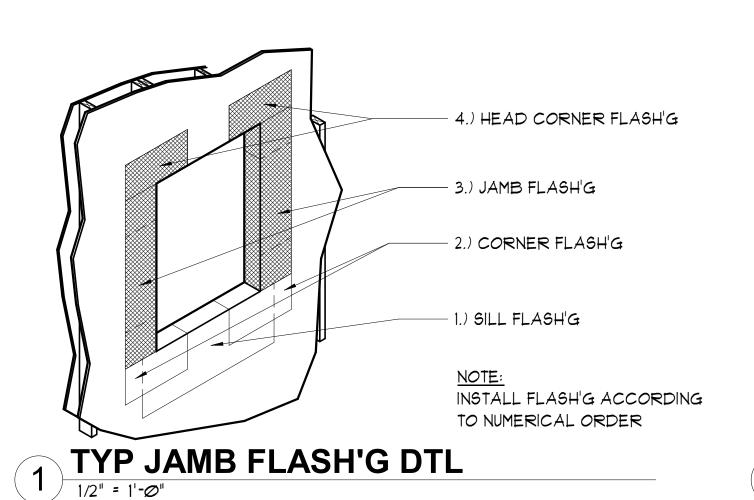
2x6 BOARD

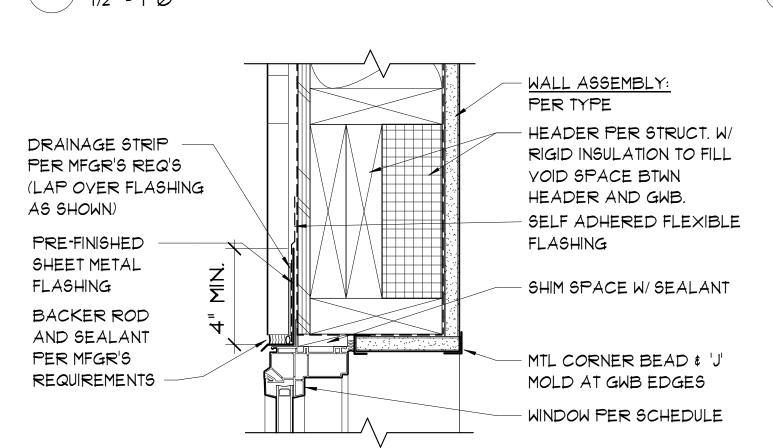
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STONE VENEER ASSEMBLY @ FND

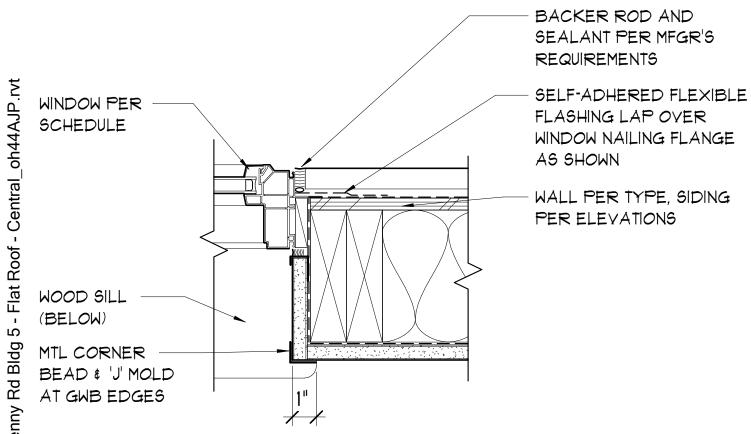
FOR: WALL ASSEMBLY 1 ADHERED CULTURED STONE YENEER MORTAR SCRATH COAT & SETTING BED, PER MFGR 2 LAYERS WRB 6" FLASHING

MAIN FLOOR WEEP SCREED

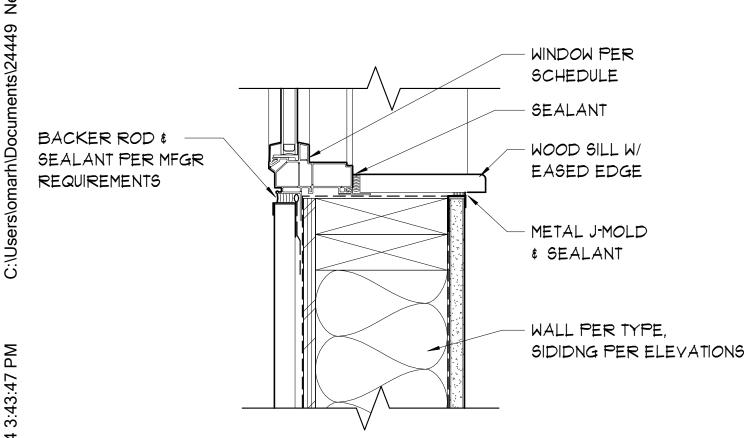




WINDOW HEAD AT SIDING

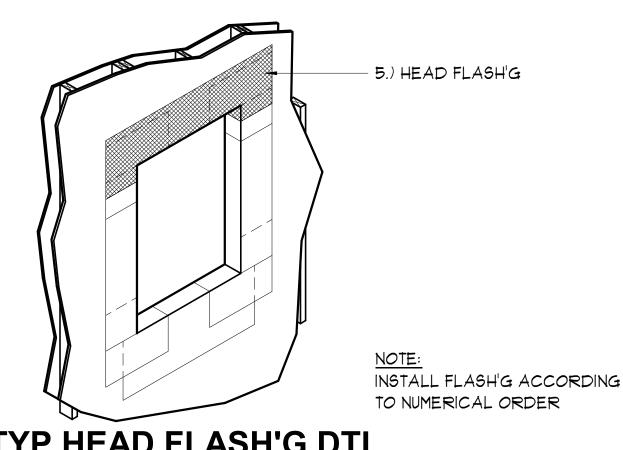




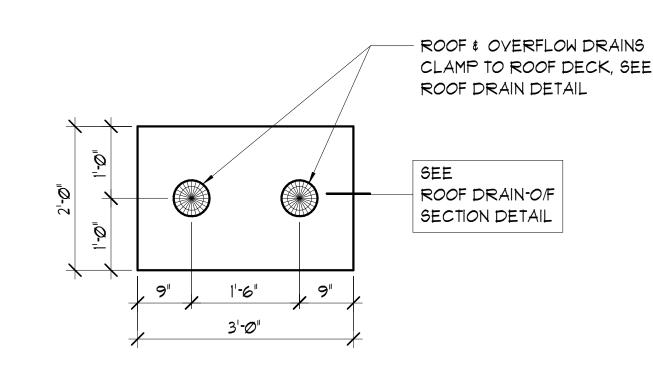


VINYL WINDOW SILL AT SIDING

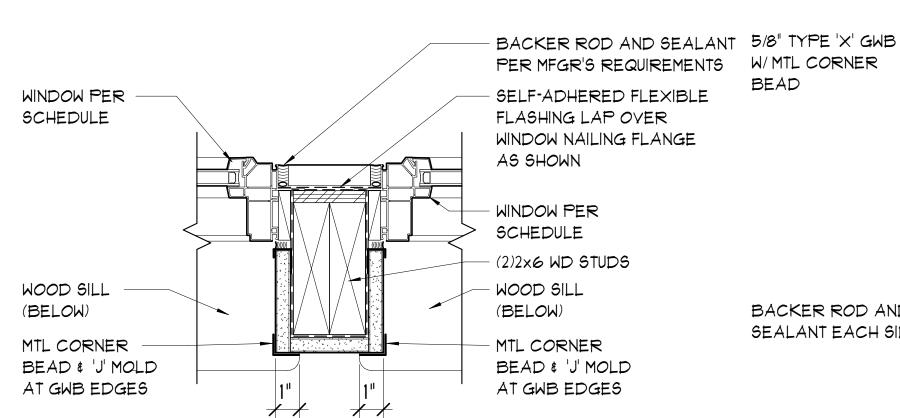
3" = 1'-@"

