



# NEW BUILDING FOR: BUILDING 5 CORE AND SHELL PENNY ROAD, WENATCHEE, WA

## GENERAL NOTES

- WORK IS TO CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES. DISCREPANCIES BETWEEN DRAWINGS AND CODES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- DO NOT SCALE DRAWINGS. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
- VERIFY EXISTING SITE CONDITIONS BEFORE PROCEEDING WITH WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS.
- LOCATE AND PRESERVE EXISTING SURVEY MARKERS.
- LOCATE AND PRESERVE ANY EXISTING UTILITIES PRESENT AND SCHEDULE TO REMAIN UNCHANGED.
- EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE OR FACE OF SHEATHING UNLESS OTHERWISE NOTED.
- INTERIOR DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- ANY DIMENSIONAL DEVIATIONS AFFECTING THE INTENT OR INCORPORATION OF OTHER ELEMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- REFER TO FOUNDATION AND FRAMING PLANS FOR REFERENCE TO STRUCTURAL DETAILING.
- SUBCONTRACTORS AND FABRICATORS TO SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR MATERIALS AND ASSEMBLIES AS INDICATED IN SPECIFICATIONS. DRAWINGS TO SHOW SIZES MATERIALS CONNECTION DETAILS TO ADJACENT MATERIALS. INDICATE ALL REQUIRED BACKING AND BLOCKING.
- REFER TO STRUCTURAL NOTES FOR DESIGN LOADS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK.
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.

## PROJECT DATA

PROJECT LOCATION: 200 E. PENNY ROAD  
WENATCHEE, WASHINGTON 98801

PROJECT DESCRIPTION: PROJECT IS NEW CONSTRUCTION OF A 6,043 SF COMMERCIAL BUILDING. THE DESIGN WILL BE LIMITED TO THE BUILDING SHELL AND INTERIOR ROUGH IN FOR THIS SUBMITTAL.

## GOVERNING AGENCIES

CITY OF WENATCHEE  
COMMUNITY DEVELOPMENT DEPARTMENT (509) 888-3253

APPLICABLE CODES:  
2021 INTERNATIONAL BUILDING CODE AND STATEWIDE AMENDMENTS  
2017 ICC-ANSI A117.1 ACCESSIBILITY CODE  
2021 WASHINGTON STATE NONRESIDENTIAL ENERGY CODE  
2021 INTERNATIONAL FIRE CODE  
2021 INTERNATIONAL MECHANICAL CODE  
2021 UNIFORM PLUMBING CODE  
NATIONAL ELECTRIC CODE (NFPA 70)

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REVISIONS	BY



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## ABBREVIATIONS

∠	ANGLE	DBL	DOUBLE	GA	GAUGE	OA	OVERALL	SIM	SIMILAR
⊕	CENTERLINE	DTL	DETAIL	GALV	GALVANIZED	OC	ON CENTER	SPEC	SPECIFICATION
∅	DIAMETER OR ROUND	DF	DRINKING FOUNTAIN	GB	GRAB BAR	OD	OUTSIDE DIA / OVERFLOW DRAIN	SQ	SQUARE
□	SQUARE	DIA	DIAMETER	GL	GLASS (GLAZING)	OFCI	OWNER FURNISH	STD	STANDARD
(E)	EXISTING	DIM	DIMENSION	GND	GROUND		CONTRACTOR INSTALL	STL	STEEL
ℙ	PROPERTY LINE	DISP	DISPENSER	GWB	GYPSUM WALLBOARD	OFOI	OWNER FURNISH	ST	STAIN
AB	ANCHOR BOLT	DN	DOWN	HB	HOSE BIBB	OPNG	OWNER INSTALL	STOR	STORAGE
ACC	ACCESSIBLE	DR	DOOR	HC	HANDICAPPED	OPF	OPENING	STRCT	STRUCTURAL
AD	AREA DRAIN	DS	DOWNSPOUT	HC	HOLLOW CORE	OPW	OPPOSITE	SUSP	SUSPENDED
ADJ	ADJUSTABLE	DWG	DRAWING	HC	HOLLOW CORE		OPERABLE WALL	SYM	SYMMETRICAL
AGGR	AGGREGATE	DWR	DRAWER	HDW	HARDWARE	FNL	PANEL	T	TREAD
ALUM	ALUMINUM	E	EAST	HDWD	HARDWOOD	PC	PRECAST	TB	TOWEL BAR
ALT	ALTERNATE	EA	EACH	HGT	HEIGHT	PCP	PRECAST CONCRETE PANEL	TBD	TO BE DETERMINED
APPROX	APPROXIMATE	EJ	EXPANSION JOINT	HM	HOLLOW METAL	PIP	FOURED IN PLACE CONCRETE	TC	TOP OF CURB
ANOD	ANODIZED	ELECT	ELECTRICAL	HORIZ	HORIZONTAL	PL	PLATE / PROPERTY LINE	TEL	TELEPHONE
ARCH	ARCHITECTURAL	ELEV	ELEVATION	ID	INSIDE DIAMETER	PLAM	PLASTIC LAMINATE	T&G	TONGUE & GROOVE
AT	ACOUSTICAL TILE	EQ	EQUAL	INSUL	INSULATION	PLAS	PLASTER	THK	THICK
BD	BOARD	EQFT	EQUIPMENT	INT	INTERIOR	PLYWD	PLYWOOD	TV	TELEVISION
BLDG	BUILDING	EXIST	EXISTING	JAN	JANITOR	PR	PAINT	TYP	TYPICAL
BLKG	BLOCKING	EXP	EXPANSION	JT	JOINT	PT	PAINT	UNO	UNLESS NOTED OTHERWISE
BM	BEAM	EXPO	EXPOSED	LAM	LAMINATE	R	RISER	UNFIN	UNFINISHED
BOT	BOTTOM	EXT	EXTERIOR	LAV	LAVATORY	RD	ROOF DRAIN	UR	URINAL
BL	BUILDING LINE	FACP	FIRE ANNUNCIATOR CONTROL PANEL	LT	LIGHT	REF	REFERENCE	VCT	VINYL COMPOSITION TILE
C	CONDUIT	FD	FLOOR DRAIN	MAS	MASONRY	REFR	REFRIGERATOR	VERT	VERTICAL
CAB	CABINET	FE	FIRE EXTINGUISHER	MATL	MATERIAL	REINF	REINFORCED	VEST	VESTIBULE
CB	CATCH BASIN	FIN	FINISH	MB	MACHINE BOLT	REQD	REQUIRED	W	WEST
CI	CURB INLET	FLASH	FLASHING	MAX	MAXIMUM	RESIL	RESILIENT	W/	WITH
CJ	CONST. JOINT	FLR	FLOOR	MECH	MECHANICAL	RM	ROOM	WC	WATER CLOSET
CL	CENTERLINE	FLUOR	FLUORESCENT	MFGR	MANUFACTURER	RO	ROUGH OPENING	WD	WOOD
CLG	CEILING	FND	FOUNDATION	MH	MANHOLE	RWL	RAIN WATER LEADER	WH	WATER HEATER
CLR	CLEAR	F/O	FACE OF	MIN	MINIMUM	S	SOUTH	W/O	WITHOUT
CNU	CONCRETE MASONRY UNIT	FOC	FACE OF CONST	MISC	MISCELLANEOUS	SCHED	SCHEDULE	WP	WATERPROOF
COL	COLUMN	FOF	FACE OF FINISH	MTD	MOUNTED	SD	SOAP DISPENSER	WR	WATER RESISTANT
CONC	CONCRETE	FO8	FACE OF STUDS	MTL	METAL	SECT	SECTION	WRGWB	WATER-RESISTANT GWB
CONN	CONNECTION	FFLY	FIRE-TREATED	N	NORTH	SHT	SHEET	WT	WEIGHT
CONST	CONSTRUCTION	FT	FOOT OR FEET	NIC	NOT IN CONTRACT	SHTG	SHEATHING	WWF	WELDED WIRE FABRIC
CONTR	CONTRACTOR	FTG	FOOTING	NOM	NOMINAL	SHWR	SHOWER		
CONT	CONTINUOUS	FURR	FURRING	NTS	NOT TO SCALE	SLR	SEALER		
CT	CERAMIC TILE	FUT	FUTURE						

## PLAN SYMBOL LEGEND

BUILDING SECTION		SECTION LETTER		SHEET WHERE LOCATED
DETAIL		DETAIL NUMBER		SHEET WHERE LOCATED
INTERIOR ELEVATION		ELEVATION NUMBER		SHEET WHERE LOCATED
ROOM IDENTIFICATION		ROOM NUMBER		ROOM NAME
DOOR NUMBER		ROOM NUMBER		
GRID LINES		PLAN NORTH		
WINDOW TYPE		KEYNOTE REFERENCE		
WALL TYPE		EXIT SIGN		

## PROJECT TEAM

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CONTRACTOR: TBD

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NEW BUILDING FOR:  
BUILDING 5 CORE AND SHELL  
PENNY ROAD, WENATCHEE, WA

Date: 2024-07-26

Scale Factor: 1

Drawn: DP

File: 24449

Sheet

# A0.1

# CODE INFORMATION

## ALLOWABLE AREA

CONSTRUCTION TYPE:	YB
TOTAL FLOOR AREA:	6,043 SF
MAIN FLOOR AREA:	6,043 SF
UPPER FLOOR AREA:	NONE
OCCUPANCY TYPE:	B - BUSINESS
OCCUPANCY SEPARATIONS:	NOT REQUIRED
OCCUPANCY AREAS:	6,043 SF
BASE ALLOWABLE AREA:	B - 9,000 SF (NS) 2 STORIES (NS)
FRONTAGE INCREASE:	NONE USED
SPRINKLER INCREASE:	SPRINKLED - NO 1 STORY BUILDING
ALLOWABLE AREA CALCULATION:	NOT USED

**PLUMBING**  
NON-OCCUPIED AT THIS POINT

## FIRE AND SMOKE PROTECTION REQUIREMENTS

BUILDING ELEMENT RESISTANCE (IBC TABLE 601)	RATING (HRS)
PRIMARY STRUCTURAL FRAME:	0
BEARING WALLS EXTERIOR:	0
BEARING WALLS INTERIOR:	0
NONBEARING WALLS EXTERIOR:	1 (5'-10 FEET SEPERATION)
NONBEARING WALLS INTERIOR:	0
ROOF CONSTRUCTION:	0
EXIT ACCESS RATINGS	
CORRIDORS (IBC TABLE 1020.2):	0
VERTICAL ENCLOSURES:	N/A
EGRESS TRAVEL DISTANCES (IBC 1006.2.1 & 1017.2)	
COMMON PATH OF EGRESS TRAVEL:	75' (57'-0" PROVIDED)
EXIT ACCESS TRAVEL DISTANCE:	75' (57'-0" PROVIDED)

## CODE FLOOR PLAN LEGEND

- 101 ROOM NUMBER
- OLF: 100  
OCC: 15 OLF - OCCUPANT LOAD FACTOR PER IBC TABLE 1004.5  
OCC - CALCULATED NUMBER OF OCCUPANTS
- LIGHTED EXIT SIGNS
- 15 NUMBER IN CIRCLE INDICATES CUMULATIVE NUMBER OF OCCUPANTS AT THIS POINT OF ROUTE
- FE FIRE EXTINGUISHER WALL BRACKET MOUNTED
- LONGEST EXIT ACCESS PATH (EAP)
- LONGEST COMMON PATH OF TRAVEL (CPT)
- ◆◆◆◆◆ 1-HR RATED FIRE WALL

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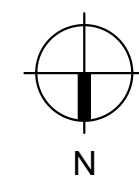
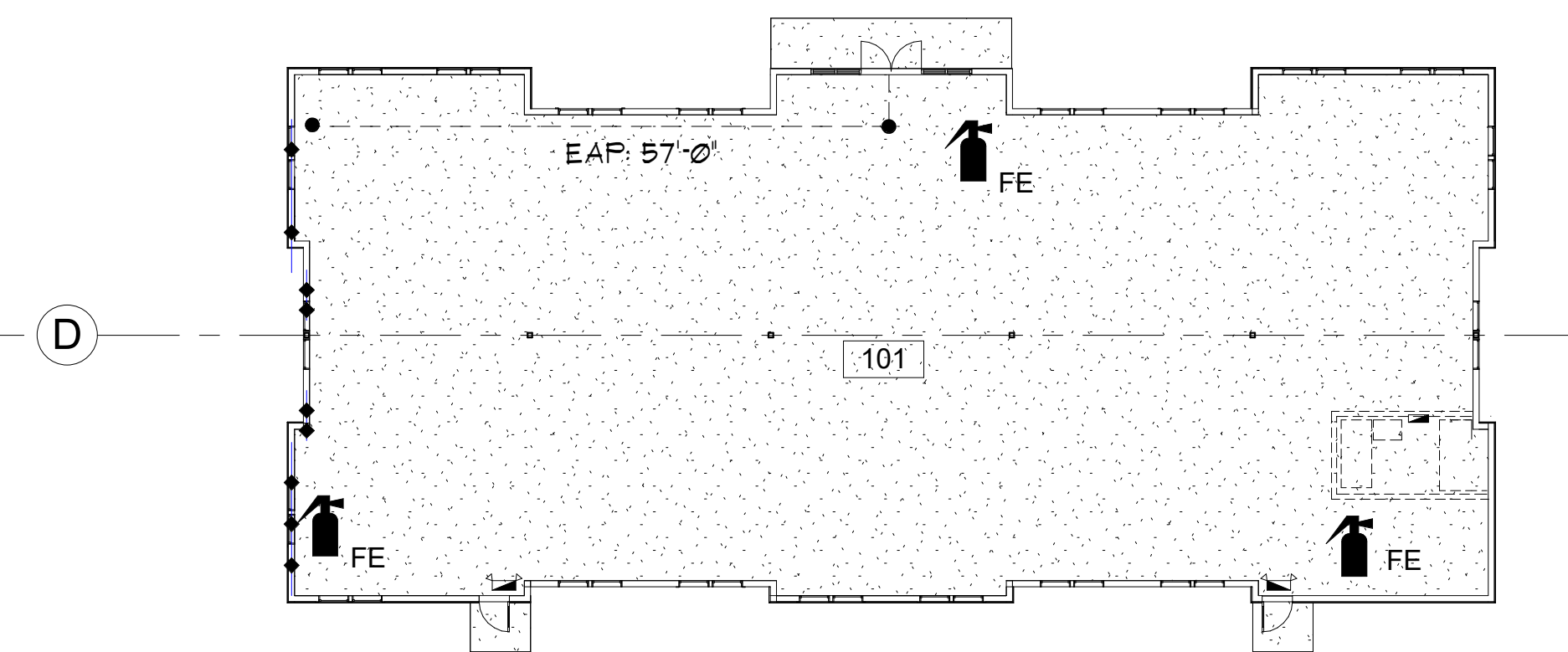
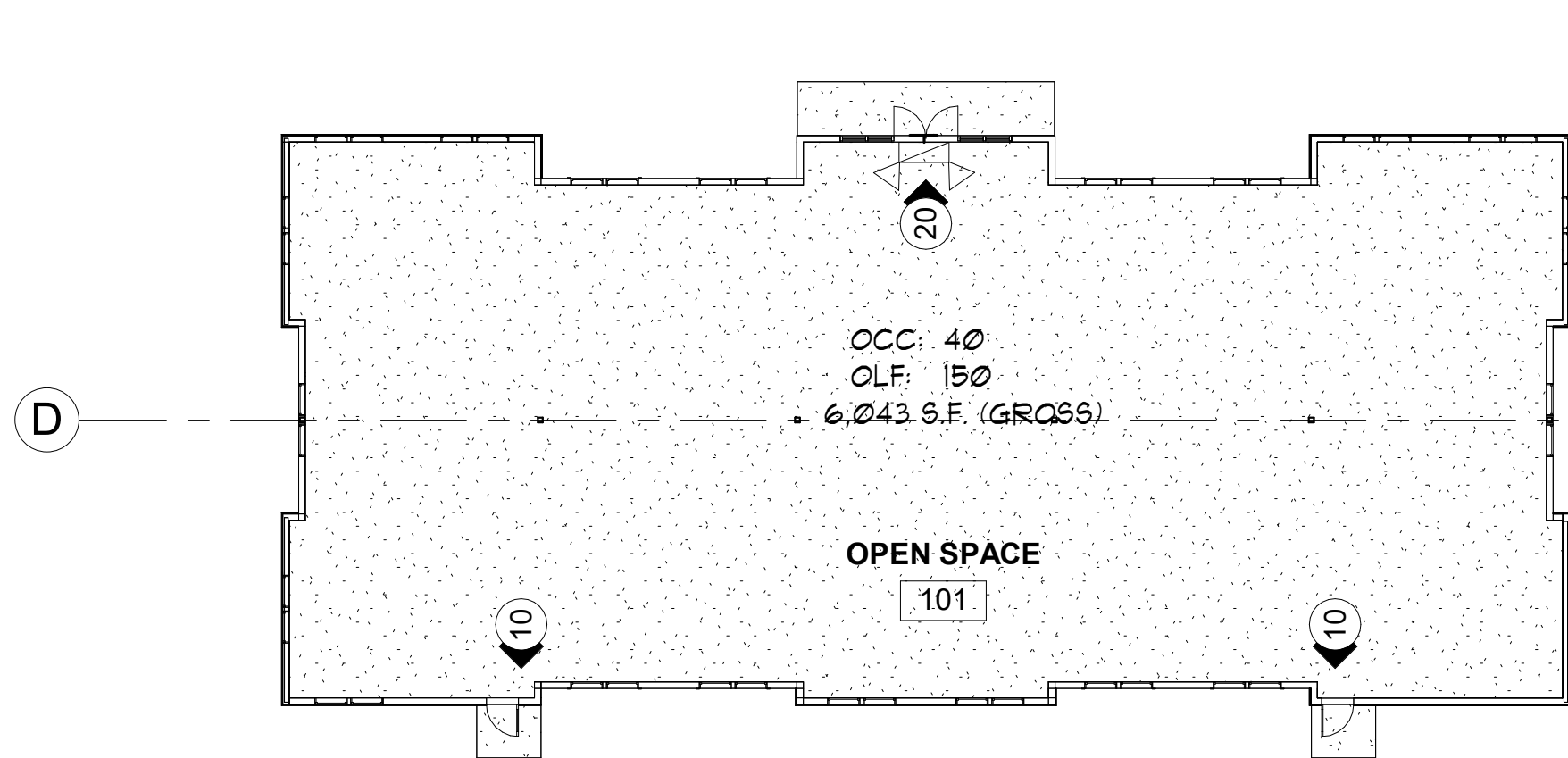
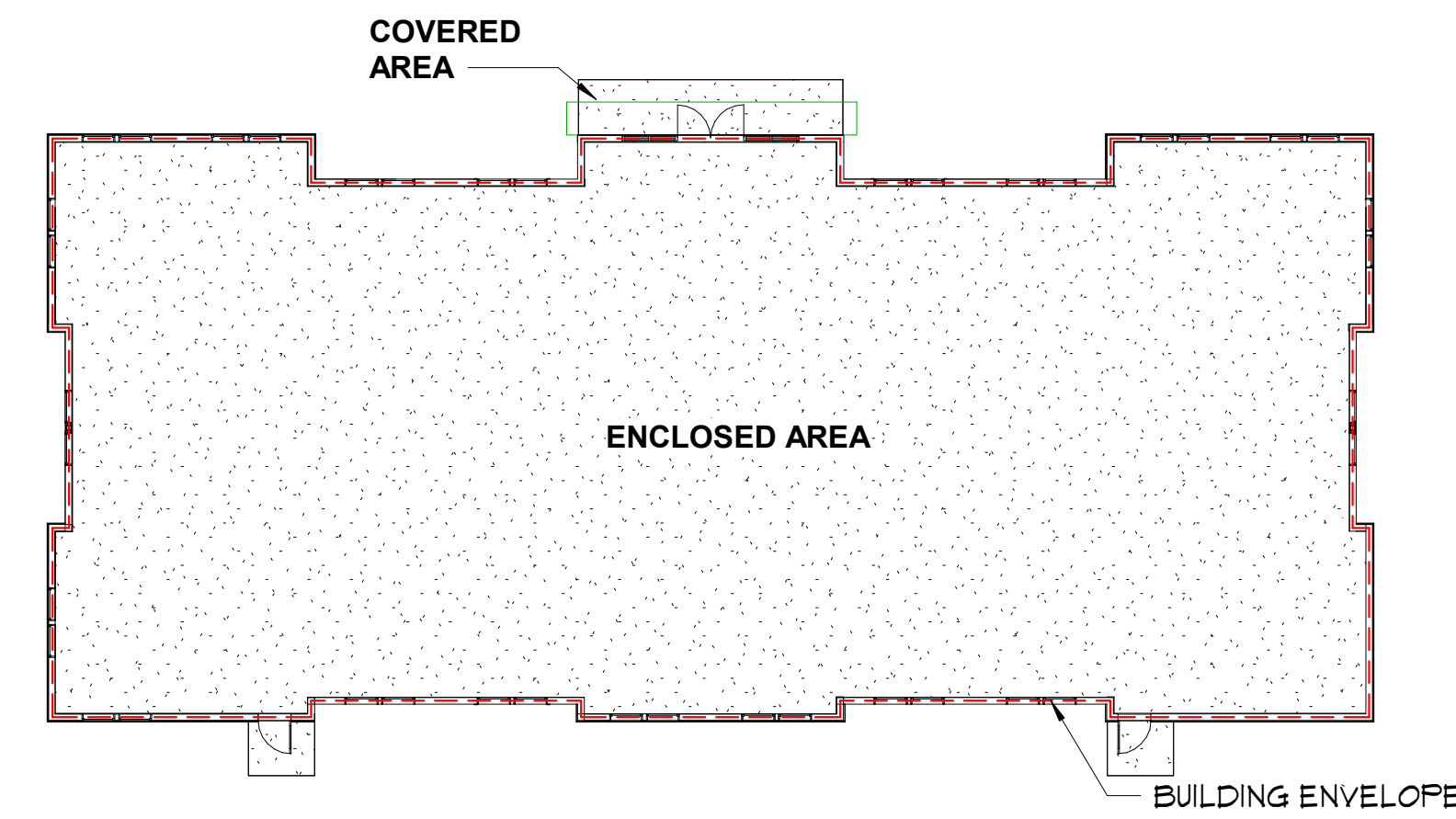
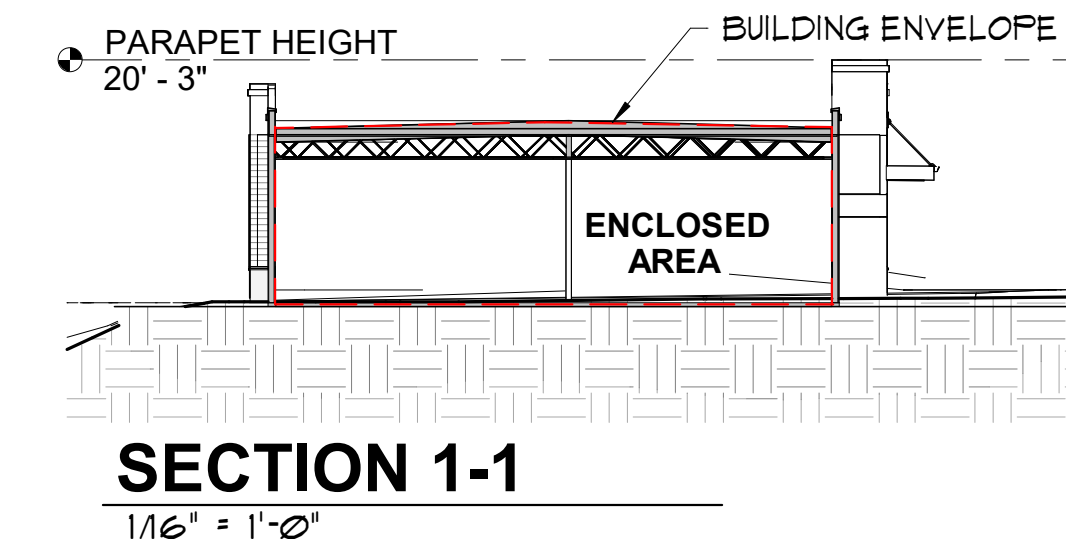