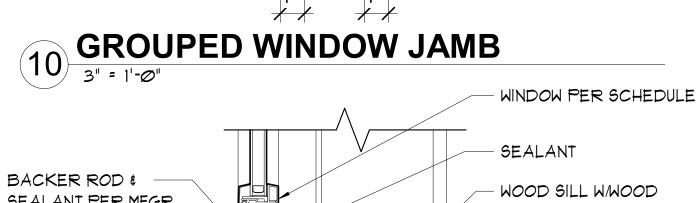


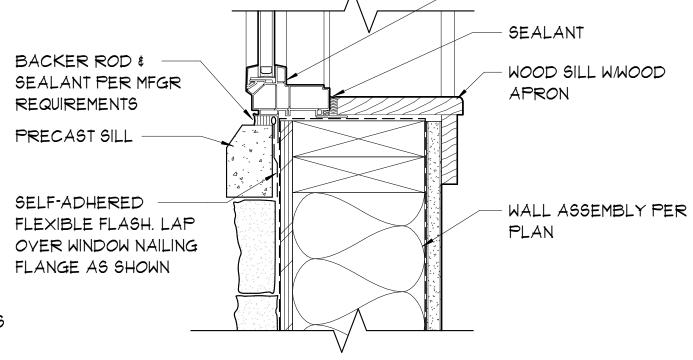
2 TYP HEAD FLASH'G DTL



ROOF DRAIN / OVERFLOW PLAN 3/4" = 1'-@"

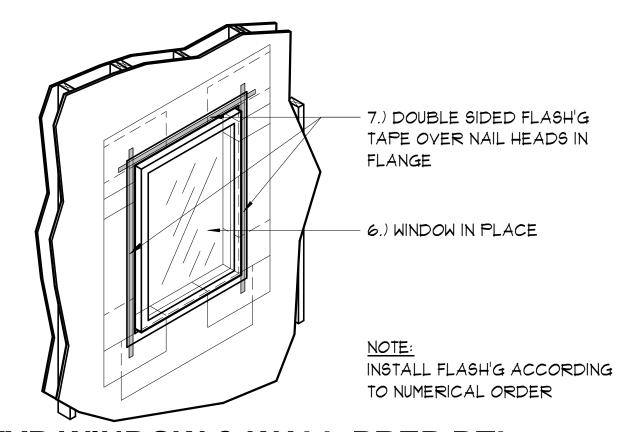




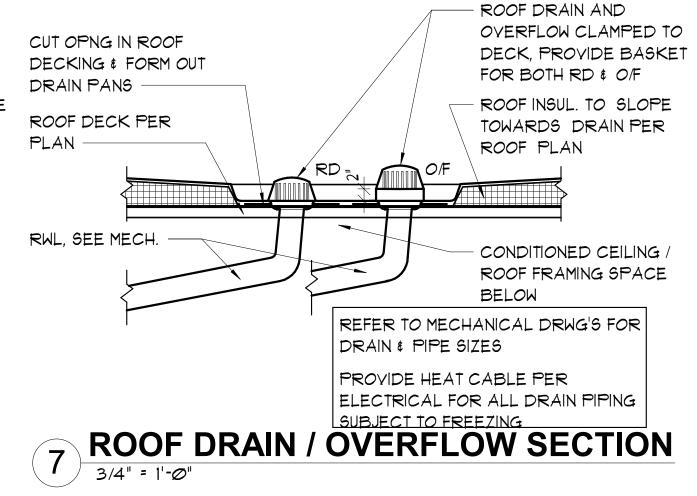


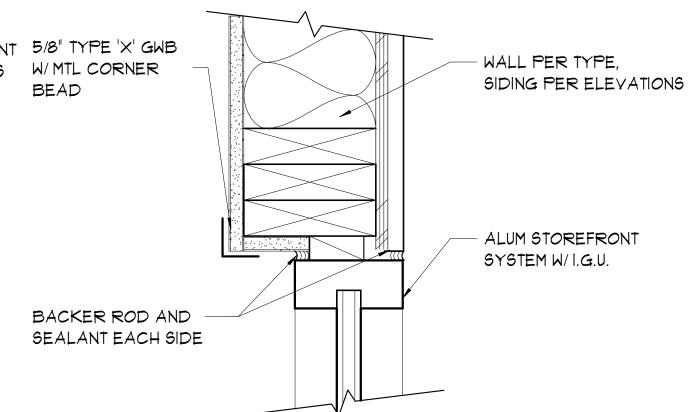
VINYL WINDOW SILL AT STONE

3" = 1'-0"

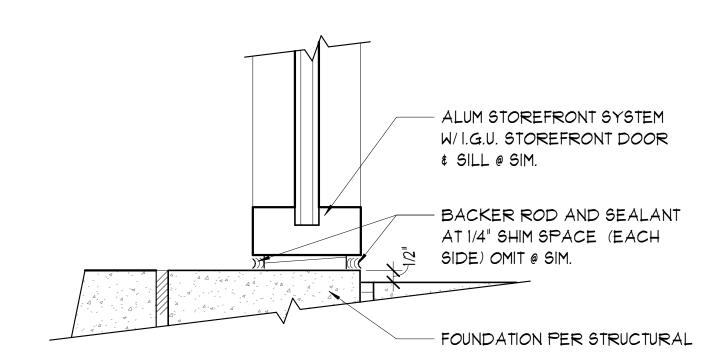


TYP WINDOW & WALL PREP DTL



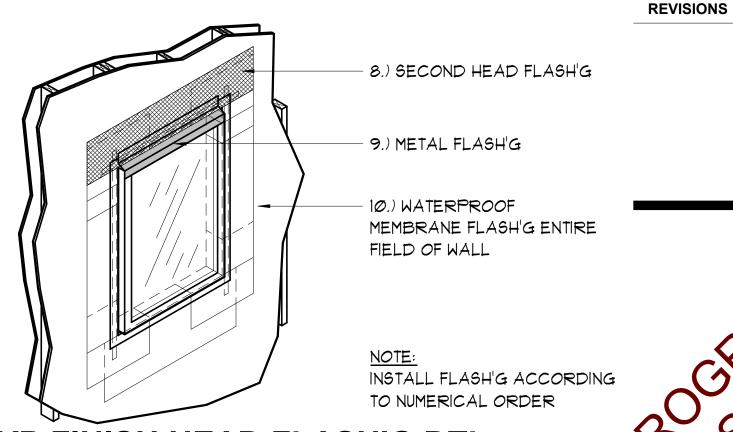


STOREFRONT JAMB

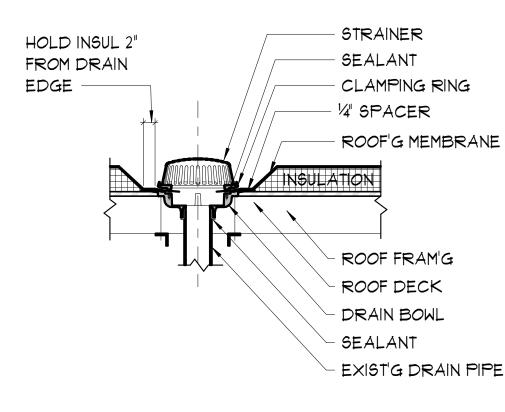


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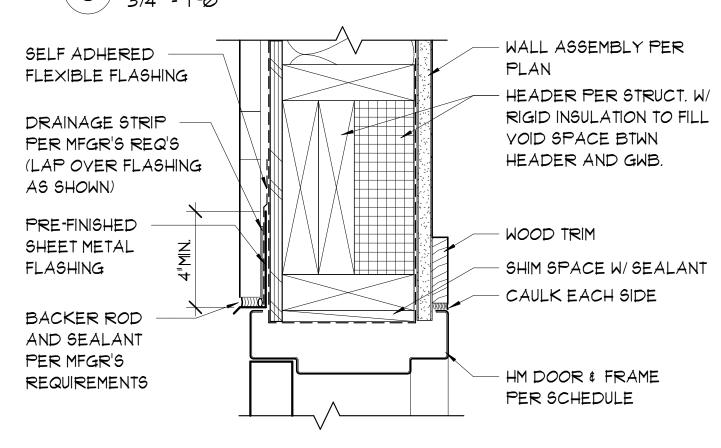
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TYP FINISH HEAD FLASH'G DTL







TYP. EXT. HM DOOR HEAD (JAMB SIM)



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WENATCHEE, WA 98807

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STRUCTURAL LOADS

REFERENCED CODES AND STANDARDS:

2021 International Building Code

LOCAL DESIGN CONDITIONS:

SNOW (GROUND)

SNOW (ROOF)

WIND (VELOCITY)

WIND (EXPOSURE CLASS)

SEISMIC CATEGORY

SOIL BEARING CAPACITY

FROST DEPTH

25 PSF

25 PSF

EXPOSURE C

EXPOSURE C

(Assumed) 1,500 PSF

ROOF DESIGN LOADS

 LIVE LOAD
 40 PSF

 SNOW LOAD
 25 PSF

 DEAD LOAD
 20 PSF

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GENERAL STRUCTURAL NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE EDITION DESIGNATED IN THESE DOCUMENTS. ALL SITE WORK SHALL CONFORM TO THE STATE OF WASHINGTON DEPARTMENT OF TRANSPORTATION LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGES, AND MUNICIPAL CONSTRUCTION
- 2. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. THE MORE STRINGENT TO GOVERN DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND CODES. THESE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE RESPONSIBLE DESIGN PROFESSIONAL PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
- 3. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK. ALL CONSTRUCTION DOCUMENTS SHOWING EXISTING CONSTRUCTION ARE INTENDED AS GUIDELINES ONLY; ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED AND/OR DETERMINED IN THE FIELD.
- 4. THE CONSTRUCTION DOCUMENTS MAY NOT SHOW SOME OBSTRUCTIONS. CONTRACTORS ARE TO CAREFULLY INSPECT THE EXISTING FACILITIES BEFORE PREPARING THEIR PROPOSAL AND BEFORE PROCEEDING WITH THE WORK. EVEN THOUGH NOT SHOWN OR SPECIFICALLY MENTIONED, THE REMOVAL AND REPLACEMENT OF MINOR OBSTRUCTIONS SHOULD BE ANTICIPATED AND ACCOMPLISHED.
- 5. CONSTRUCTION DOCUMENTS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING. THE DIMENSIONAL DEVIATION FROM THAT SHOWN ON CONSTRUCTION DOCUMENTS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ATTENTION OF THE RESPONSIBLE DESIGN PROFESSIONAL PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
- 6. CONSTRUCTION DOCUMENTS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION AND ARE NOT INTENDED TO SHOW EVERY DETAIL OR CONDITION OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY AS INDICATED BUT ARE SIMILAR CHARACTER TO THE DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL. THE RESPONSIBLE DESIGN PROFESSIONAL ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ERRORS OR CONFLICTS WHICH MAY OCCUR BECAUSE OF THEIR EXCLUSION FROM PARTICIPATION IN THE ACTUAL CONSTRUCTION PHASE OF THE PROJECT.
- 7. THE CONSTRUCTION SITE MAY HAVE LIMITED ACCESS. THE CONTRACTOR SHOULD INSPECT THE SITE AND MAKE THEIR OWN DETERMINATION IN REGARDS TO ACCESS.
- 8. CONTRACTOR SHALL COORDINATE WORK WITH THE OWNER TO MINIMIZE INTERFERENCE WITH THE OWNER'S NORMAL OPERATIONS. ACCESS TO THE EXISTING FACILITIES WILL BE REQUIRED AT ALL TIMES.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE REQUIRED SAFETY PRECAUTIONS AND THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PEFORM THE WORK.
- 10. CONTRACTOR SHALL PRESERVE AND PROTECT EXISTING UTILITIES WHICH MAY BE PRESENT AND ARE NOT SCHEDULED OR REQUIRED TO BE CHANGED.
- 11. THE CONTRACTOR SHALL EMPLOY SAFE EXCAVATION PRACTICES IN ACCORDANCE WITH STATE SAFETY REQUIREMENTS AND OSHA SAFETY AND HEALTH STANDARDS FOR CONSTRUCTION (29CFR1926).
- 12. CONTRACTOR SHALL TEMPORARILY SUPPORT / SHORE, OR DISCONNECT AND MOVE, ALL EQUIPMENT AND MATERIALS TO REMAIN THAT CONFLICT WITH NEW CONSTRUCTION OR ARE CURRENTLY SUPPORTED ON OR NEAR EXISTING STRUCTURES SCHEDULED FOR REPLACEMENT. CONTRACTOR SHALL RECONNECT / RE-SUPPORT EXISTING EQUIPMENT IN SIMILAR FORM TO EXISTING AS A PART OF THE FINAL CONSTRUCTION PROCESS.
- 13. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND / OR SHORING OF ALL OTHER EXISTING STRUCTURES AND COMPONENTS AFFECTED BY THE CONSTRUCTION PROCESS UNTIAL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- 14. THE RESPONSIBLE DESIGN PROFESSIONAL SHALL BE INFORMED IMMEDIATELY OF ANY DISCREPANCY BETWEEN CONSTRUCITON DOCUMENTS AND SITE CONDITIONS THAT CAUSE SPECIFIED DESIGN OR MATERIALS TO BE MODIFIED OR REVISED.
- 15. ALL MATERIAL FROM DEMOLITION PROCESS IS TO BE REMOVED FROM THE SITE AND DISPOSED OF UNLESS SPECIFIED OTHERWISE BY THE OWNER.
- 16. FINISHED SURFACES AT SAWCUTS SHALL BE STRAIGHT, TRUE, AND PLUMB.
- 17. ELEVATIONS ARE USED FOR REFERENCE PURPOSES. CONTRACTOR SHALL ESTABLISH THEIR OWN CONSTRUCTION SURVEY TO DETERMINE FINAL ELEVATIONS BOTH NEW AND EXISTING. ALL FINISH GRADES TO PROVIDE CONSTANT SLOPE AND SMOOTH TRANSITION BETWEEN DIFFERING ELEVATIONS BOTH NEW AND EXISTING.
- 18. PLANS, SECTIONS, DETAILS, AND OTHER INFORMATION SHOWING NEW CONSTRUCTION IN COMBINATION WITH EXISTING CONDITIONS HAVE BEEN PREPARED UTILIZING ASSUMED EXISTING CONDITIONS. IT SHOULD BE UNDERSTOOD THAT SOME MODIFICATION OF THE DETAILS SHOWN MAY BE NECESSARY IN ORDER TO PROPERLY ACHIEVE A FINISHED PRODUCT. PROPOSED MODIFICATIONS SHALL BE REVIEWED BY CONSULTANT AND OWNER PRIOR TO FINAL INSTALLATION.
- 19. THE INFORMAITON PROVIDED ON THESE CONSTRUCTION DOCUMENTS IS SPECIFIC TO THE LIMITED SCOPE OF STRUCTURAL ENGINEERING SERVICES REQUESTED. THESE PLANS AND SPECIFICATIONS PERTAIN ONLY TO THOSE ITEMS DESIGNED BY RESPONSIBLE DESIGN PROFESSIONALS CREDITED IN THESE PLANS, AND NOTED ON THE PLANS AND DETAILS AS NEW. DESIGN, LAYOUT, AND SPECIFICATION OF ALL OTHER MATERIALS, COMPONENTS, AND DETAILS ARE BY OTHERS AND ARE NOT THE RESPONSIBILITY OF THESE DESIGN PROFESSIONALS.
- 20. REBAR CAGES SHOWN ARE OUTSIDE CLEAR DIMENSIONS. ANCHOR BOLTS SHOWN SHALL BE CONFINED WITHIN CAGE.
- 21. REFINFORCING SHALL BE WITHIN $\frac{1}{2}$ " TOLERANCE OF CLEAR DISANCE SHOWN ON CONSTRUCTION DOCUMENTS. WET-SETTING OF REINFORCING STEEL AND ANCHOR BOLTS IS NOT ACCEPTABLE.
- 22. IF DUE TO THE ENGINEER OR OTHER DESIGN PROFESSIONAL'S ERROR, ANY REQUIRED ITEM OR COMPONENT IS OMITTED FROM THE CONSTRUCTION DOCUMENTS, THE ENGINEER / DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR PAYING THE COSTS TO ADD SUCH ITEM OR COMPONENT TO THE EXTENT THAT SUCH ITEM OR COMPONENT WOULD HAVE BEEN OTHERWISE NECESSARY TO THE PROJECT OR OTHERWISE ADDS VALUE OR BETTERMENT TO THE PROJECT. IN NO EVENT WILL THESE DESIGN PROFESSIONALS BE RESPONSIBLE FOR ANY COST OR EXPENSE THAT PROVIDES BETTERMENT, UPGRADE, OR ENHANCEMENT OF THE PROJECT.
- 23. SHOP DRAWINGS OR OTHER SUBMITTALS REVIEWED BY THE RESPONSIBLE DESIGN PROFESSIONAL
- DO NOT BECOME CONTRACT DOCUMENTS AND DO NOT CONSTITUTE CHANGE ORDERS.