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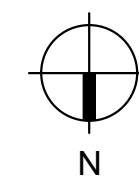
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4585 REGISTERED ARCHITECT  
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STATE OF WASHINGTON

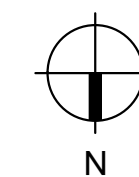
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**MAIN FLOOR OCCUPANCY PLAN**



**MAIN FLOOR CODE PLAN**



**ENVELOPE DIAGRAM PLAN**

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NEW BUILDING FOR:

**BUILDING 5 CORE AND SHELL**  
PENNY ROAD, WENATCHEE, WA

Date:	2024-07-26
Scale Factor:	1
Drawn:	LC, OH
File:	24449

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**A0.2**

**2021 WASHINGTON STATE ENERGY CODE BUILDING THERMAL ENVELOPE REQUIREMENTS**

CLIMATE ZONE (PER TABLE C301.1): 5B

**2021 WASHINGTON STATE ENERGY CODE BUILDING THERMAL ENVELOPE REQUIREMENTS, U-FACTOR METHOD.**

OPAQUE THERMAL ENVELOPE ASSEMBLY MAXIMUM REQUIREMENTS, U-FACTOR METHOD, TABLE C402.1.4 COMMERCIAL

ROOFS		SLAB-ON-GRADE FLOORS	
INSULATION ENTIRELY ABOVE DECK	U-0.027	UNHEATED SLABS	F-0.54
METAL BUILDINGS	U-0.031	HEATED SLABS	F-0.55
ATTIC AND OTHER	U-0.021		
JOIST OR SINGLE RAFTER	U-0.027		
WALLS, ABOVE & BELOW GRADE		OPAQUE DOORS	
MASS	U-0.104	NONSWINGING DOOR	U-0.31
MASS TRANSFER DECK SLAB	U-0.20	SWINGING DOOR	U-0.37
METAL BUILDING	U-0.050		
STEEL FRAMED	U-0.055		
WOOD FRAMED AND OTHER	U-0.051		
FLOORS		FENESTRATION	
MASS	U-0.031	VERTICAL CURTAIN WALLS AND SITE-BUILT	
JOIST FRAMING	U-0.029	FIXED	U-0.34
		OPERABLE	U-0.36
		ENTRANCE DOORS	U-0.60
		ALL OTHER VERTICAL FENESTRATION	
		FIXED WINDOWS	U-0.26
		OPERABLE OR MULLED WINDOWS	U-0.28

**U-FACTOR METHOD**

OPAQUE THERMAL ENVELOPE ASSEMBLY MAXIMUM REQUIREMENTS, U-FACTOR METHOD, TABLE C402.1.4 COMMERCIAL

ROOFS		
U-FACTOR FOR CEILING TABLE A102.1	A102.2.2 VAULTED CEILINGS.	
INSULATION ENTIRELY ABOVE DECK MIN. R-40, MAX R-85	U-0.017	ROOF IS ASSUMED TO BE TAPERED WITH INSULATION ENTIRELY ABOVE DECK AND UNINTERRUPTED BY FRAMING. THE BASE ASSEMBLY IS CONTINUOUS INSULATION OVER A STRUCTURAL DECK. THE SLOPE OF THE TAPERED INSULATION IS 1/4' PER FOOT
WALLS		
2X6 WOOD STUD TABLE R-VALUE OF FOAM BOARD R-0	A103.3.1(5) LAPPED WOOD ADVANCED 24" OC U-0.051	A103.2.3 ADVANCED STUDS FRAMED ON 24 INCH CENTERS WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE. CORNERS USE TWO STUDS OR OTHER MEANS OF FULLY INSULATING CORNERS, AND ONE STUD IS USED TO SUPPORT EACH HEADER. HEADERS CONSIST OF DOUBLE 2X MATERIAL WITH R-10 INSULATION. INTERIOR PARTITION WALL/ EXTERIOR WALL INTERSECTIONS ARE FULLY INSULATED IN THE EXTERIOR WALL.
FLOORS		
UNHEATED, FULLY INSULATED SLAB	INSULATION TYPE: CONTINUOUS UNDER SLAB R-10 RIGID INSULATION U-0.54	TWO FOOT VERTICAL/ FULLY INSULATED SLAB. INSULATION EXTENDS FROM THE TOP OF THE SLAB, ALONG THE ENTIRE PERIMETER AND COMPLETELY COVERS THE AREA UNDER THE SLAB. THICKER PERIMETER INSULATION COVERS THE SLAB EDGE AND EXTENDS 2 FEET UNDER THE SLAB.

CONSTRUCTION SHALL COMPLY WITH 2021 EDITION WASHINGTON STATE COMMERCIAL ENERGY CODE CLIMATE ZONE: 5B PRESCRIPTIVE PATH

**BUILDING SHELL : TABLE C406.2**

EFFICIENCY MEASURE	DESCRIPTION	CREDITS
25	ENHANCED ENVELOPE PERFORMANCE: PROPOSED TOTAL UA OF THE THERMAL ENVELOPE OF THE PROJECT SHALL BE 15 PERCENT LOWER THAN THE ALLOWABLE TOTAL UA DETERMINED IN ACCORDANCE WITH SECTION C 402.1.5 AND EQUATION 4-2	13.0
	TOTAL	13.0

**PROJECTION FACTOR CALCULATIONS**

FOR VERTICAL FENESTRATION SHADED BY BUILDING ELEMENT OVERHANGS OR PERMANENT EXTERNAL SHADING DEVICES, PROVIDE PROJECTION FACTOR CALCULATIONS PER EQUATION 4-6 FOR EACH FIXED AND OPERABLE VERTICAL FENESTRATION TYPE WITH SIMILAR PERMANENT SHADING GEOMETRY.

EQUATION 4-6:  $FF = A/B$   
 A = OVERHANG WIDTH \* 4FT  
 B = DISTANCE FROM BOTTOM OF FENESTRATION TO UNDERSIDE OF OVERHANG: 10'-2"

FF = .39

**2021 WASHINGTON STATE ENERGY CODE NOTES**

- EXTERIOR ENVELOPE THERMAL PERFORMANCE FOLLOWS THE 2021 WSEC PRESCRIPTIVE ENERGY COMPLIANCE PATH PER SECTION C401 OR C501.
- IDENTIFICATION MARK SHALL BE APPLIED TO ALL INSULATION MATERIALS AND INSULATION INSTALLED SUCH THAT THE MARK IS READILY OBSERVABLE DURING INSPECTION. FOR INSULATION MATERIALS THAT ARE INSTALLED WITHOUT AN OBSERVABLE MANUFACTURER'S R-VALUE MARK, SUCH AS BLOWN OR DRAPED PRODUCTS, AN INSULATION CERTIFICATE COMPLYING WITH SECTION C303.1.1 SHALL BE LEFT IMMEDIATELY AFTER INSTALLATION BY THE INSTALLER, IN A CONSPICUOUS LOCATION WITHIN THE BUILDING, TO CERTIFY THE INSTALLED R-VALUE OF THE INSULATION MATERIAL.
- ALL FENESTRATION PRODUCTS SHALL BE LABELED WITH NFRC U-FACTOR, SHGC, VT AND LEAKAGE RATING. PRODUCTS LACKING SUCH A LABELED U-FACTOR SHALL BE ASSIGNED A DEFAULT U-FACTOR FROM TABLE C303.1.3(1), C303.1.3(2) OR C303.1.3(4). THE SOLAR HEAT GAIN COEFFICIENT (SHGC) AND VISIBLE TRANSMITTANCE (VT) OF GLAZED FENESTRATION PRODUCTS (WINDOWS, GLAZED DOORS AND SKYLIGHTS) SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 200 BY AN ACCREDITED, INDEPENDENT LABORATORY, AND LABELED AND CERTIFIED BY THE MANUFACTURER. PRODUCTS LACKING SUCH A LABELED SHGC OR VT SHALL BE ASSIGNED A DEFAULT SHGC OR VT FROM TABLE C303.1.3(3).
- WHERE MULTIPLE LAYERS OF RIGID INSULATION ARE USED THE EDGE JOINTS BETWEEN EACH LAYER OF CONTINUOUS INSULATION BOARDS SHALL BE STAGGERED PER SECTION C303.2.2
- ALL EXTERIOR WOOD WALLS SHALL UTILIZE INTERMEDIATE FRAMING PER A103.2.2: INTERMEDIATE STUDS FRAMED ON 16-INCH CENTERS WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE, U.N.O. CORNERS USE TWO STUDS OR OTHER MEANS OF FULLY INSULATING CORNERS, AND EACH OPENING IS FRAMED BY TWO STUDS. HEADERS CONSIST OF DOUBLE 2X MATERIAL WITH R-10 INSULATION. INTERIOR PARTITION WALL/EXTERIOR WALL INTERSECTIONS ARE FULLY INSULATED IN THE EXTERIOR WALL.
- U-FACTOR OR R-VALUE (NON-SWINGING) OF OPAQUE DOORS (WITH LESS THAN 50% GLAZED AREA) SHALL BE AS INDICATED ON WALL SECTIONS OR DOOR SCHEDULES AND WILL BE RATED BY TABLE C303.1.3(1)/R303.1.3(1) AS APPROPRIATE.
- FENESTRATION THAT IS ENTIRELY WITHIN THE CONDITIONED SPACE OR IS BETWEEN CONDITIONED AND OTHER ENCLOSED SPACE IS EXEMPT FROM SOLAR HEAT GAIN COEFFICIENT REQUIREMENTS AND NOT INCLUDED IN THE SHGC CALCULATION PER TABLE C402.4.
- PROVIDE TOTAL GROSS SF AREA OF ALL ABOVE GRADE WALL ELEMENTS AND ROUGH OPENING SF AREA OF ALL VERTICAL FENESTRATION ELEMENTS IN THE BUILDING. THE TOTAL BUILDING VERTICAL FENESTRATION AREA (NOT INCLUDING OPAQUE DOORS AND OPAQUE SPANDREL PANELS) SHALL NOT EXCEED 30 PERCENT OF THE TOTAL BUILDING GROSS ABOVE-GRADE WALL AREA. THE SKYLIGHT AREA SHALL NOT EXCEED 5 PERCENT OF THE TOTAL BUILDING GROSS ROOF AREA (SKYLIGHT-TO-ROOF RATIO). FOR BUILDINGS WITH MORE THAN ONE SPACE CONDITIONING CATEGORY, COMPLIANCE WITH THE MAXIMUM ALLOWED WINDOW-TO-WALL RATIO (WWR) AND SKYLIGHT-TO-ROOF RATIO SHALL BE DEMONSTRATED SEPARATELY FOR EACH SPACE CONDITIONING CATEGORY. INTERIOR PARTITION CEILING, WALL, FENESTRATION AND FLOOR AREAS THAT SEPARATE SPACE CONDITIONING AREAS SHALL NOT BE APPLIED TO THE WINDOW-TO-WALL RATIO AND SKYLIGHT-TO-ROOF RATIO CALCULATIONS. FOR BUILDINGS THAT COMPLY WITH SECTION C402.4.1.1.1 OR C402.4.1.1.2, THE TOTAL BUILDING VERTICAL FENESTRATION AREA IS PERMITTED TO EXCEED 30 PERCENT BUT SHALL NOT EXCEED 40 PERCENT OF THE GROSS ABOVE GRADE WALL AREA.
- LOCATION OF CONTINUOUS AIR BARRIER SHALL BE AS INDICATED IN PLANS AND SECTIONS. A CONTINUOUS AIR BARRIER SHALL BE PROVIDED THROUGHOUT THE BUILDING THERMAL ENVELOPE. THE CONTINUOUS AIR BARRIERS SHALL BE LOCATED ON THE INSIDE OR OUTSIDE OF THE BUILDING THERMAL ENVELOPE, LOCATED WITHIN THE ASSEMBLIES COMPOSING THE BUILDING THERMAL ENVELOPE, OR ANY COMBINATION THEREOF. THE AIR BARRIER SHALL COMPLY WITH SECTIONS C402.5.1.1 AND C402.5.1.2.
- THE SEALING OF FENESTRATION OPENINGS SHALL BE SEALED BY CASKETING, WEATHERSTRIPPING, CAULKING OR OTHER APPROVED SEALING METHOD CONSTRUCTED TO COMPLY WITH SECTION C402.5.1.1
- BUILDING ENCLOSURE AIR LEAKAGE TESTING IS REQUIRED FOR WSEC COMPLIANCE. THE THERMAL ENVELOPE OF BUILDINGS SHALL COMPLY WITH SECTIONS C402.5.1 THROUGH C402.5.8. AND SHALL BE TESTED IN ACCORDANCE WITH ASTM E779, ANSI/RESNET/ICC 380, ASTM E3158 OR ASTM E1027 OR AN EQUIVALENT METHOD APPROVED BY THE CODE OFFICIAL. THE MEASURED AIR LEAKAGE SHALL NOT EXCEED 0.25 CFM/FT<sup>2</sup> (127 L/S \* M<sup>2</sup>) OF THE BUILDING THERMAL ENVELOPE AREA AT A PRESSURE DIFFERENTIAL OF 0.3 INCH WATER GAUGE (75 PA). SUBMIT BUILDING ENCLOSURE AIR LEAKAGE TEST REPORTS TO JURISDICTION AND OWNER; WHERE THE MEASURED AIR LEAKAGE RATE EXCEEDS 0.25 CFM/FT<sup>2</sup> (2.0 L/S \* M<sup>2</sup>) CORRECTIVE ACTION SHALL BE TAKEN TO SEAL LEAKS IN THE AIR BARRIER. POST-CORRECTIVE ACTION TESTING AND REPEATED CORRECTIVE ACTION MEASURES WILL BE TAKEN UNTIL THE REQUIRED AIR LEAKAGE RATING IS ACHIEVED. FINAL PASSING OF THE AIR LEAKAGE TEST RESULTS SHALL BE SUBMITTED TO THE CODE OFFICIAL.
- A PERMANENT THERMAL ENVELOPE CERTIFICATE SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE SPACE CONDITIONING EQUIPMENT IS LOCATED, A UTILITY ROOM OR OTHER APPROVED LOCATION. IF LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED LABELS. A COPY OF THE CERTIFICATE SHALL ALSO BE INCLUDED IN THE CONSTRUCTION FILES FOR THE PROJECT. WHERE THERE IS MORE THAN ONE VALUE FOR ANY COMPONENT OF THE BUILDING ENVELOPE, THE CERTIFICATE SHALL INDICATE THE AREA-WEIGHTED AVERAGE VALUE WHERE AVAILABLE. IF THE AREA-WEIGHTED AVERAGE IS NOT AVAILABLE, THE CERTIFICATE SHALL LIST EACH VALUE THAT APPLIES TO 10 PERCENT OR MORE OF THE TOTAL COMPONENT AREA PER SECTION C401.4
- PROVIDE PROJECT CLOSE OUT DOCUMENTATION INCLUDING APPLICABLE CALCULATIONS, WSEC ENVELOPE COMPLIANCE REPORTS, AND FENESTRATION NFRC RATING CERTIFICATES TO BUILDING OWNER WITHIN A MAXIMUM OF 90 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY PER SECTION C103.6 .
- MECHANICAL SYSTEMS AND EQUIPMENT SERVING HEATING, COOLING, VENTILATING, AND OTHER NEEDS SHALL COMPLY WITH SECTION C403
- LIGHTING SYSTEM CONTROLS, THE MAXIMUM LIGHTING POWER FOR INTERIOR AND EXTERIOR APPLICATIONS, ELECTRICAL ENERGY CONSUMPTION, VERTICAL AND HORIZONTAL TRANSPORTATION SYSTEMS, AND MINIMUM EFFICIENCIES FOR MOTORS AND TRANSFORMERS SHALL COMPLY WITH SECTION C405
- THE PROJECT SHALL MEET THE MINIMUM NUMBER REQUIRED EFFICIENCY CREDITS SHOWN IN TABLE C406.1.
- SOLAR READINESS & SOLAR ZONE SHALL BE PROVIDED ON BUILDINGS THAT ARE 20 STORIES OR LESS IN HEIGHT ABOVE GRADE PLANE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OF THE BUILDING OR ON ANOTHER STRUCTURE ELSEWHERE ON THE SITE. THE SOLAR ZONE SHALL BE IN ACCORDANCE WITH SECTION C411.3 AND THE INTERNATIONAL FIRE CODE. THE MINIMUM AREA OF THE SOLAR ZONE SHALL BE DETERMINED BY 40% OF THE ROOF AREA OR 20% OF ELECTRICAL SERVICE SIZE ONE OF THE FOLLOWING WHICHEVER RESULTS IN THE SMALLER AREA.

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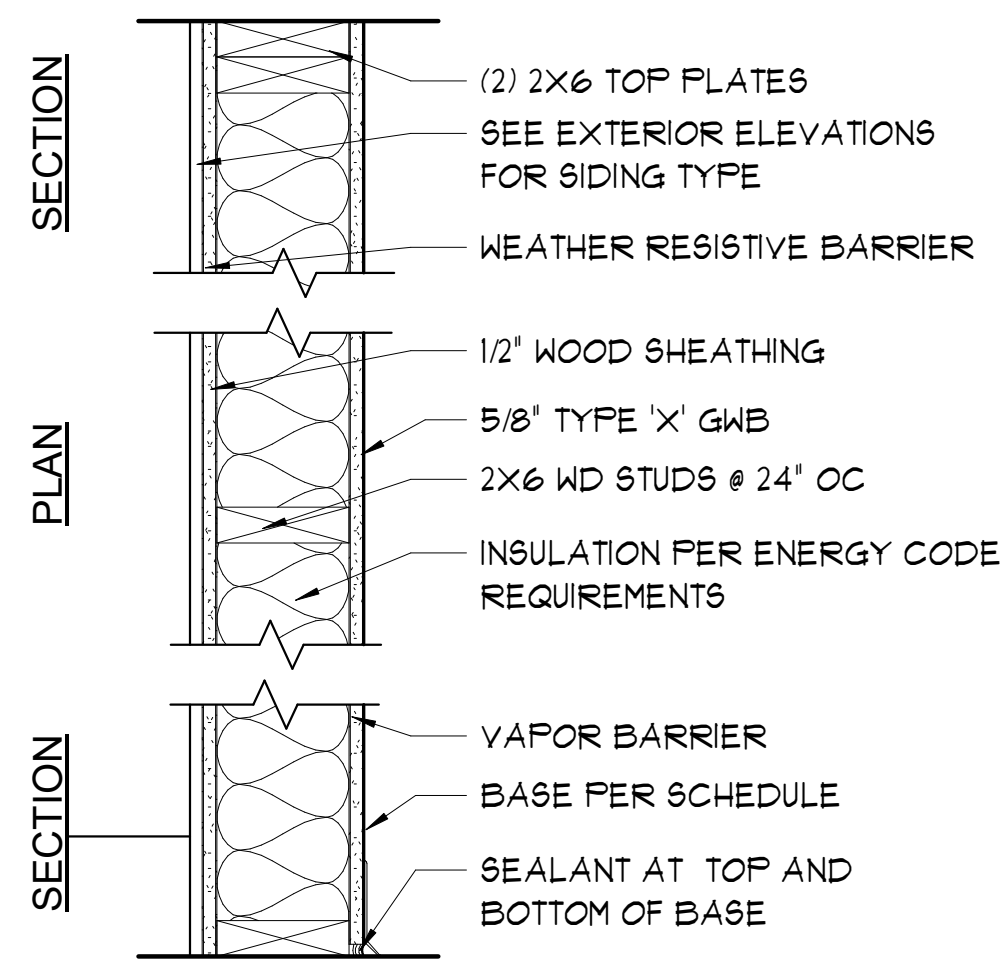
**PRELIMINARY**

**NEW BUILDING FOR:  
 BUILDING 5 CORE AND SHELL  
 PENNY ROAD, WENATCHEE, WA**

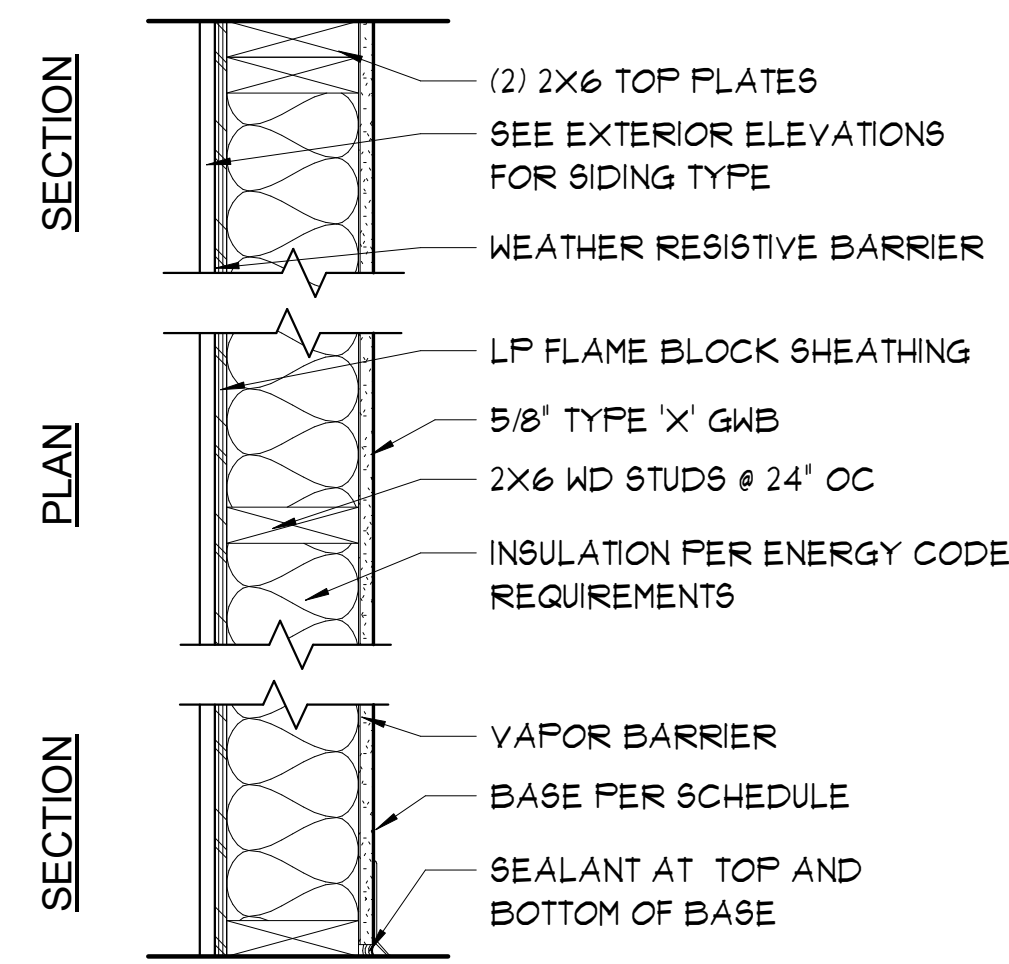
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File:	24449

Sheet  
**A0.3**

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**WALL TYPE 1**



**WALL TYPE 2**

**EXTERIOR 1 HR RATED ASSEMBLY- ULV340**  
**GYP SUM WALLBOARD, FIRE RATED PLYWOOD SHEATHING, WOOD STUDS**

**Fire Design:**  
**EXTERIOR SIDE:** One layer 48" wide 1/2" fire rated plywood sheathing (LP Flameblock or equivalent by other manufacturer) applied parallel to 2 x 4 wood studs 24" o.c. with 1-3/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.

**INTERIOR SIDE:** One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD BEARING)

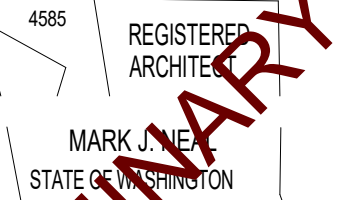
**ASSEMBLY TYPE NOTES**

1. SEE FLOOR PLANS FOR WALL TYPE
2. REFER TO STRUCTURAL SHEETS FOR SHEAR WALL LOCATIONS AND REQUIRED WOOD SHEATHING FASTENING.
3. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND HAVE SILL SEALERS AT SILL PLATES.



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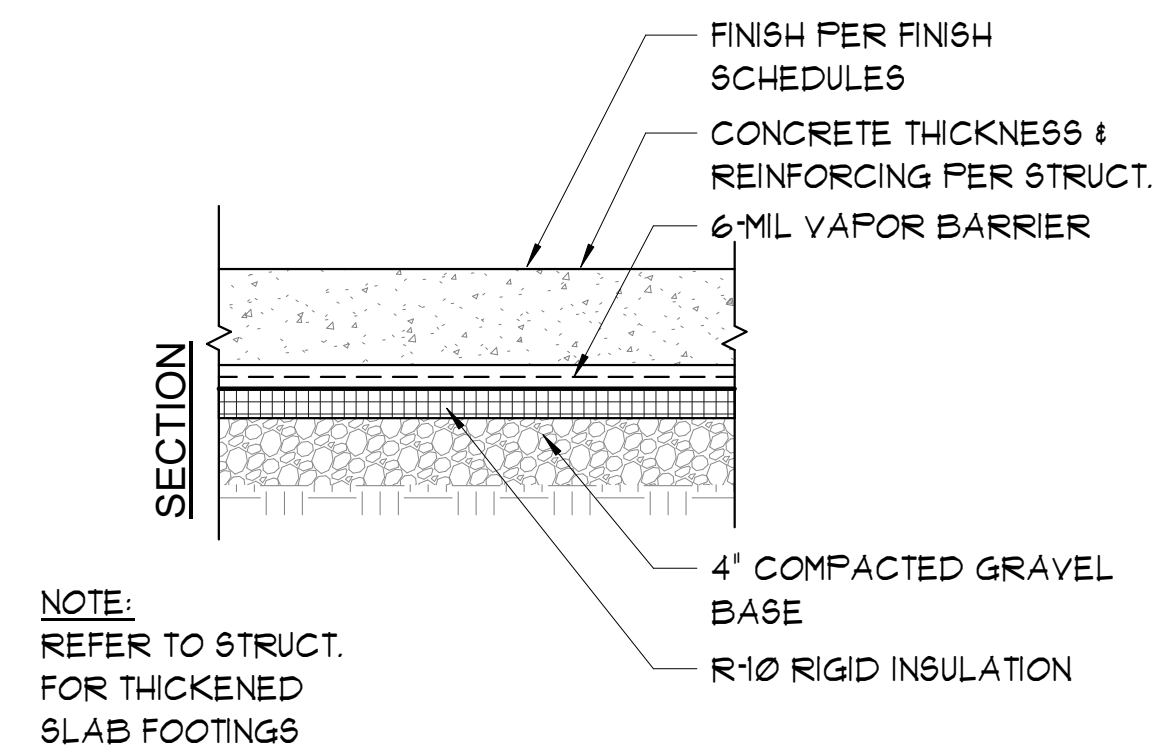


**PRELIMINARY**

**NEW BUILDING FOR:**  
**BUILDING 5 CORE AND SHELL**  
 PENNY ROAD, WENATCHEE, WA

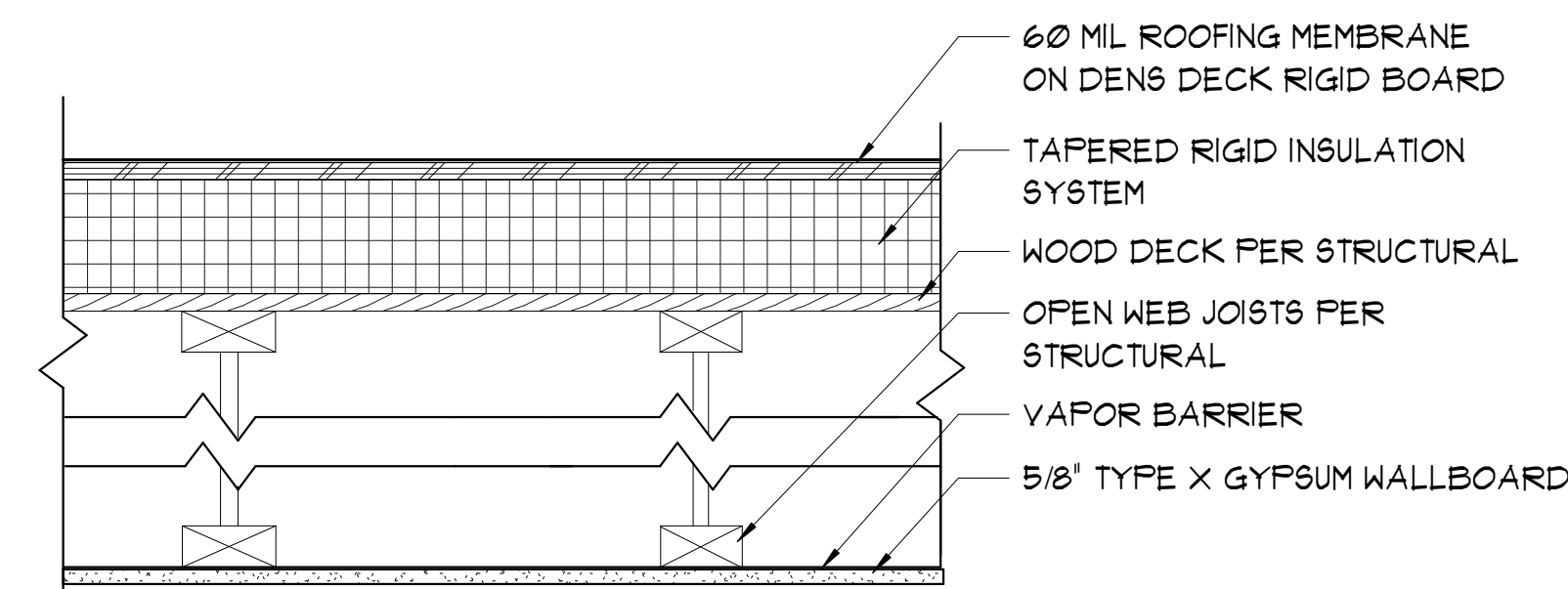
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**A0.4**



**NOTE:**  
 REFER TO STRUCT.  
 FOR THICKENED  
 SLAB FOOTINGS

**FLOOR ASSEMBLY 1**



**ROOF ASSEMBLY, NOT RATED**

# SITE DESIGN CRITERIA

PROJECT ADDRESS: 200 E. PENNY ROAD  
WENATCHEE, WA 98801

OWNER: EGN LEGACY LLC  
PO BOX 3081  
WENATCHEE, WA 98807

ASSESSOR'S PARCEL NO.: 232021430200  
232021430130

JURISDICTION: CITY OF WENATCHEE  
ZONING: NORTH WENATCHEE  
BUSINESS DISTRICT (NWBD)

PROPOSED USE: MERCANTILE  
MAXIMUM BUILDING HEIGHT: 90'  
MAXIMUM LOT COVERAGE: 100%

SETBACKS:  
FRONT: 10'  
SIDES: 0'  
REAR: 0'

SITE AREA: 232021430200 2.47 ACRES (107,593 S.F.)  
SITE AREA: 232021430130 0.28 ACRES (12,197 S.F.)

IMPERVIOUS SURFACE AREA FOR PHASE I:

BUILDING 5: 6,043 S.F.  
EXISTING BUILDING 6: 12,760 S.F.  
FUTURE BUILDING: 6A 12,160 S.F.  
PARKING/PAVED AREA: 59,037 S.F.  
TOTAL IMPERVIOUS SURFACE AREA: 90,300 S.F.