 24. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AND RISK FOR MISFITS DUE TO ANY ERROR IN CONTRACTOR SUBMITTAL DRAWINGS REGARDLESS OF DESIGN PROFESSIONAL'S SUBMITTAL REVIEW. ANY FABRICATION OR OTHER WORK PERFORMED IN ADVANCE OF THE RECEIPT OF SUBMITTAL REVIEW COMMENTS SHALL BE ENTIRELY AT CONTRACTOR'S RISK.
- 25. THIS DESIGN IS SITE SPECIFIC FOR ONE-TIME USE AND MAY NOT BE REPRODUCED OR RE-USED.
- 26. SEE STRUCTURAL NOTES AND PLAN NOTES FOR ADDITIONAL INFORMATION.

REVISIONS



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MARK J. NEAL STATE OF WASHINGTON

CORE AND SHEL

BUILDING 5 CORPENNY ROAD, WENATCHEE

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 2024-07-26

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FOUNDATIONS

REFER TO SOIL BEARING CAPACITY NOTE ABOVE FOR DESIGN LOADS. AN ENGINEERED SOIL / GEOTECHNICAL REPORT IS RECOMMENDED TO VERIFY ACTUAL SOIL BEARING PRESSURE AND OTHER SOIL DESIGN CRITERIA. IF OWNER CHOOSES TO FOREGO A SOIL REPORT, THEY ASSUME THE RISKS ASSOCIATED WITH FOUNDATION DESIGN UTILIZING ASSUMED VALUES.

EXTERIOR FOOTINGS SHALL BEAR AT OR BELOW FROST DEPTH, MEASURED FROM THE NEAREST EXTERIOR FINISH GRADE (U.N.O.). ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH OR ENGINEERED FILL BELOW ORGANIC SURFACE SOILS. ALL BACKFILL SHALL BE THOROUGHLY COMPACTED. DO NOT BACKFILL RETAINING , BASEMENT WALLS FOR AT LEAST 21 DAYS OR UNTIL CONCRETE REACHES DESIGN STRENGTH PER CYLINDER TESTS.

MIXING, PLACING, AND DESIGN OF ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, ACI 318, AND ACI 301. CONCRETE SECURELY GROUTED SHALL BE REPLACED WITH PROPERLY GROUTED BARS. SHALL BE MADE WITH PORTLAND CEMENT ASTM C150 TYPE I OR TYPE II, COARSE AND FINE AGGREGATE ASTM C33, WATER CLEAN AND POTABLE, POZZOLITH OR POZZOLITH POLYHEED ADMIXTURE ASTM C494, COARSE AGGREGATE FOR 6" SLABS SHALL BE 3/4" MINUS. COARSE AGGREGATE FOR 4" SLABS SHALL BE 3/4" MINUS.

THE AMBIENT TEMPERATURE MUST BE 40 DEGREES FAHRENHEIT AND RISING TO PLACE ANY CONCRETE UNLESS IT IS INSULATED OR HEATED TO MAINTAIN AT LEAST 50 DEGREES FAHRENHEIT FOR SEVEN DAYS. CONCRETE CONTAINING "POZZUTEC 20" AT 60 TO 90 OUNCES PER 100 LBS OF CEMENT MAY BE PLACED IN AMBIENT TEMPERATURES AS LOW AS 20 DEGREES FAHRENHEIT UNTIL INITIAL SET HAS BEEN REACHED. AMBIENT TEMPERATURES MAY FALL BELOW 20 DEGREES FAHRENHEIT UNTIL INITIAL SET HAS BEE REACHED. AMBIETN TEMPERATURES MAY FALL BELOW 20 DEGREES FAHRENHEIT AFTER INITIAL SET HAS BEEN REACHED AND THE HARDENED CONCRETE HAS BEEN SEALED TO PREVEN THE INGRESS OF ADDITIONAL WATER.