LANDSCAPE AREA FOR PHASE I: 19,875 S.F.

# ARCHITECTURAL SITE PLAN KEYNOTES

- 1 PROPOSED BUILDING
- 2 PROPERTY LINE
- 3 SETBACK LINE
- 4 EXISTING INGRESS AND EGRESS ARROWS
- 5 DUMPSTER ENCLOSURE, SEE SITE DETAILS
- 6 NEW SIDEWALK, MAX 5% DIRECTION OF TRAVEL, MAX 2% CROSS SLOPE
- 7 EXISTING PARKING AREA
- 8 ACCESSIBLE PARKING STALL
- 9 PRECAST CONCRETE WHEELSTOP
- 10 EXISTING FIRE HYDRANT
- 11 LANDSCAPE AREA - SEE LANDSCAPE SHEETS
- 12 POST SIGNAGE - ACCESSIBLE STALL SEE DETAILS
- 13 EXISTING ELECTRICAL TRANSFORMER
- 14 ENTRY/EXIT CONCRETE LANDING, MAX 2% SLOPE, MIN 5FT SQUARE FROM ENTRY
- 15 PVC TIGHTLINE FROM DOWNSPOUTS TO CATCH BASIN
- 16 PROPOSED NEW RETAINING WALL
- 17 EXISTING UTILITY EASEMENT
- 18 FLAG POLE
- 19 POST SIGNAGE - EV CHARGING STATION
- 20 EXISTING SIDEWALK
- 21 EXISTING LANDSCAPING
- 22 EV-READY SPACES FOR BUILDING 5
- 23 EV-CAPABLE SPACES FOR BUILDING 5
- 24 EV-SPACE FOR BUILDING 5
- 25 EV-READY SPACES FOR BUILDING 6A
- 26 EV-CAPABLE SPACES FOR BUILDING 6A
- 27 EV-SPACE FOR BUILDING 6A

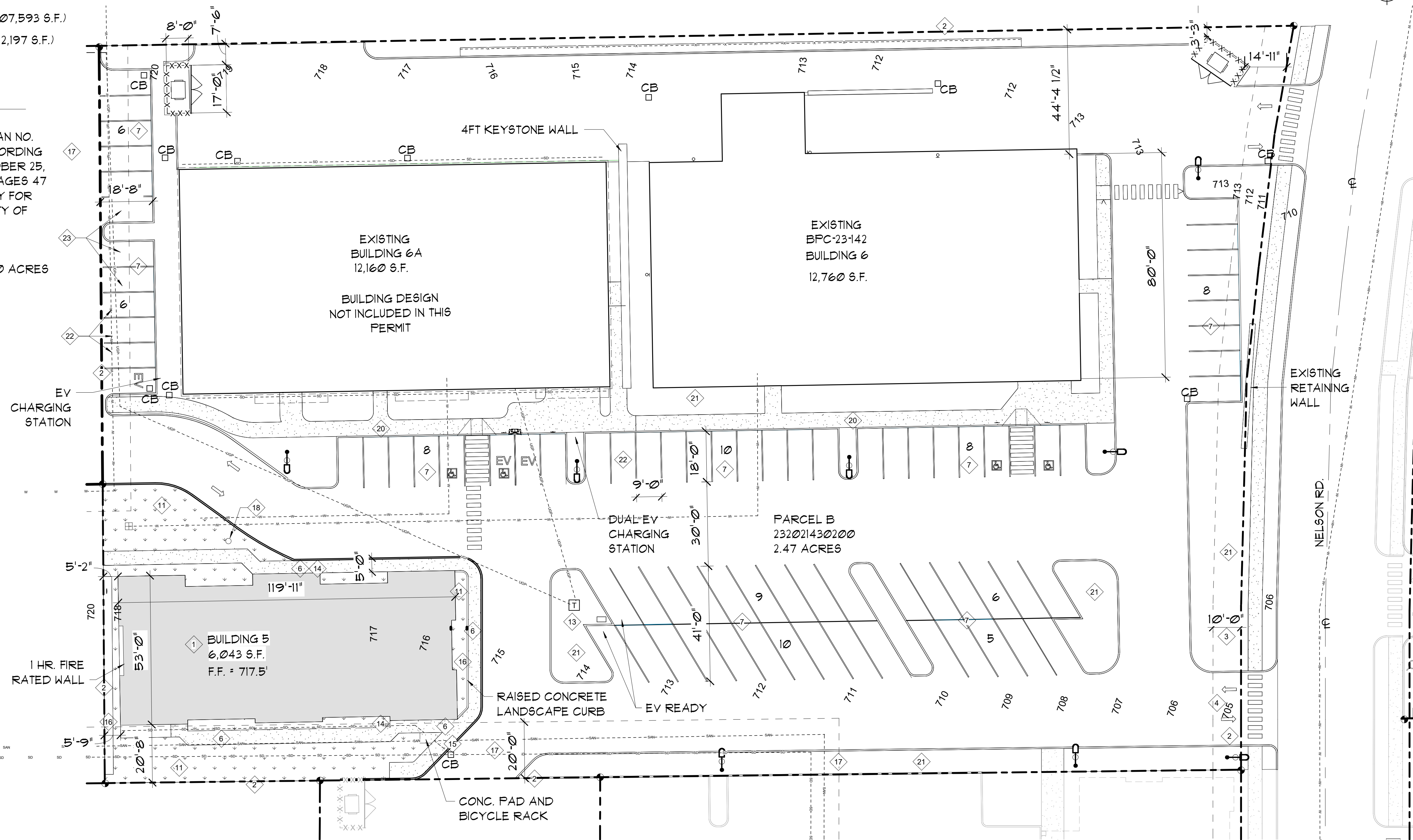
# LEGAL DESCRIPTION:

232021430200  
THAT PORTION OF LOT 3, BINDING SITE PLAN NO. 96-1, CHELAN COUNTY, WASHINGTON, ACCORDING TO THE PLAT THEREOF, RECORDED OCTOBER 25, 1996, IN BOOK SP-14, OF SHORT PLATS, PAGES 47 AND 48, LYING WEST OF THE RIGHT OF WAY FOR NELSON ROAD AS DEDICATED TO THE CITY OF WENATCHEE

232021430130  
T 23N R 20EWM S 21 LOT 2 B&F 96-1 0.2800 ACRES

# ARCHITECTURAL SITE PLAN

1" = 20'-0" @ FULL SIZE  
0 10 20 40



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4855 REGISTERED ARCHITECT  
MARK A. NEAL  
STATE OF WASHINGTON

PRELIMINARY

NEW BUILDING:  
**BUILDING 5 CORE AND SHELL**  
200 E. PENNY ROAD, WENATCHEE, WA

Date: 2024-07-22  
Scale Factor: 1  
Drawn: LC, OH, JJB  
File: 23461

Sheet  
**A1.1**

### PARKING CALCULATIONS:

PARKING REQUIREMENTS PER WCC TABLE 10.60.000  
 RETAIL: 3.5 SPACES PER 1,000 SQUARE FEET FOR  
 2,001 - 7,500 GFA

EXISTING BUILDING 6: 8,124,000 = 8.124 X 2.85 = 23 STALLS  
 WAREHOUSE 4,214,500 = 1 STALL

EXISTING BUILDING 6A: 12,160,000 = 12.16 X 2.85 = 35 STALLS

PROPOSED BUILDING 5: 6,000,000 = 6 X 3.5 = 21 STALLS

PARKING REDUCTION INCENTIVES - TRANSIT PER WCC10.60.070

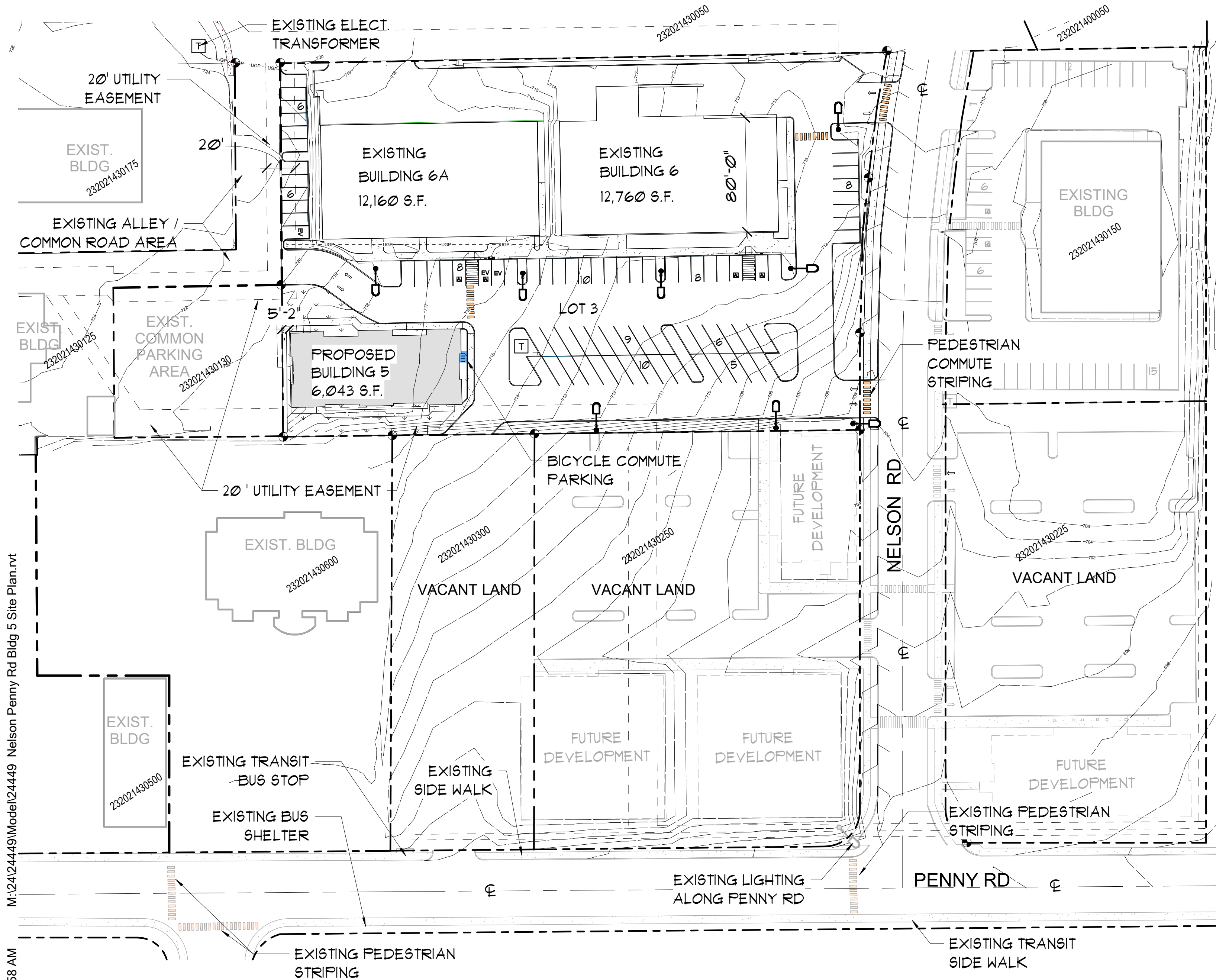
PROPOSED BUILDING 5: 21 X 20% = 4.2 STALLS  
 17 STALLS TOTAL

EV CHARGING STATIONS: 10% OF TOTAL PARKING SPACES  
 3 SPACES REQUIRED + PROPOSED  
 EV-READY SPACES: 10% OF TOTAL PARKING SPACES  
 3 SPACES REQUIRED + PROPOSED  
 EV-CAPABLE SPACES: 10% OF TOTAL PARKING SPACES  
 3 SPACES REQUIRED + PROPOSED  
 ACCESSIBLE STALLS: 2 STALLS REQUIRED  
 1 CAR + 1 VAN = 2 STALLS PROPOSED  
 10% OF EACH TYPE OF EV CHARGING SYSTEMS REQ.

NOTE: SEE A1.1 FOR EV CHARGING LOCATIONS

TOTAL REQUIRED STALLS: 75

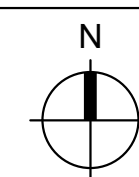
TOTAL PROPOSED STALLS: 76



### OVERALL ARCHITECTURAL SITE PLAN

1" = 50'-0" @ FULL SIZE

0 25 50 100



### GENERAL SITE NOTES:

- CONTRACTOR SHALL PROVIDE AND COORDINATE PLACEMENT, SIZE AND LOCATION OF ALL UNDERGROUND SLEEVE.
- ALL DIMENSIONS TO CURBS ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO BUILDING ARE PERPENDICULAR TO PROPERTY LINES UNLESS NOTED OTHERWISE.
- VERIFY ALL LOCATIONS OF PROPERTY LINES, UTILITY LINES AND EXISTING STRUCTURES.
- SEE GEOTECH REPORT FOR SUITABILITY OF EXCAVATED MATERIAL FOR FILL.
- REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO EXISTING SURFACES AND STRUCTURES. PROVIDE APPROPRIATE TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING CONDITIONS. EXTEND CONCRETE OR ASPHALT REPLACEMENT TO A UNIFORM TRANSITION OR THE NEAREST EXISTING JOINT.
- PROVIDE 4" PVC FOUNDATION DRAINAGE PIPE AT PERIMETER OF BUILDING TO NEAREST CATCH BASIN

### SITE PLAN LEGEND

1/4" = 1'-0"

- PROPERTY LINE
- SETBACK OR EASEMENT
- CONTOUR - NEW
- CONTOUR - EXISTING
- PROJECT LIMITS
- CONTRACTOR STAGING AREA
- LANDSCAPED AREA
- LANDSCAPING BUFFER AREA
- CONCRETE
- GRAVEL
- ASPHALT PAVEMENT
- HYDRANT
- FIRE DEPARTMENT CONNECTION (FDC)
- POST INDICATOR VALVE (PIV)
- SINGLE POST MOUNTED LIGHTING FIXTURE
- R9X1 LED P3 40K R3 (LITHONIA LIGHTING)
- WALL MOUNTED LIGHT W/ BATTERY BACKUP
- WDG2 LED P2 40K 80CRI YW (LITHONIA LIGHTING)
- WALL MOUNTED LIGHT
- WDG3 LED P3 70CRI R3 40K (LITHONIA LIGHTING)
- WATER METER
- ELECTRICAL TRANSFORMER

### LANDSCAPE CALCULATIONS:

FRONTAGE LANDSCAPING: A CONTINUOUS 6' (AVERAGE) AREA OF LANDSCAPING ALONG THE STREET RIGHT-OF-WAY SHALL BE REQUIRED.

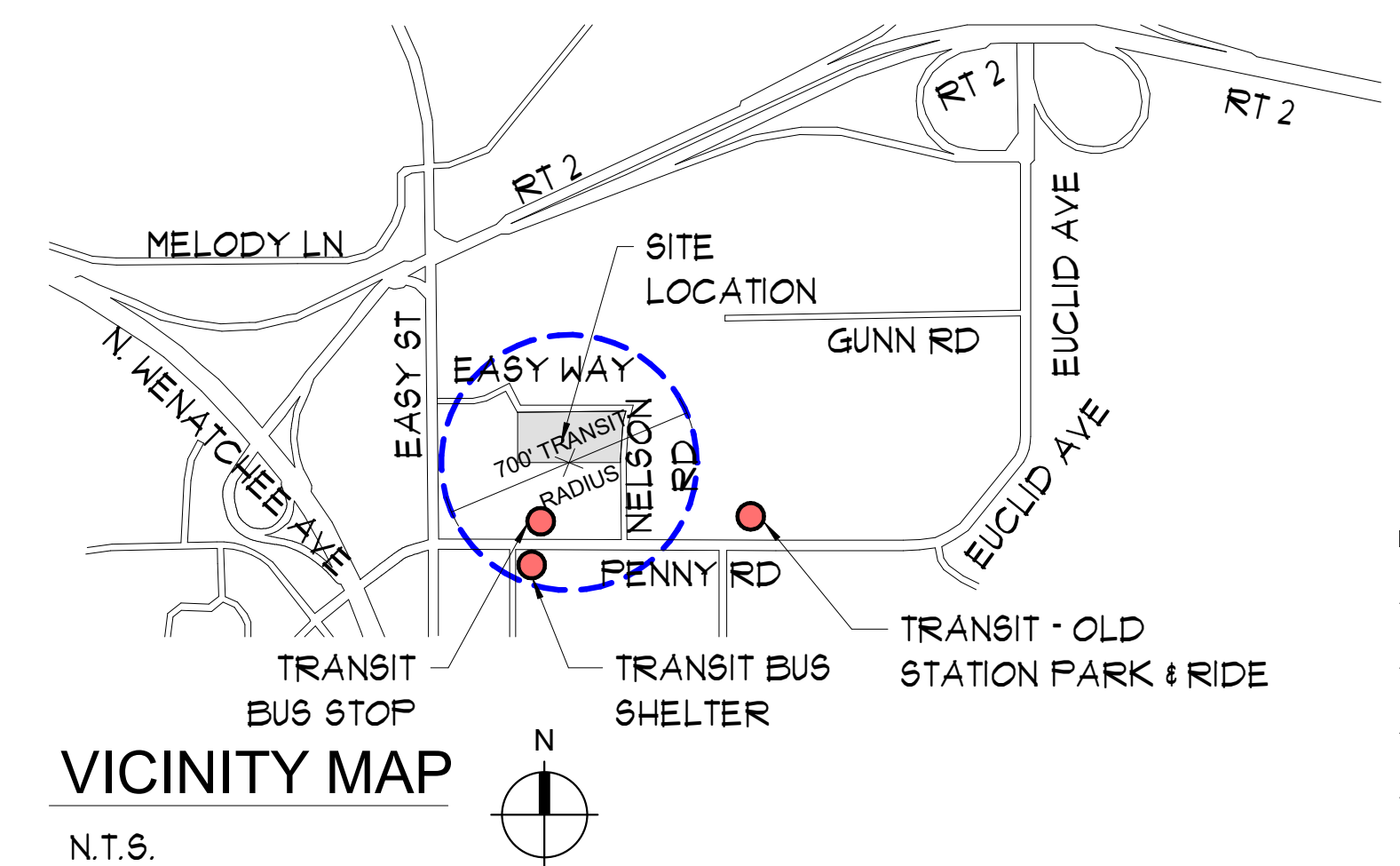
PARKING LOT LANDSCAPING: 17.5 S.F. REQUIRED PER 1 STALL FIRST 50 STALLS  
 25 S.F. REQUIRED PER STALL IN EXCESS OF 50 STALLS  
 22,957 S.F. PROVIDED

LANDSCAPE BUFFER: 10,62,070

### PEDESTRIAN AMENITIES REQUIREMENTS:

10.26.050 (5)

PROVIDED:



### VICINITY MAP

N.T.S.