RECOMMENDED CURING OF CONCRETE SLABS SHALL CONSIST OF WET CURING WITH BURLAP AND VISQUEEN (OR EQUIVALENT) FOR A PERIOD OF NOT LESS THAN SEVEN DAYS. SHOP DRAWINGS SHALL BE SUBMITTED (IF REQUESTED) FOR ALL STRUCTURAL STEEL FOR MAKE ALL BEARINGS FULL, UNLESS OTHERWISE INDICATED ON THE SLAB SHALL NOT BE ALLOWED TO DRY DURING THIS PERIOD. IF THE CONTRACTOR CHOOSES AN ALTERNATE METHOD OF CURING, THEY ASSUME THE RISK ASSOCIATED WITH THE ALTERNATE METHOD.

MATERIALS

NOTE: THESE SUGGESTED RATIOS ARE PRESENTED AS A GUIDELINE FOR BATCH PLANT OPERATOR TO DETERMINE FINAL MIX DESIGN. ALTERNATE MIXES MAY BE UTILIZED WHEN PAST PERFORMANCE OF SAID MIX HAS PROVEN TO MEET REQUIRED STRENGTH AND SERVICEABILITY REQUIREMENTS.

- MAXIMUM SLUMP SHALL BE SLUMP CORRESPONDING TO MAXIMUM WATER/CEMENT RATIO OF Ø.40 OR AS INDICATED ABOYE, WHICHEVER IS LESS. CONTRACTOR MAY ADD JOB SITE WATER TO THE CONCRETE MIX ONLY IF BATCH TICKET PROVIDES QUANTITY OF WATER (IN GALLONS ALLOWED) SO AS TO NOT EXCEED SPECIFIED CONCRETE WATER/CEMENT RATIO. AT CONTRACTOR'S OPTION, CONTRACTOR MAY USE MASTER BUILDERS INC. ADMIXTURE SYSTEMS TO PRODUCE FLOWABLE CONCRETE. MAXIMUM SLUMP WITH ADMIXTURES SHALL NOT EXCEED EIGHT INCHES THE WATER/CEMENT RATIO OF THE APPROVED MIXES SHALL BE MAINTAINED OR LOWERED WHEN FLOWABLE CONCRETE IS USED. A MASTER BUILDERS CONCRETE TECHNICIAN SHALL ASSIST IN DETERMINING MIX PROPORTIONS FOR FLOWABLE CONCRETE.
- ADD TO ALL CONCRETE FLATWORK EXPOSED TO ANY FREEZE/THAW CYCLES MASTER BUILDERS "MASTERAIR AE 90" AIR ENTRAINING AGENT TO ATTAIN 7% ENTRAINED AIR, BY VOLUME, CONFORMING TO ASTM C260. AIR CONTENT SHALL BE CROSS CHECKED BY A UNIT WEIGHT OF THE SAME CONCRETE SAMPLE. ADJUST AIR AS REQUIRED TO CONFORM WITH ACI 318 TABLE 19.3.3-1 FOR MAXIMUM AGGREGATE
- SACKS OF CEMENT / CUBIC YARD ARE LISTED AS MINIMUM. ADDITIONAL CEMENT OR CONFORM TO MANUFACTURER'S SPECIFICATIONS. ADMIXTURES SHALL BE USED TO ATTAIN MAXIMUM WATER/CEMENT RATIO WHERE REQUIRED.
- FOR BASE PLATE OR EQUIPMENT GROUT USE MASTER BUILDERS "MASTERFLOW 928" OR EQUIVALENT. GROUTING MAY BE PERFORMED WITH AMBIENT TEMPERATURES BETWEEN 40 DEGREES FAHRENHEIT AND 100 DEGREES FAHRENHEIT.

REINFORCING STEEL

REINFORCING STEEL SHALL BE OF NEW BILLET STOCK ASTM A615-90, GRADE 60. FY: 60,000 PSI EXCEPT *3 BARS SHALL BE GRADE 40. WELDABLE REINFORCING STEEL SHALL BE ASTM A706, GRADE 60-W. REINFORCING STEEL SHALL BE SECURELY TIED IN PLACE WITH #16 DOUBLE ANNEALED IRON WIRE. REINFORCING STEEL SHALL BE SUPPORTED ON WELL CURED CONCRETE BLOCKS OR CHAIRS. IN BEAMS AND STRUCTURAL SLABS, REINFORCING SHALL BE SUPPORTED ON CHAIRS. ALTERNATE HOOK DRAWINGS AND DETAILS PREPARED BY THE ENGINEER SHALL NOT BE REPRODUCED DIRECTION AT ALL TIES AND STIRRUPS. REINFORCING STEEL SHALL BE DETAILED BY AN EXPERIENCED DETAILER IN ACCORDANCE WITH ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE." EXCEPT AS SHOWN. SHOP

DRAWINGS, INCLUDING PLACING PLANS, SHALL BE SUBMITTED (IF REQUESTED) FOR REVIEW PRIOR TO FABRICATION. ALL LAP SPLICES SHALL BE "CLASS B" SPLICES WITH A MINIMUM LAP LENGTH OF 45 BAR DIAMETERS FOR #6 AND SMALLER BARS. AND 58 BAR DIAMETERS FOR #7 AND #8 BARS. SPLICES AT BEAMS, COLUMNS, STRUCTURAL SLABS, AND WALLS SHALL NOT BE PERMITTED EXCEPT AS SHOWN ON THE CONSTRUCTION DOCUMENTS.

STRUCTURAL TESTS AND INSPECTIONS SHALL BE PERFORMED AS REQUIRED BY CHAPTER REINFORCING SHALL BE WITHIN 1/2" TOLERANCE OF CLEAR DISTANCE SHOWN ON

CONCRETE COVER FOR REINFORCING PLACEMENT SHALL BE:

1-1/2" FOR THE OUTSIDE FACE OF WALLS EXPOSED TO WEATHER

- 3" FOR CONCRETE POURED AGAINST EARTH
- 2" FOR FORMED CONCRETE WITH EARTH BACKFILL

EPOXY GROUTING

THE CONTRACTOR SHALL EPOXY GROUT BARS (REBAR, DOWELS, AND THREADED RODS) TO THE DEPTH IN EXISTING CONCRETE AS INDICATED IN THE PLANS. HOLE DIAMETER SHALL BE PER MANUFACTURER'S WRITTEN INSTRUCTIONS. EPOXY GROUT FOR EXISTING CONCRETE SHALL BE SIMPSON "SET-XP", HILTI "HIT-HY 200", OR APPROVED EQUAL. EPOXY GROUT FOR EXISTING CONCRETE MASONRY SHALL BE SIMPSON "SET-XP", HILTI "HIT-HY 270", OR APPROVED EQUAL. DUST AND DEBRIS FROM THE DRILLING OPERATION SHALL BE CLEANED AND BLOWN FREE FROM THE HOLE PRIOR TO THE PLACEMENT OF THE EPOXY. EPOXY GROUT SHALL BE MIXED AND PLACED AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS. BARS SHALL BE INSERTED INTO THE HOLE WITHIN THE MANUFACTURER'S RECOMMENDED TIME PERIOD. ANY BARS WHICH ARE NOT