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PRELIMINARY

NEW BUILDING:  
 BUILDING 5 CORE AND SHELL  
 200 E. PENNY ROAD, WENATCHEE, WA

Date: 2024-07-22

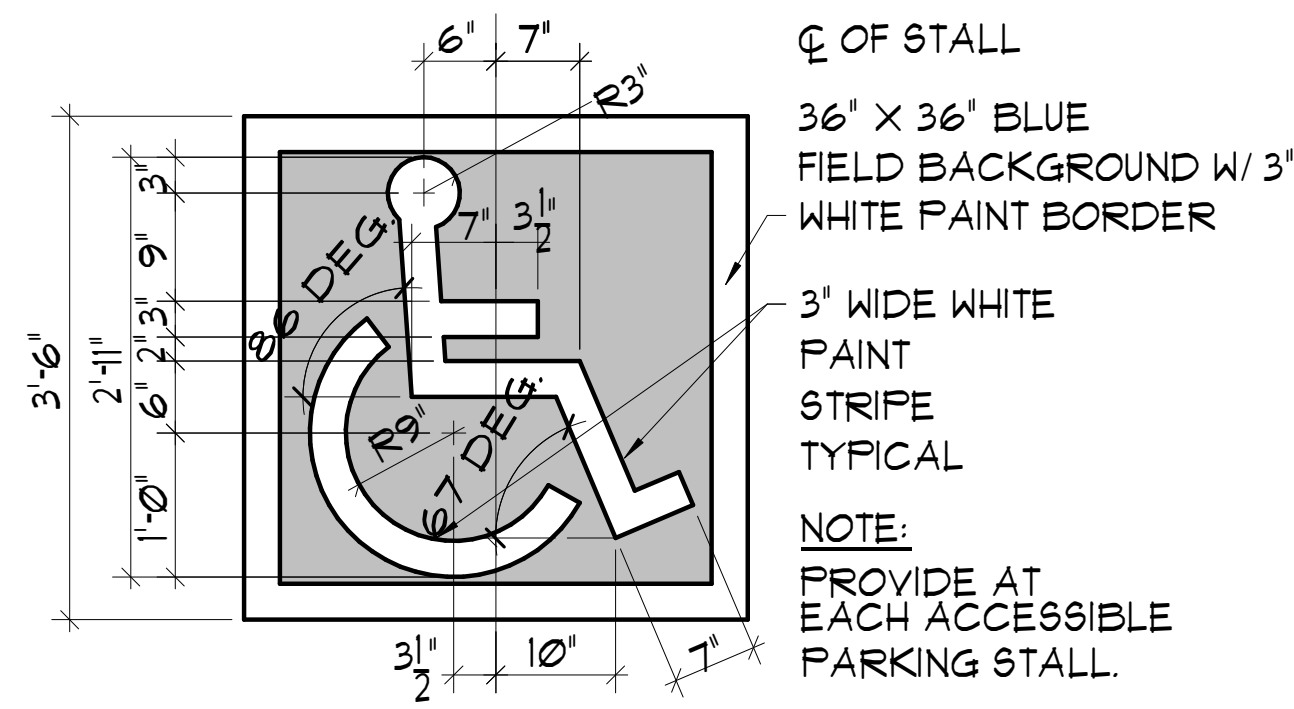
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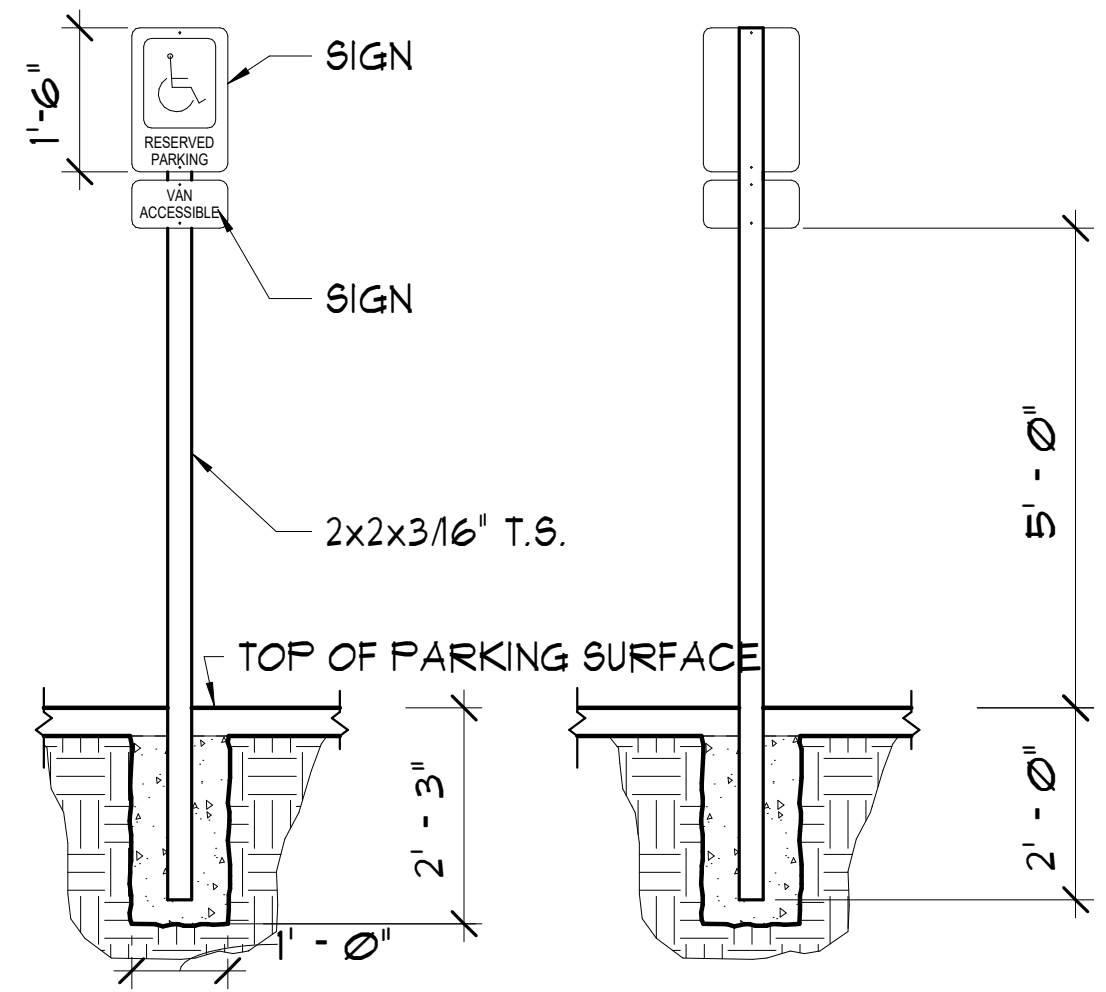
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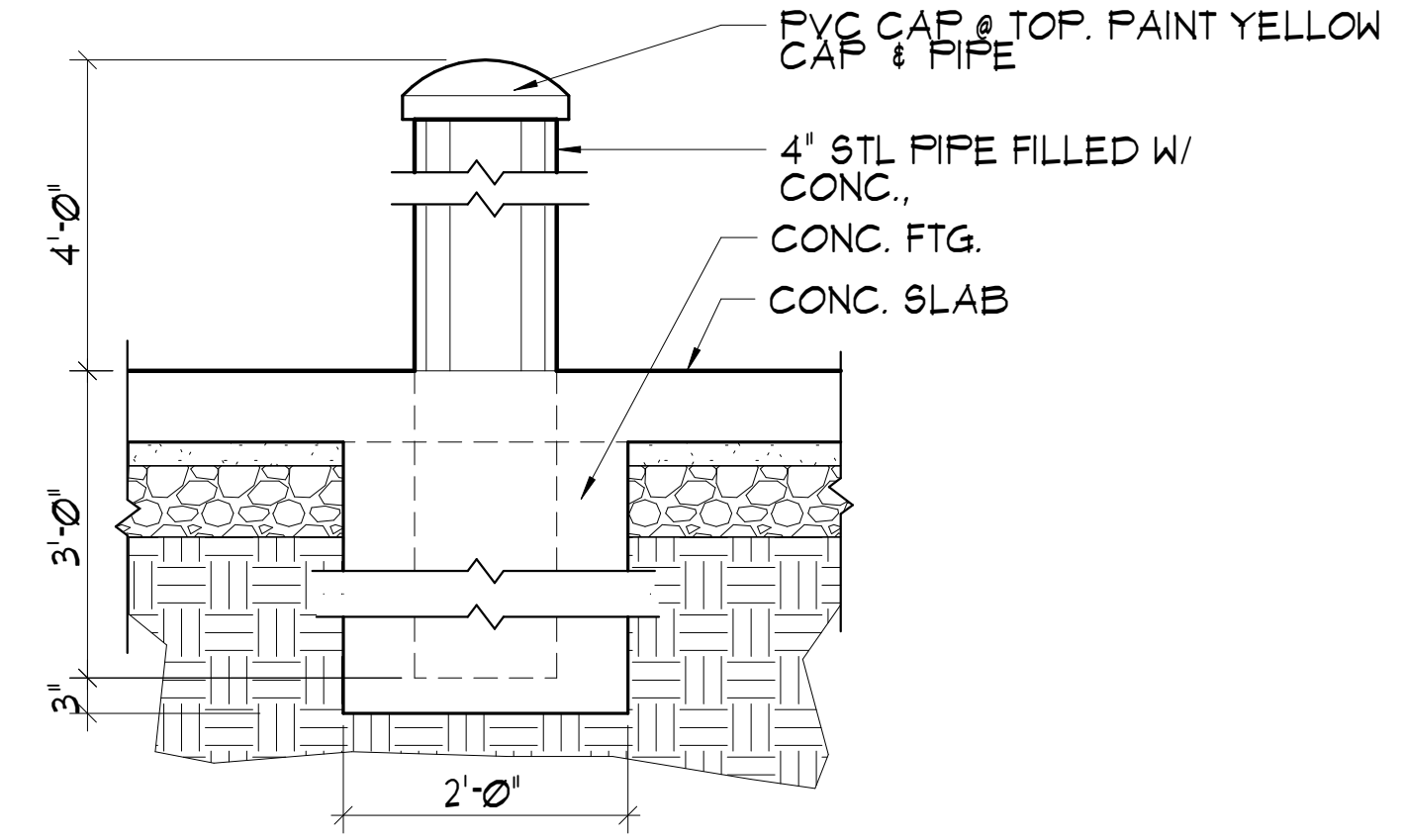
# A1.2



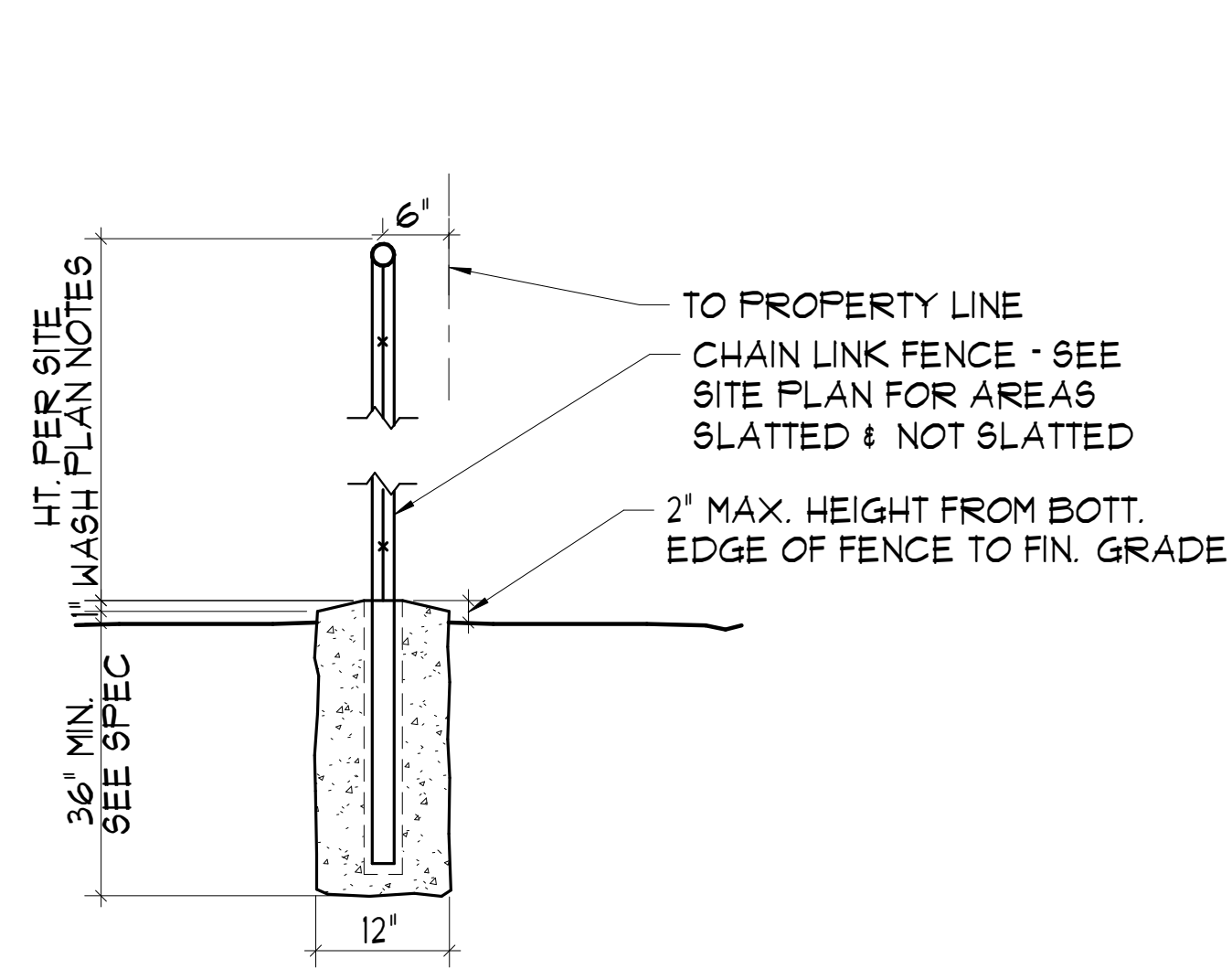
**1 INTERN'L SYMBOL OF ACCESSIBILITY**  
3/4" = 1'-0"



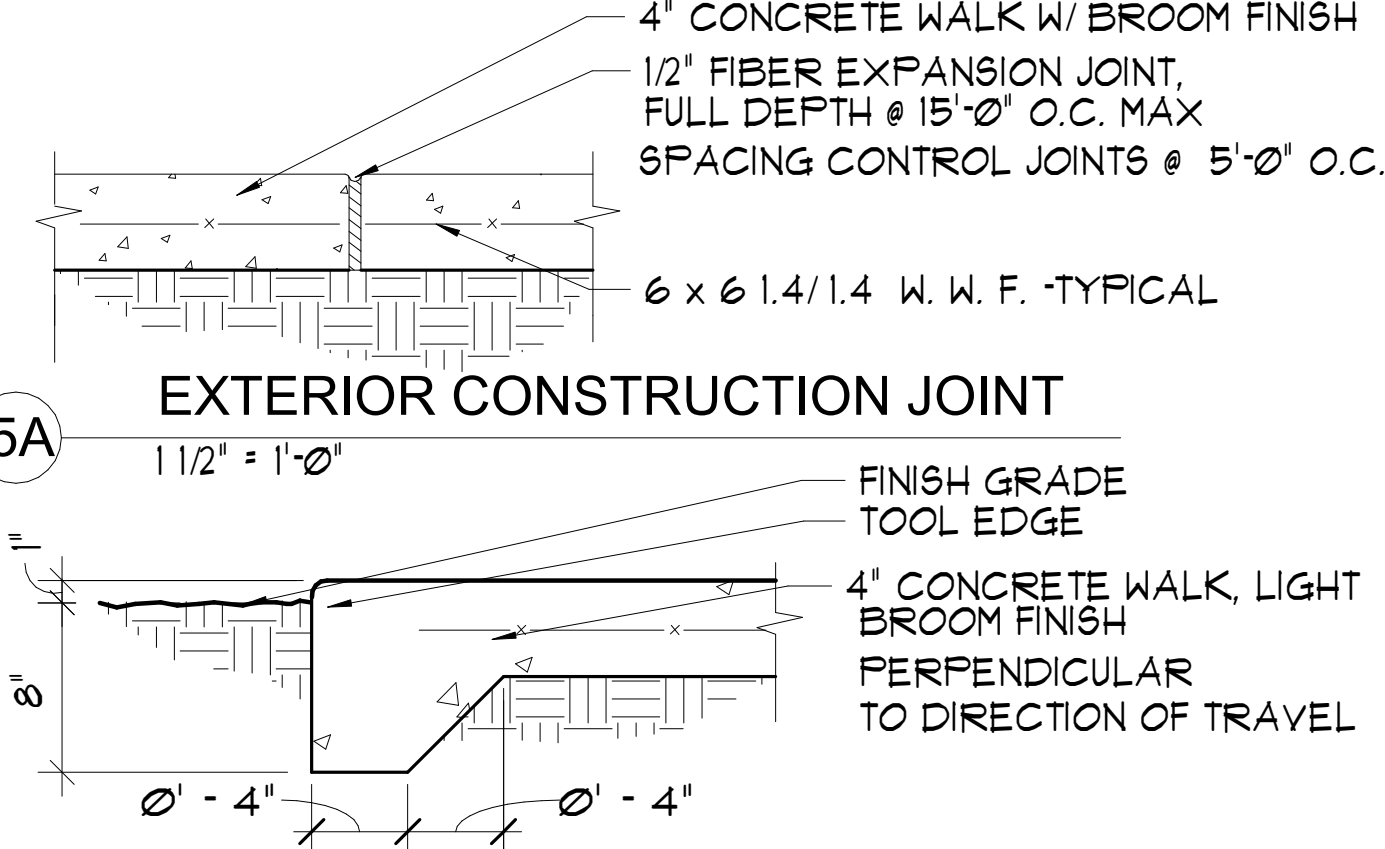
**5 ACCESSIBLE SIGNAGE**  
1/2" = 1'-0"



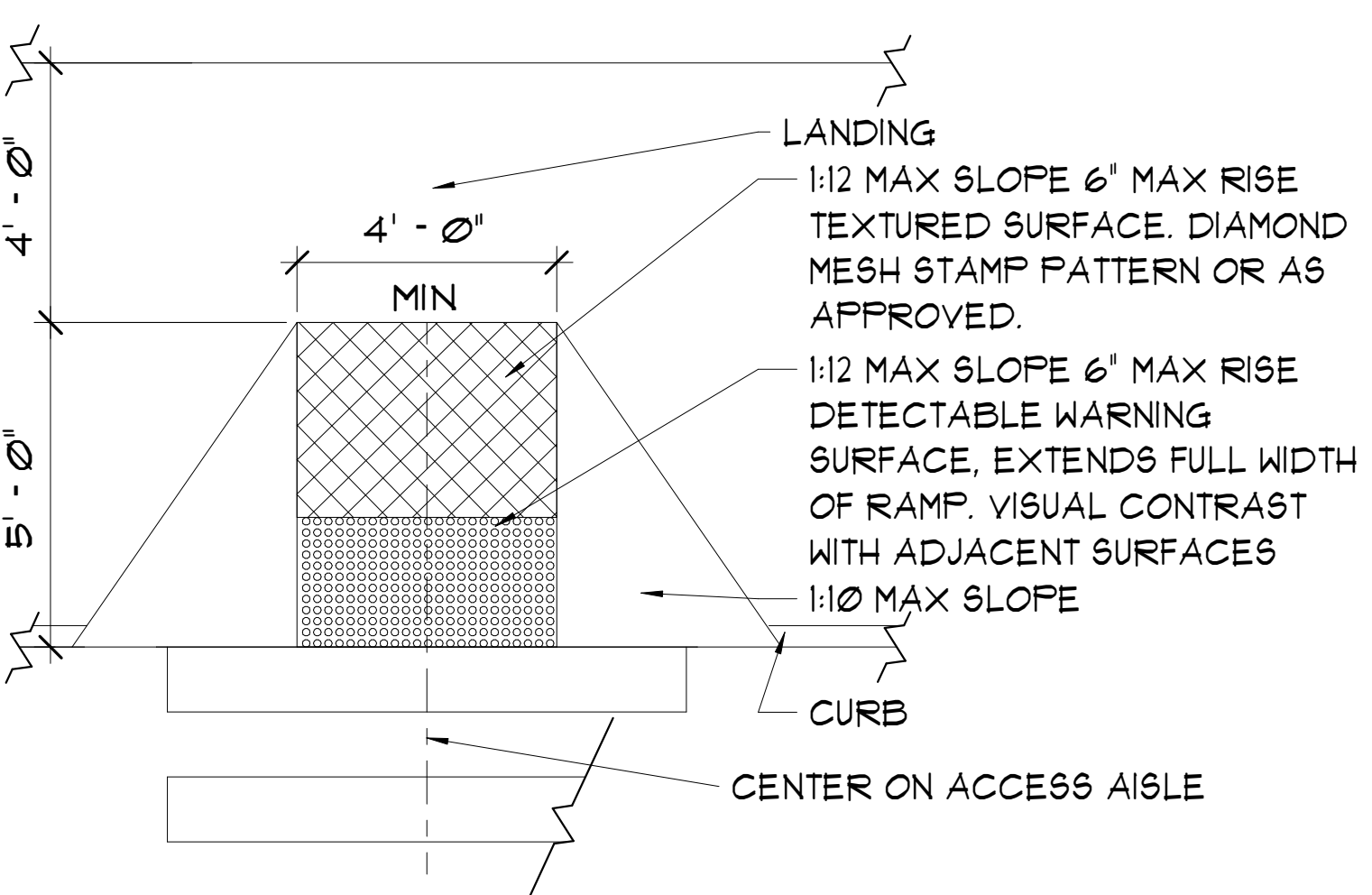
**2 PIPE BOLLARD**  
3/4" = 1'-0"



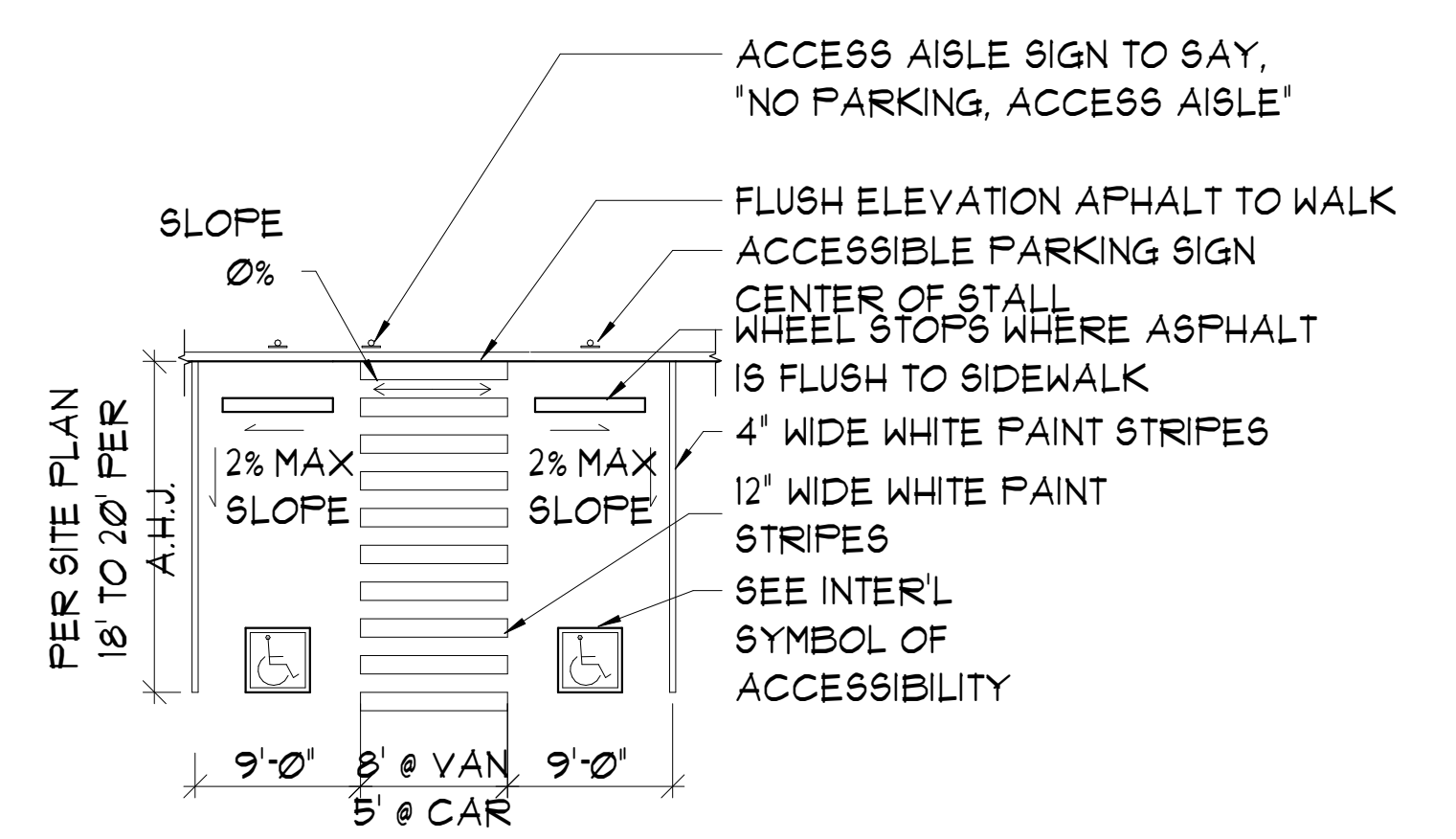
**6 CHAINLINK FENCE POST**  
3/4" = 1'-0"



**3 WALK EDGE & PLANTER LAWN**  
1 1/2" = 1'-0"



**8 CURB RAMP @ ACCESSIBLE PARKING**  
3/8" = 1'-0"



**16 ACCESSIBLE PARKING STALL**  
1" = 10'-0"

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4585 REGISTERED ARCHITECT  
MARK J. NEAL  
STATE OF WASHINGTON  
**PRELIMINARY**

**NEW BUILDING:  
BUILDING 5 CORE AND SHELL**  
200 E. PENNY ROAD, WENATCHEE, WA

Date: 2024-07-22  
Scale Factor: 1  
Drawn: JJB  
File: 23461  
Sheet  
**A1.3**

## GENERAL FLOOR PLAN NOTES

1. ALL GRIDLINES ARE AT FACE OF SHEATHING OR CONCRETE.
2. ALL DIMENSIONS TO WINDOWS ARE TO CENTER OF OPENING, U.N.O.
3. REFER TO STRUCTURAL DRAWINGS FOR SIZE AND LOCATIONS OF STRUCTURAL MEMBERS, HOLD DOWNS, AND SHEAR WALLS.
4. REFER TO ROOF PLAN FOR LOCATION OF DOWNSPOUTS.
5. PROVIDE MINIMUM OF THREE (3) STUDS AT CORNERS, TYPICAL.
6. ALL EXTERIOR WALLS TO BE WALL TYPE 1, U.N.O., SEE EXTERIOR ELEVATIONS FOR SIDING MATERIALS.

# KEYNOTE SYMBOL

## MAIN FLOOR PLAN KEYNOTES

- 1 ELECTRICAL SERVICE WALL
- 2 PLUMBING SERVICE ENTRY ROUGH IN AREA
- 3 PHOTOVOLTAIC, ELECTRICAL VEHICLE AND INVERTER SYSTEM PANEL SPACES
- 4 EXTERIOR CONCRETE LANDING, SEE SITE PLAN

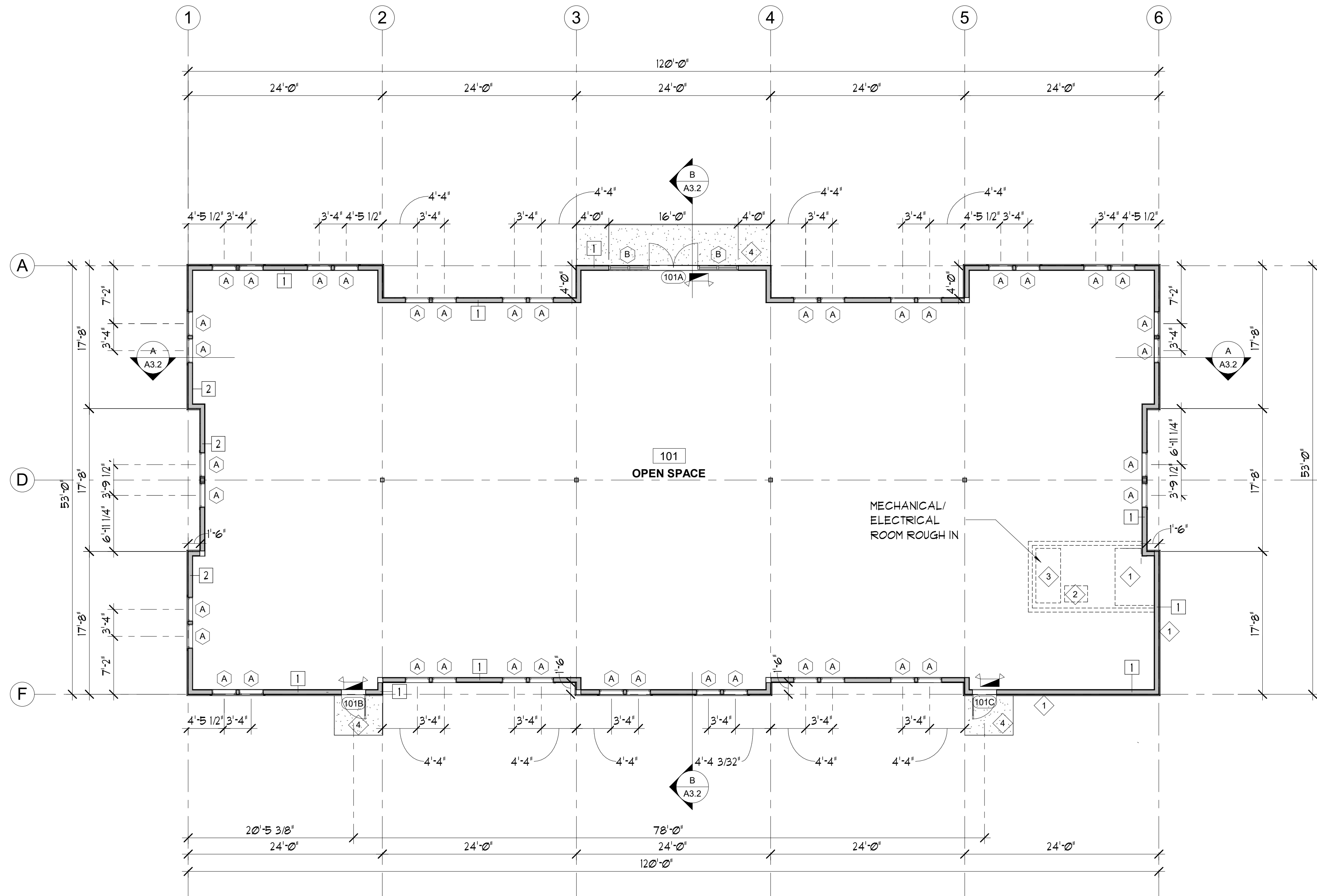
## FLOOR PLAN LEGEND

EXIT SIGN

## WALL TYPES

1/4" = 1'-0"

- 1 WALL TYPE 1
- 2 WALL TYPE 2- FIRE RATED



## MAIN FLOOR PLAN

1/8" = 1'-0" @ FULL SIZE



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NEW BUILDING FOR:  
**BUILDING 5 CORE AND SHELL**  
 PENNY ROAD, WENATCHEE, WA

Date: 2024-07-26

Scale Factor: 1

Drawn: OH

File: 24449

Sheet

# A2.1



# GENERAL ROOF PLAN NOTES

1. ALL ROOFING TO BE CONCEALED METAL FASTENER.
2. PROVIDE UNDERLAYMENT ICE SHIELD.
3. PROVIDE ROOF AND ATTIC VENTILATION PER CALCULATIONS, THIS SHEET.
5. DOWNSPOUT LOCATIONS, INSTALL MORE WHERE NEEDED TIGHTLINE TO STORM.
6. ALL ROOF OVERHANGES TO BE 4'-0" MIN. U.N.O.
7. SEE SECTIONS FOR ROOF HEIGHTS.

# KEYNOTE SYMBOL

# ROOF PLAN KEYNOTES

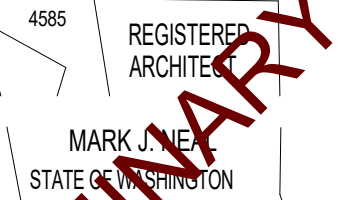
- 1 ROOF DRAINS - SEE SHEET A2.2 FOR DETAILS
- 2 PARAPET WALLS
- 3 ROOF CRICKETS, SEE DETAILS

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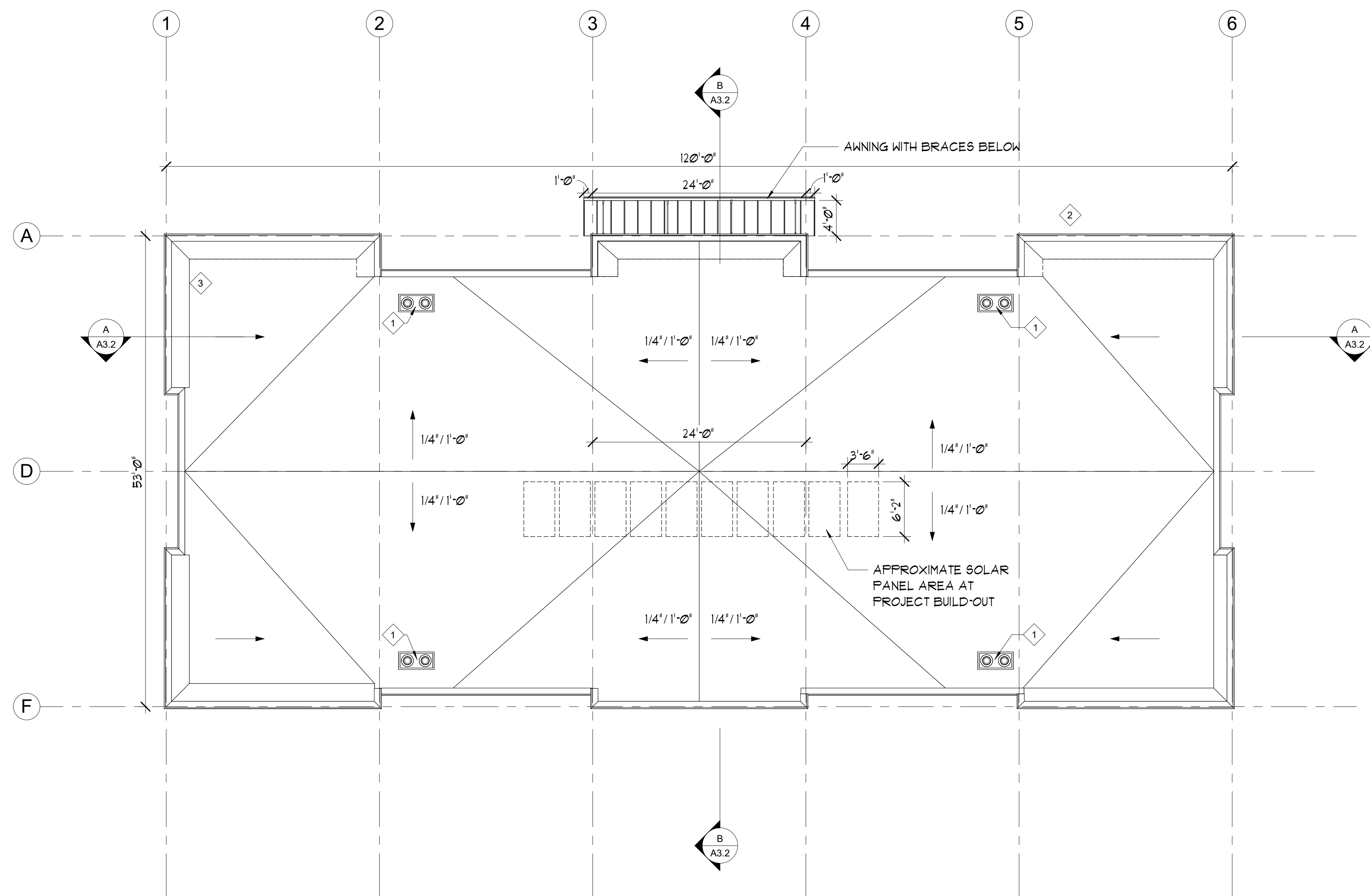
NEW BUILDING FOR:  
**BUILDING 5 CORE AND SHELL**  
 PENNY ROAD, WENATCHEE, WA