STRUCTURAL STEEL

STRUCTURAL STEEL SHALL BE GRADE ASTM A36, FY = 36,000 PSI. WIDE FLANGE SHAPES SHALL BE GRADE ASTM A992, FY = 50,000 PSI. SQUARE AND RECTANGULAR HSS COLUMNS, BEAMS, AND STRUTS SHALL BE GRADE ASTM A500, GRADE C, FY = 50,000 PSI. HEADED STUD CONNECTORS SHALL BE ASTM A108 GRADE 1010 THROUGH 1020 COLD DRAWN LOW CARBON STEEL, HEADED, UNFINISHED WITH MINIMUM FY = 50,000 PSI AND TENSILE STRENGTH OF 55,000 PSI. DEFORMED BAR ANCHORS SHALL BE TYPE D2L AS MANUFACTURED BY "NELSON" OR APPROVED EQUAL AND SHALL CONFORM TO ASTM AIØ8. DESIGN, FABRICATION, AND ERECTION SHALL BE IN ACCORDANCE WITH THE AISC FOURTEENTH EDITION "STEEL CONSTRUCTION MANUAL" AND "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", LATEST EDITION. ALL STEEL EXCEPT STEEL EMBEDDED IN CONCRETE SHALL BE GIVEN ONE SHOP COAT OF APPROVED PRIMER PAINT. CONTRACTOR SHALL TOUCH UP PAINT IN ALL AREAS EITHER NOT SHOP PAINTED OR DAMAGED BY FIELD WELDING OR OTHERWISE DAMAGED. DURING ERECTION, STRUCTURAL STEEL SHALL BE SECURED FROM COLLAPSING WITH TEMPORARY BRACING. REVIEW PRIOR TO FABRICATION.

STEEL TO STEEL BOLTED CONNECTIONS ARE SHOWN TO BE BEARING-TYPE CONNECTIONS USING ASTM F3125 GRADE A325 BOLTS WITH THREADS INCLUDED IN THE SHEAR PLANE. ALL OTHER BOLTED CONNECTIONS SHALL BE A307. HOLE SIZE SHALL BE IN ACCORDANCE WITH AISC SPECIFICATION FOR BEARING CONNECTIONS AND BOLTS SHALL INSTALLED FLUSH AGAINST WOOD PLATES. ALL FRAMING SHALL BE DONE BY BE TIGHTENED TO SNUG-TIGHT CONDITION. ASTM F3125 (GRADES A325 AND A490) INSTALLATION SHALL BE INSPECTED WHILE THE WORK IS IN PROGRESS PER INTERNATIONAL BUILDING CODE CHAPTER 17. ASTM F3125 (GRADES A325 AND A490) BOLTS. NUTS. AND WASHERS AND THEIR INSTALLATION AND FASTENING REQUIREMENTS SHALL CONFORM TO RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS, LATEST EDITION. PROVIDE HARDENED WASHERS AT OVERSIZE AND SLOTTED HOLES AND WHERE SPECIFIED ON THE CONSTRUCTION DOCUMENTS. PROVIDE A GRADED WESTERN SPECIES, COMBINATION 24F-V4 DF/DF FOR SIMPLE BEAMS HARDENED BEYELED WASHER WHERE BOLT HEAD OR NUT BEARS ON A SLOPING SURFACE SUCH AS AT CHANNEL FLANGES. ERECTION BOLTS ARE NOT SHOWN AND SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AT LOCATIONS REQUIRED TO FACILITATE THE CONSTRUCTION PROCESS. ERECTION BOLTS AND ADDITIONAL STRUCTURAL STEEL SHALL ALSO BE SUPPLIED AND INSTALLED AT OTHER LOCATIONS AS CERTIFIED. USE WATERPROOF GLUE. REQURIED BY WISHA, OSHA, AND ALL OTHER GOVERNING AGENCIES.

ANCHOR BOLTS SHALL BE ASTM F1554 GR. 36 OR A307 (MIN.) HEADED TYPE AND SHALL HAVE A STANDARD BOLT HEAD. ALL EXPANSION ANCHORS AND EPOXY ANCHOR BOLTS SHALL BE OF MINIMUM A307 QUALITY. INSTALLATION AND HOLE SIZE SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS.

HEAVY DUTY SCREW ANCHORS SHALL BE SIMPSON "TITEN HD". ANCHORS SHALL BE ZINC PLATED OR MECHANICALLY GALVANIZED. INSTALLATION AND HOLE SIZE SHALL

SHOP DRAWINGS

STRUCTURAL STEEL DRAWINGS PREPARED AS FABRICATION DRAWINGS AND SUBMITTED FOR REVIEW BY THE EGINEER SHALL INCLUDE MATERIAL, FINISH, AND QUANITY FOR EACH MEMBER AND FOR ALL OTHER SUPPLIED ITEMS SUCH AS BOLTS, ETC. SHOP DRAWINGS SHALL INCLUDE ENOUGH VIEWS TO DEFINE PROFILES, SIZES, SPCING AND LOCATION OF ALL STRUCTURAL MEMBERS, ATTACHMENTS, HOLES, CUTS, WELDS, AND FASTENERS. WELDING SYMBOLOGY SHALL BE TO AWS STANDARDS AND INDICATE WELD LENGTH, SPACING, AND PRE OR POST WELD SURFACE PREPARATIONS. SHOP DRAWINGS SHALL BE ACCURATELY PREPARED BY SKILLED DRAFTSMEN TO BE COMPLETE IN EVERY RESPECT. SHOP DRAWING SUBMITTALS SHALL CONTAIN GENERAL ARRANGEMENT DRAWINGS WITH REFERENCES TO SPECIFIC DETAILED DRAWINGS. CONSTRUCTION AND SUBMITTED AS SHOP DRAWINGS SUBMITTALS.

SUBMITTED SHOP DRAWINGS WILL BE REVIEWED FOR THE CHARACTER AND SUFFICIENCY OF SPECIFIED MEMBERS AND DETAILS AND WILL NOT BE A CHECK OF THE DIMENSIONS.

TIMBER FRAMING

STRUCTURAL TIMBER AND LUMBER SHALL BE SURFACED KILN DRIED STRESS GRADE DOUGLAS FIR-LARCH AS FOLLOWS:

NO END SPLITS SHALL BE ALLOWED IN STRUCTURAL MEMBERS. SOLID BLOCKING OF NOT LESS THAN 2" NOMINAL THICKNESS SHALL BE PROVIDED AT ENDS AND AT ALL SUPPORT OF JOISTS AND RAFTERS. ALL NAILS SHALL BE COMMON UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DOCUMENTS AND NAILING SHALL BE AS PER 2304,10,1 OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE. ALL BOLT HEADS AND NUTS BEARING ON WOOD SHALL BE PROVIDED WITH A WASHER.

WOOD PERMANENTLY EXPOSED TO WEATHER SHALL BE TREATED WITH AN APPROYED PRESERVATIVE. WOOD BEARING OR INSTALLED WITHIN I" OF CONCRETE OR MASONRY SHALL BE TREATED WITH AN APPROVED PRESERVATIVE OR SHALL BE SEPARATED FROM THE CONCRETE OR MASONRY BY 30* (MIN.) BUILDING PAPER. IF PRESSURE TREATED WOOD IS USED, THEN THE CONTRACTOR SHALL ENSURE THAT ALL STEEL IN CONTACT WITH PRESSURE TREATED WOOD IS CORROSION PROTECTED. PRESSURE TREATED LUMBER SHALL MATCH THE SPECIES AND GRADE IN THE TABLE ABOVE. HEM-FIR BOTTOM PLATES WILL BE REJECTED. FASTENERS FOR PRESERVATIVE TREATED AND FIRE-RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. FASTENINGS FOR WOOD FOUNDATIONS SHALL BE AS REQUIRED IN AF& PA TECHNICAL REPORT NO. 7.

TYPICAL SILL BOLTS AT SHEAR WALLS SHALL BE 5/8" DIAMETER SPACED PER THE SHEAR WALL SCHEDULE AND EMBEDDED 7". PLATE WASHERS A MINIMUM OF 3" BY 3" BY Ø.229 THICK OR SIMPSON "BPS" BEARING PLATES SHALL BE USED ON EACH SILL BOLT AT SHEAR WALLS. ALL EXTERIOR WALLS SHALL BE AS SCHEDULED UNLESS NOTED OTHERWISE. ALL LAG SCREWS SHALL BE PLACED IN PRE-DRILLED HOLES. HOLE FOR UNTHREADED SHANK SHALL BE SAME DIAMETER AS SHANK WITH DEPTH EQUAL TO SHANK PENETRATION. LEAD HOLE FOR THREADED PORTION SHALL BE ONE HALF THE DIAMETER OF THE SHANK DIAMETER. USE WOOD ADHESIVE AS LUBRICANT.

BETWEEN SUPPORTS PROVIDE BLOCKING OR BRIDGING AT 8'-0" O.C. FOR FLOOR JOISTS, 10'-0" O.C. FOR ROOF JOISTS. CUTTING AND NOTCHING OF STRUCTURAL MEMBERS IS NOT ALLOWED. A MAXIMUM I" DIAMETER HOLE MAY BE DRILLED IN THE CENTER THIRD OF THE MEMBER DEPTH WITHIN THE CENTER THIRD OF THE MEMBER SPAN, ALL OTHER HOLES SHALL BE APPROVED BY THE ENGINEER. CONSTRUCITON DOCUMENTS. FINISH ALL BEARING SURFACES ON WHICH STRUCTURAL MEMBERS ARE TO REST SO AS TO GIVE SURE AND EVEN SUPPORT.

WHERE FRAMING MEMBERS SLOPE, CUT OR NOTCH THE ENDS AS REQUIRED TO GIVE UNIFORM BEARING SURFACE. POST BUNDLES, ENDS AND BASES SHALL BE QUALIFIED INDIVIDUALS IN ACCORDANCE WITH GOOD CONSTRUCTION STANDARDS AND PRACTICE.

STRUCTURAL GLU-LAMINATED LUMBER

STRUCTURAL GLU-LAMINATED LUMBER SHALL BE FABRICATED TO THE REQUIREMENTS OF PRODUCT STANDRD PS 56. LUMBER SHALL BE VISUALLY 24F-V8 DF/DF FOR CANTILEYER BEAMS, COMBINATION 2 FOR COLUMNS, AND COMBINATION 5 FOR TRUSS MEMBERS. PER TABLE 5A AND 5B 2018 NDS SUPPLEMENT. CAMBER SIMPLE BEAMS WITH SPAN 10' OR GREATER TO 2.000 RADIUS UNLESS NOTED OTHERWISE. LAMINATED MEMBERS SHALL BE AITC

LAMINATED YENEER LUMBER LYL

FRAMING MEMBERS SHOWN ON CONSTRUCTION DOCUMENTS AS "LVL" SHALL BE LAMINATED VENEER LUMBER AS MANUFACTURED BY BOISE CASCADE. ERECTION, INSTALLATION, AND ANCHORAGE SHALL BE MANUFACTURER'S STANDARD. CONEECTION OF MULTIPLE MEMBERS SHALL BE RECOMMENDED BY THE MANUFACTURER. ALL LYL MATERIAL SHALL BE MINIMUM 1.8E, 2400 FB

WOOD FRAMING HARDWARE

ALL WOOD FRAMING HARDWARE AND ACCESSORIES SHALL BE SIMPSON OR EQUIVALENT UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DOCUMENTS. HARDWARE AND ACCESSORIES SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. INSTALL HARDWARE WITH MAXIMUM NUMBER OF FASTENERS UNLESS NOTED OTHERWISE. FASTENERS AND HANGERS FOR PRESERVATIVE TREATED AND FIRE-RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

PLYWOOD

PLYWOOD ROOF AND WALL SHEATHING SHALL BE APA C-D EXPOSURE I PER IBC SECTION 2304 UNLESS NOTED OTHERWISE. WOOD STRUCTURAL PANELS OTHER THAN PLYWOOD AND CONFORMING TO IBC SECTION 2304 MAY BE SUBSTITUTED WHERE PLYWOOD IS SPECIFIED. WOOD STRUCTURAL PANELS SHALL CONFORM TO UNITED STATES VOLUNTARY PRODUCT STANDARD PS2-92. PLYWOOD FLOOR SHEATHING SHALL BE T& G APA STURD-1-FLOOR EXPOSURE I PER IBC STANDARD NO. 23-2.

MAXIMUM NAIL SPACING SHALL BE 6" O.C. AT ALL SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. NAILS SHALL BE AS FOLLOWS:

STAGGER END LAPS AT ROOF AND FLOOR SHEATHING. ALL PANEL EDGES SHALL BE BLOCKED AT PLYWOOD SHEATHED WALLS AND AS INDICATED ON PLANS FOR ROOF AND FLOOR SHEATHING. SUPPORT SHALL BE SUPPLIED TO ALL PLYWOOD EDGES WITH PLYCLIPS, BLOCKING, TONGE AND GROOVE PLYWOOD JOINTS OR OTHER APPROVED METHODS PER APA RECOMMENDATION. PLYCLIPS ARE NOT ALLOWED FOR FLOOR SHEATHING.

OPEN WEB JOISTS

JOISTS SHOWN ON PLANS AS OPEN WEB JOISTS SHALL BE MANUFACTURED BY RED-BUILT OR APPROVED EQUIVALENT. ERECTION, ANCHORAGE, AND BRIDGING SHALL BE MANUFACTURER'S STANDARD. JOIST ASSEMBLY SHALL BE TESTED AND APPROVED UNDER IBC TESTING PROCEDURES. JOISTS SHALL BE CAMBERED PER MANUFACTURER'S RECOMMENDATIONS. JOIST MANUFACTURER SHALL PROVIDE ALL SPECIALTY ITEMS SUCH AS BLOCKING, BRIDGING, ETC. REQUIRED FOR A NORMAL AND COMPLETE INSTALLATION OF THE JOISTS. ALTERNATE JOIST OR TRUSS SYSTEM SHALL BE TESTED, AND THE RESULTS OF LOAD TESTS ON COMPONENT PARTS AND FULL SCALE TESTS ON JOISTS AS WELL AS AN ANLYSIS OF TEST RESULTS SHALL BE SUBMITTED (IF REQUESTED) FOR REYIEW.

TEMPORARY SHORING

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SHORING DURING CONSTRUCTION TO ENSURE THAT THE EXISTING STRUCTURE IS STABLE UNTIL THE NEW CONSTRUCTION WORK IS COMPLETE. IF NECESSARY, THE CONTRACTOR SHALL CONSULT A SPECIALTY STRUCTURAL ENGINEER, LICENSED IN THE STATE OF WORK, FOR DESIGN ASSISTANCE PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNDERSTANDING MEANS AND METHODS REQUIREMENTS, AS WELL AS OSHA REGULATIONS FOR THE PROJECT CONSTRUCTION.

REVISIONS



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S II

2024-07-26 **Scale Factor:** Drawn: 2444**9**

(2) CONTINUOUS # 4 BARS (2) CONTINUOUS #4 BARS ______ #4 BARS @ 9" O.C -─ #4 BARS @ 9" O.C FTG-4 FTG-3 FTG-3 FTG-1 FTG-1 FTG-2 FTG-2 E /- #4 BARS @ 9" O.C # 4 BARS @ 9" O.C (2) CONTINUOUS # 4 BARS (2) CONTINUOUS #4 BARS

REVISIONS BY

	FLOOR BEAM SCHEDULE					
TYPE	MIDTH	DEPTH	DESCRIPTION			
RB-1	4"	24"	A36 W24 x 55 x 22.5 FT			
RB-2	4"	24"	A36 W24 x 55 x 24.0 FT			
RB-3	4"	24"	A36 W24 x 55 x 24.0 FT			

STRUCTURAL FOOTING SCHEDULE								
FTG-1	GRID 2D, 5D	6' - 0"	6' - 0"	Ø' - 12" MIN.				
FTG-2	GRID 3D, 4D	5' - 5"	5' - 5"	Ø' - 12" MIN.				
FTG-3	GRID IC \$ 6C	3' - Ø"	3' - Ø"	Ø' - 1Ø" MIN.				
FTG-4	CONTINUOUS	1' - 6"	-	Ø' - 1Ø" MIN.	Ø'-6" THICK x Ø'-18" TALL STEMWALL			

NOTE: REFER TO STRUCTURAL CALCULATIONS FOR CONC.
REINFORCEMENT, LOAD AND SPAN OF MEMBERS.



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A585

REGISTERED ARCHITECT

MARK J. NEAL STATE OF WASHINGTON

5 CORE AND SHELL

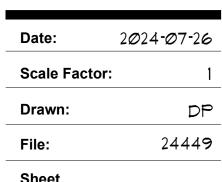
STRUCTURAL PLAN LEGEND

WALL BELOW, BEARING
WALL BELOW, NONBEARING
WALL ABOYE
STRUCTURAL BEAM
TOF O'-O" TOP OF FOOTING ELEVATION

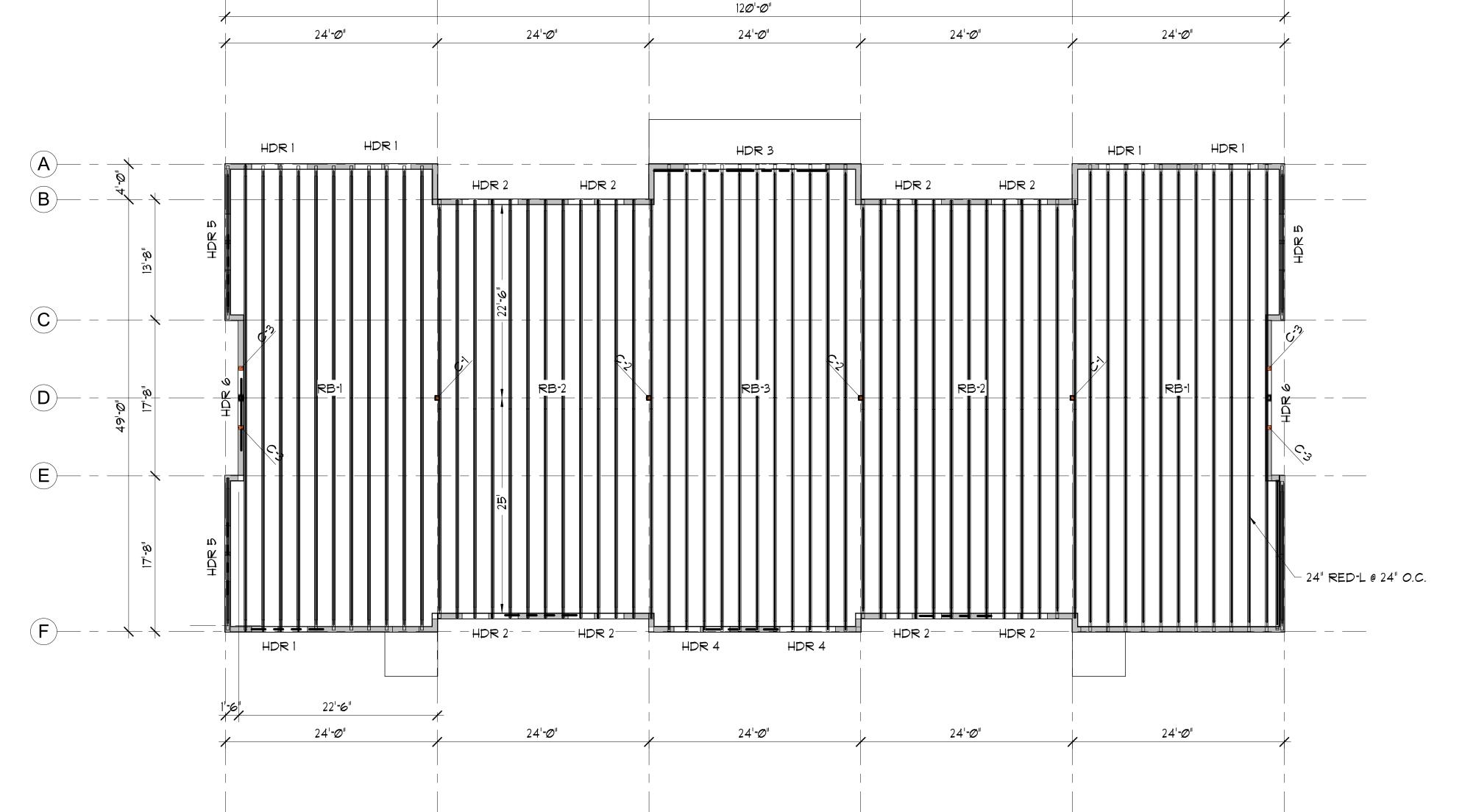
MAIN FOUNDATION PLAN

1/8" = 1'-0"@ FULL SIZE





\$1.3





COLUMN SCHEDULE							
TYPE	WIDTH	DEPTH	DESCRIPTION				
C-1	Ø' - 6"	0' - 6"	HSS, 3/16" THICKNESS				
C-2	0'-6"	Ø' - 6"	HSS, 3/16" THICKNESS				
C-3	5' - 5"	5' - 5"	GLB 24F - V8				

FLOOR BEAM SCHEDULE							
TYPE	MIDTH	DEPTH	DESCRIPTION				
RB-1	4"	24"	A36 W24 x 55 x 22.5 FT				
RB-2	4"	24"	A36 W24 x 55 x 24.0 FT				
RB-3	4"	24"	A36 W24 x 55 x 24.0 FT				

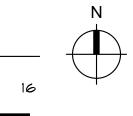
1) OPEN WEB ROOF JOISTS TO BE DESIGNED AND ENGINEERED BY MANUFACTURER. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.

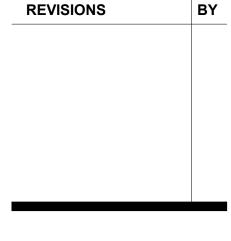
STRUCTURAL PLAN LEGEND

WALL BELOW, BEARING WALL BELOW, NONBEARING ====== WALL ABOYE ---- STRUCTURAL BEAM TOF 0'-0" TOP OF FOOTING ELEVATION

ROOF FRAMING PLAN

1/8" = 1'-0" @ FULL SIZE







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