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**A2.2**

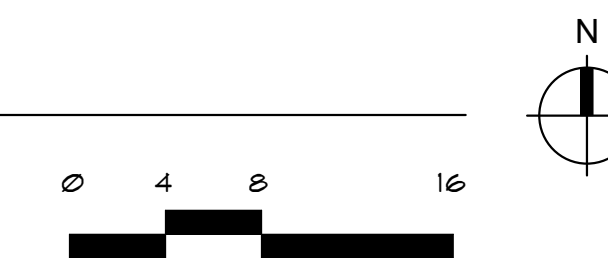
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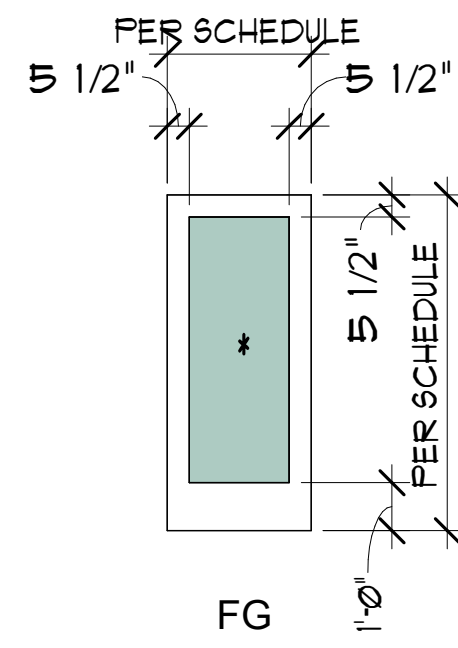
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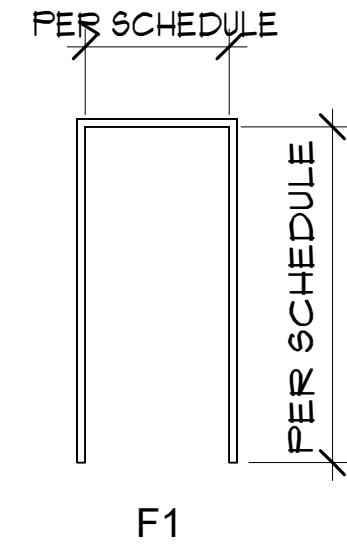
# ROOF PLAN

1/8" = 1'-0" @ FULL SIZE

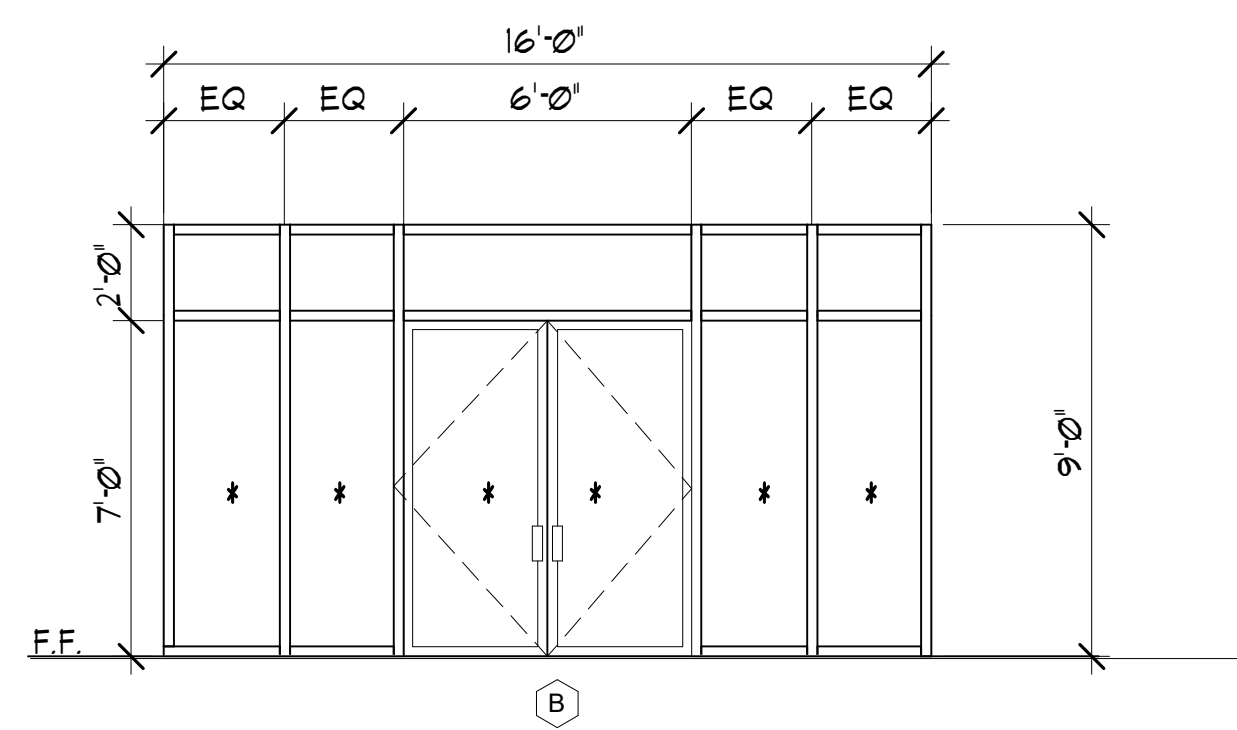
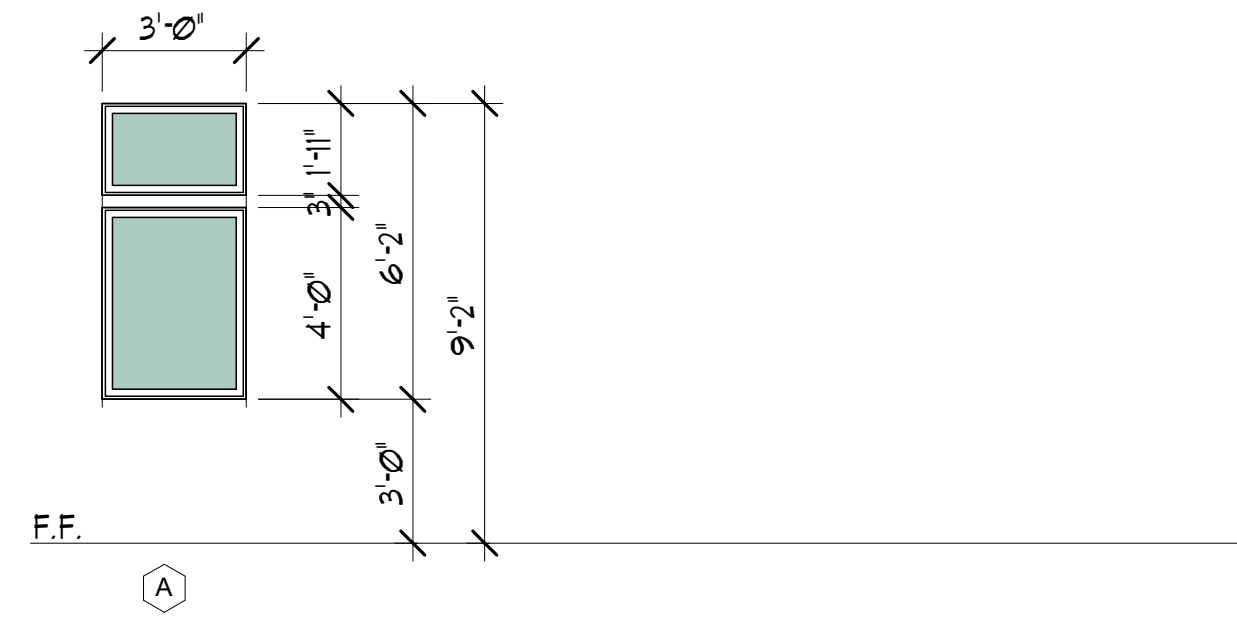




### DOOR ELEVATIONS



### DOOR FRAME TYPES



### WINDOW ELEVATIONS

1/4" = 1'-0"

DOOR SCHEDULE															
DOOR NO.	WIDTH	HEIGHT	DOOR				FRAME		HDWR GRP	DETAIL			LABEL (HR)	COMMENTS	
			ELEV	CONST	M	F	TYPE	M		F	JAMB	HEAD			SILL
101A	6' - 0"	7' - 0"	FG	TYPE 2	ALUM	-	-	ALUM	-	HI	12/A3.6	16/A83.6	-	NR	ALUMINUM STOREFRONT
101B	3' - 0"	7' - 0"	FG	1	HM	PT	FI	HM	PT	HI				NR	
101C	3' - 0"	7' - 0"	FG	1	HM	PT	FI	HM	PT	HI				NR	

### DOOR NOTES

- FOR M (MATERIAL) AND F (FINISH) SEE ABBREVIATIONS
- SEE ENERGY NOTES FOR OPAQUE DOOR U-FACTOR
- \* SYMBOL INDICATES TEMPERED GLAZING

### DOOR CONSTRUCTION

- TYPE 1 : 18 GA. INSULATED HOLLOW METAL
- TYPE 2 : ALUMINUM STOREFRONT



### ABBREVIATIONS

- ALUM ALUMINUM
- HM HOLLOW METAL
- PT PAINT
- ST STAIN

### HARDWARE GROUPS

- HI EXIT DOOR: PANIC BAR, CLOSER, FULL THRESHOLD, DOOR BOTTOM

PROVIDE 1 1/2" PAIR HINGES PER LEAF & LEVER HANDLES AT ALL DOORS, AND WALL BUMPERS AT DOORS OPENING TO WALLS.

### WINDOW NOTES

- \* SYMBOL INDICATES TEMPERED GLAZING
- FIELD VERIFY ALL DIMENSIONS
- SEE ENERGY CODE NOTES FOR U-FACTOR AND SHGC
- AT FIRE RATED WEST WALL WINDOWS TO BE 45 MIN. FIRE RATED.

WINDOW SCHEDULE					
MARK	OPERATION	WIDTH	HEIGHT	REMARKS	
A	FIXED - FIXED	3' - 0"	5'-0"	ALUMINUM - THERMALLY BROKEN	
B	STOREFRONT	16'-0"	9'-0"	ALUMINUM - THERMALLY BROKEN	

ROOM FINISH SCHEDULE														
ROOM NO.	ROOM NAME	FLOOR			WALLS								REMARKS	
		M	F	BASE	NORTH		EAST		SOUTH		WEST			
					M	F	M	F	M	F	M	F		
101	OPEN SPACE	CONC	SLR		GWB	PT	GWB	PT	GWB	PT	GWB	PT	PT	SEE WALL TYPE 2 FOR WEST WALL TO BE FIRE RATED

### FINISH MATERIAL NOTES

- EXTERIOR EXPOSED STEEL TO BE PAINTED TBD
- EXTERIOR WOOD BEAMS TO BE STAINED TBD
- EXTERIOR HM DOORS TO BE PAINTED TBD
- EXTERIOR DOOR FRAMES TO BE PAINTED TBD
- ALL WINDOW SILLS POLY-I. WINDOW SILLS TO BE INSTALLED ON ALL EXTERIOR WINDOWS UNO

### FINISH ABBREVIATIONS

- CONC CONCRETE
- CMU CONCRETE MASONRY UNIT
- GWB GYPSUM WALLBOARD
- OPW OPERABLE WALL
- SLR SEALER
- TBD TO BE DETERMINED
- WD WOOD
- FPLY FIRE-TREATED PLYWOOD

REVISIONS	BY



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PRELIMINARY

NEW BUILDING FOR:

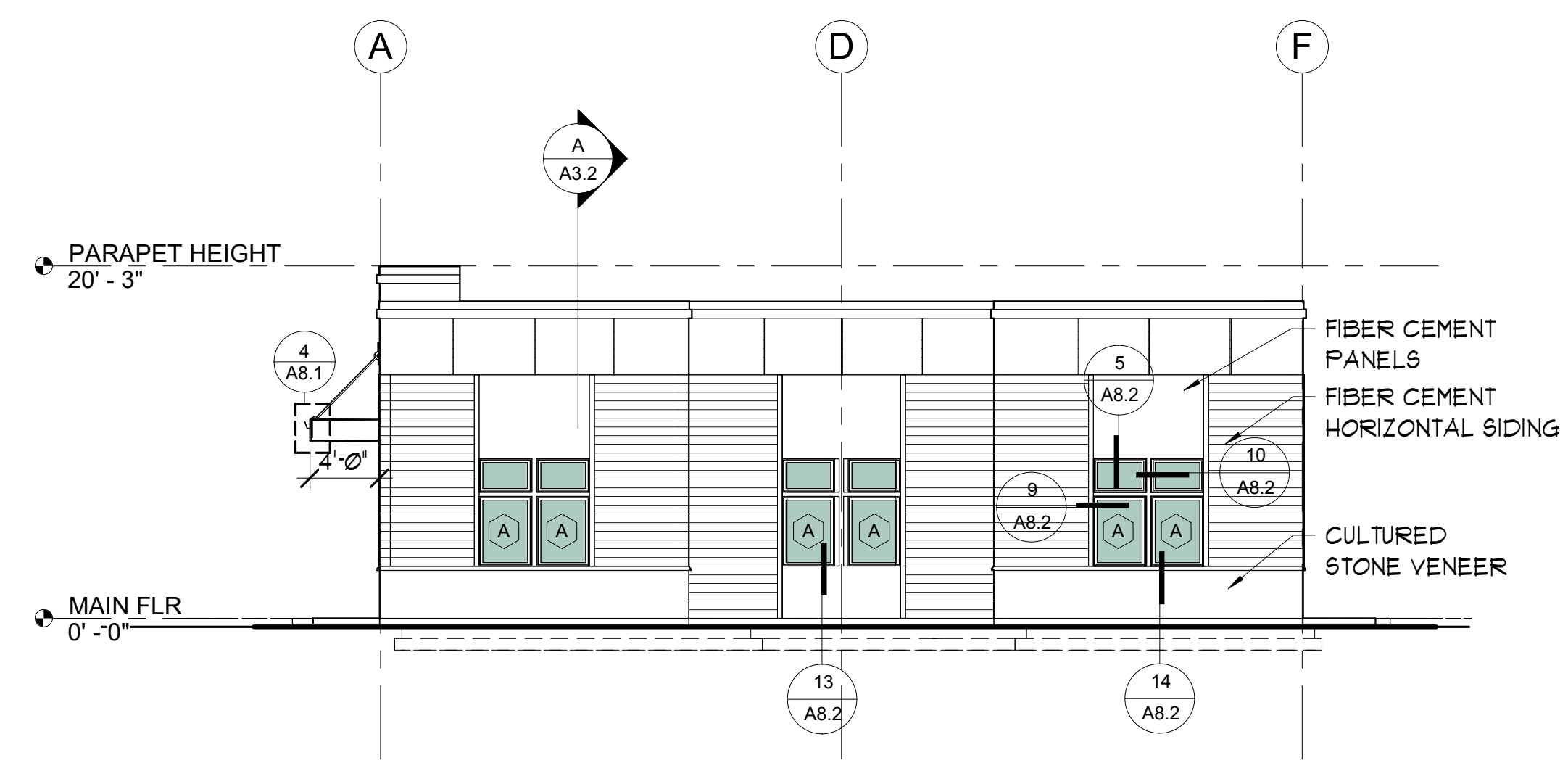
**BUILDING 5 CORE AND SHELL**  
 PENNY ROAD, WENATCHEE, WA

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File:	24449

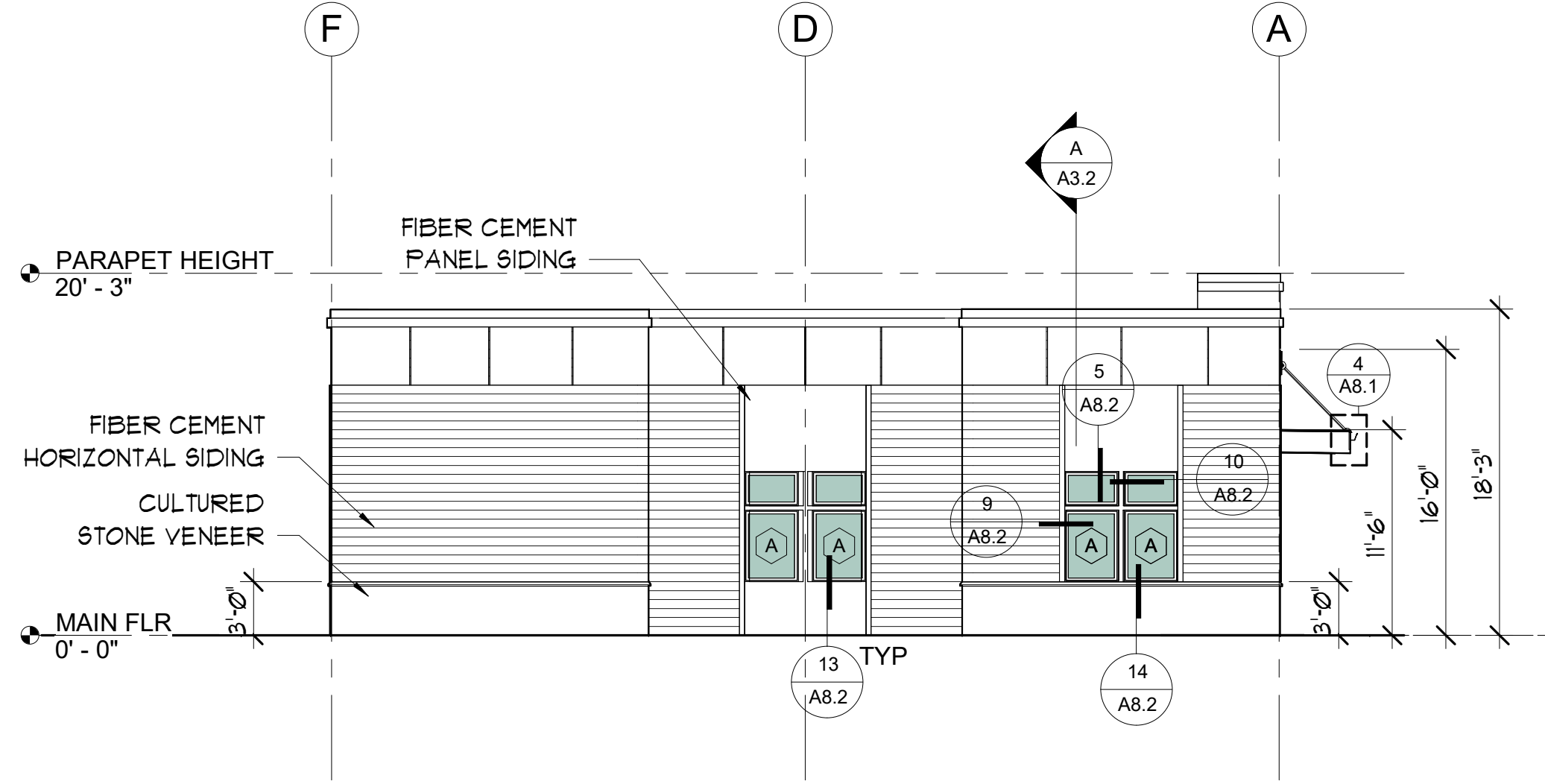
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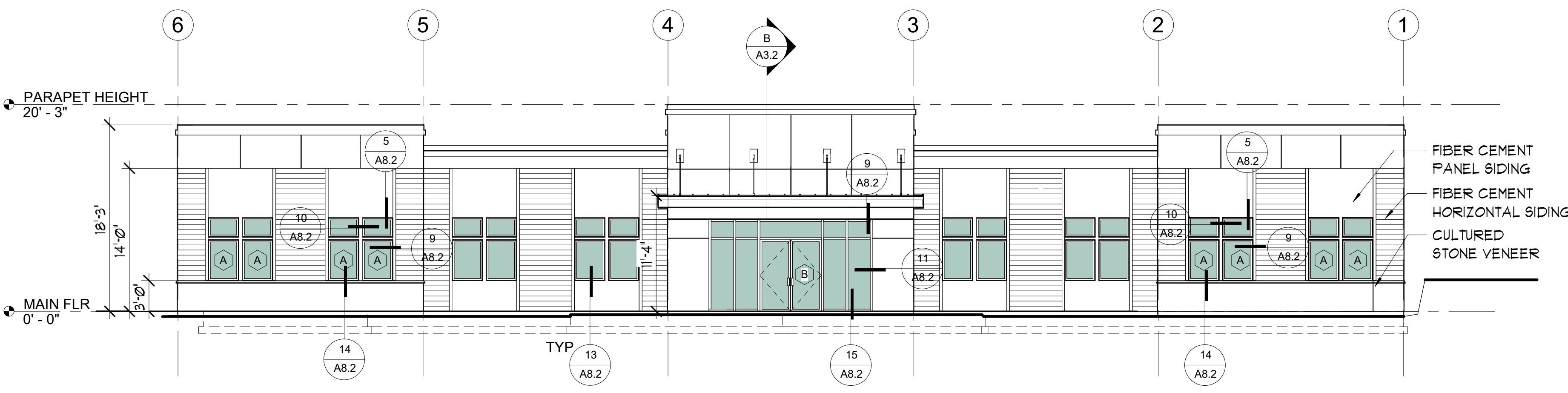
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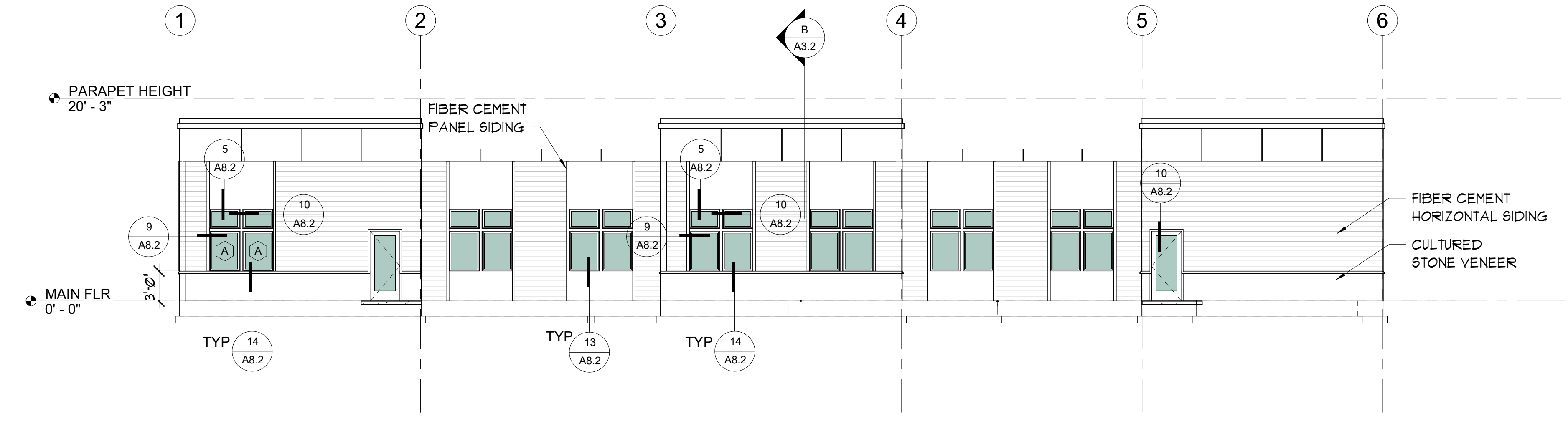
**EAST ELEVATION (SIDE)**  
1/8" = 1'-0"



**WEST ELEVATION (SIDE)**  
1/8" = 1'-0"



**NORTH ELEVATION - MAIN ENTRY**  
1/8" = 1'-0"



**SOUTH ELEVATION (REAR)**  
1/8" = 1'-0"

# KEYNOTE SYMBOL  
**ELEVATION KEYNOTES**

**ELEVATION GENERAL NOTES**

- SEE ROOF PLANS FOR DOWNSPOUT LOCATIONS.
- SEE ROOF PLAN FOR ROOF SLOPE INFORMATION.

**MATERIALS LEGEND**

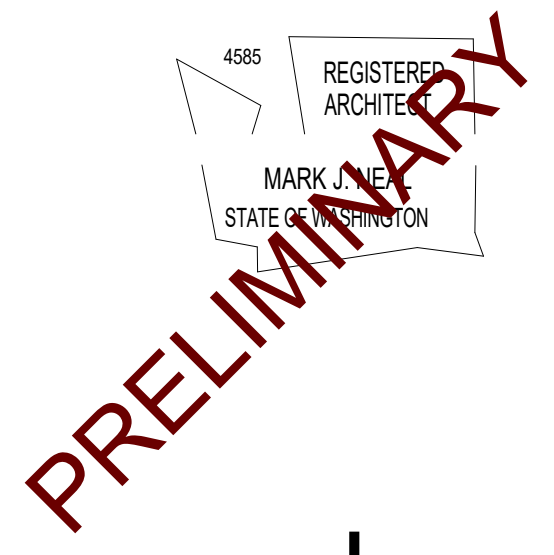
	4" FIBER CEMENT LAP SIDING	COLOR TBD.
	CULTURED STONE	COLOR TBD.
	FIBER CEMENT REVEAL PANEL SYSTEM	COLOR TBD.

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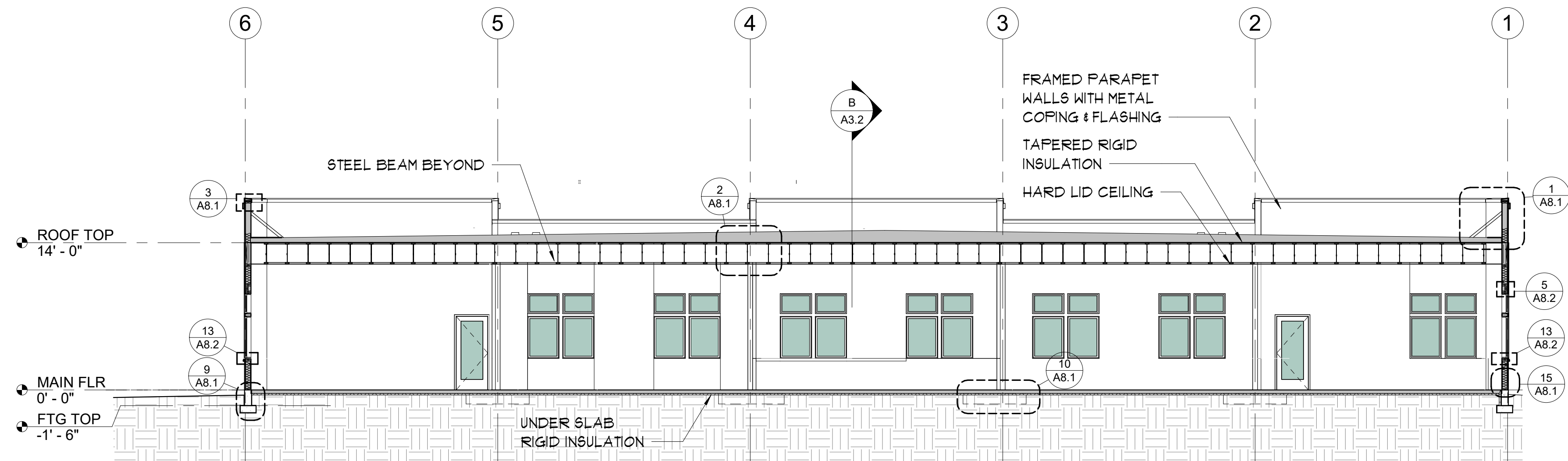
NEW BUILDING FOR:

**BUILDING 5 CORE AND SHELL**  
PENNY ROAD, WENATCHEE, WA

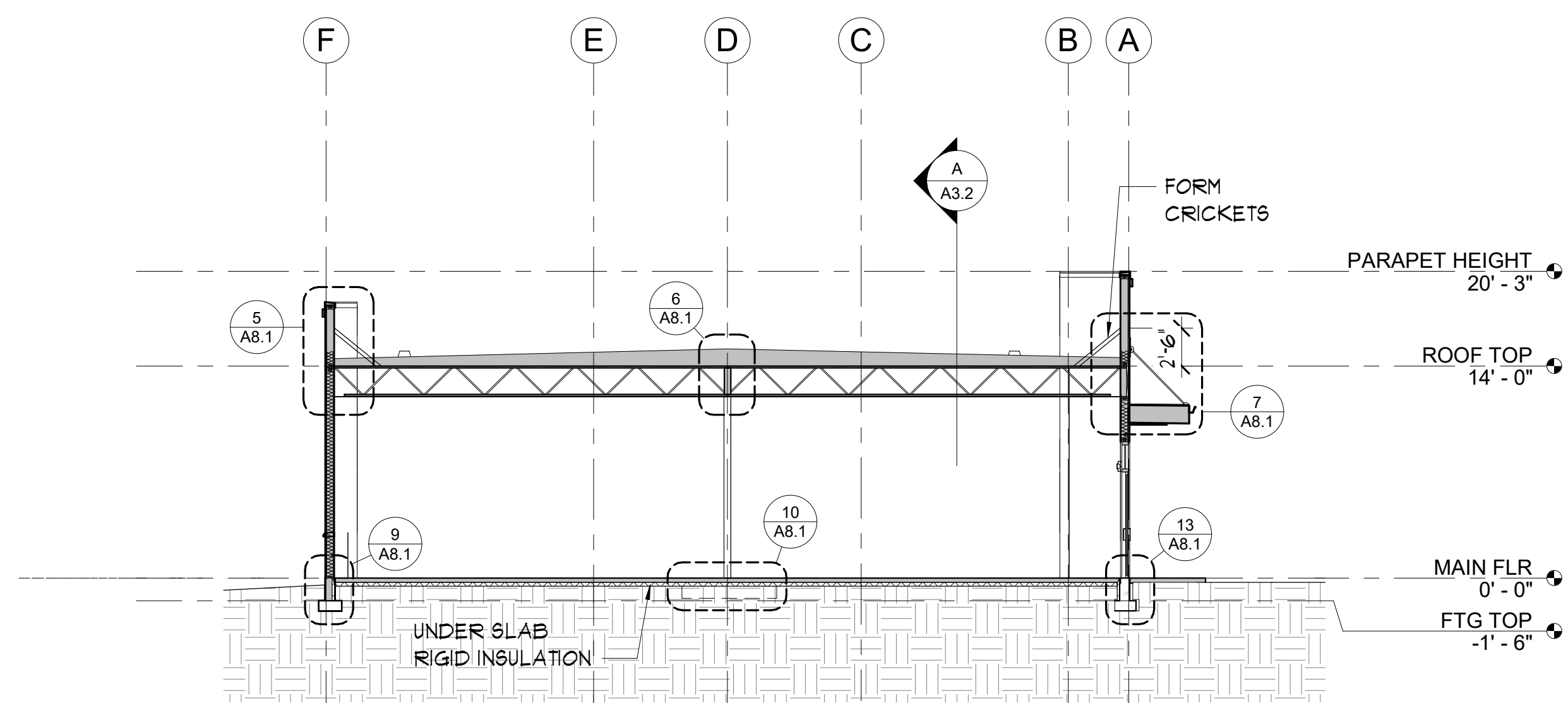
Date:	2024-07-26
Scale Factor:	1
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File:	24449

Sheet  
**A3.1**

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**SECTION A-A**  
1/8" = 1'-0"

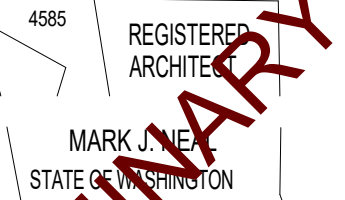


**SECTION B-B**  
1/8" = 1'-0"



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**NEW BUILDING FOR:**  
**BUILDING 5 CORE AND SHELL**  
 PENNY ROAD, WENATCHEE, WA

Date: 2024-07-26  
 Scale Factor: 1  
 Drawn: OH  
 File: 24449

Sheet  
**A3.2**

# KEYNOTE SYMBOL  
**REFLECTED CEILING PLAN KEYNOTES**  
 1 CONCEALED SPACE ACCESS HATCH, COORDINATE WITH TRUSS LAYOUT.

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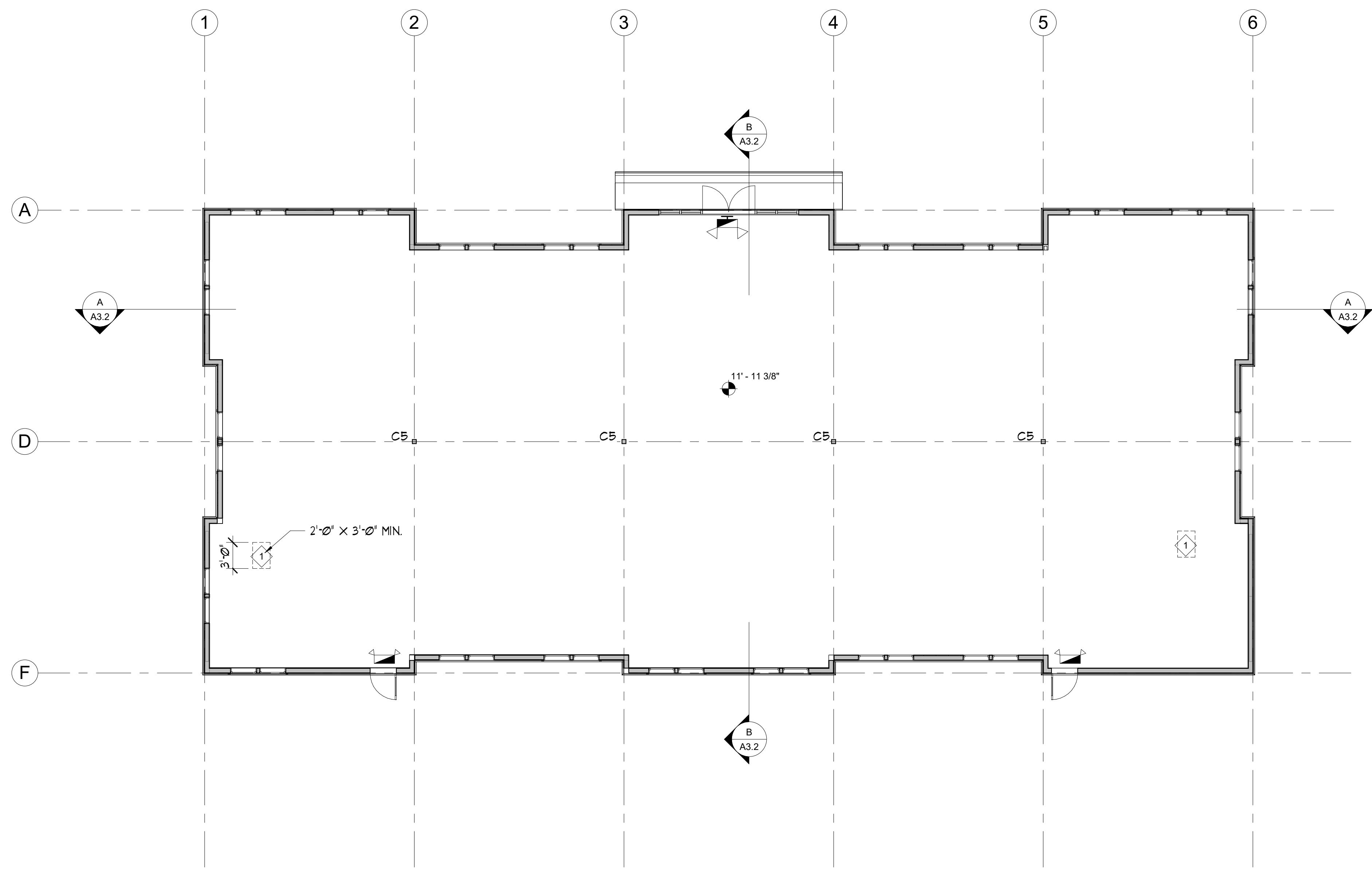


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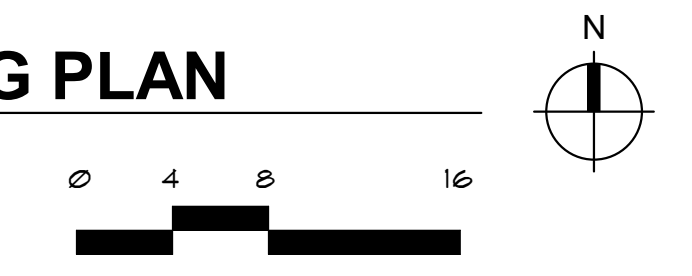
**CEILING LEGEND**

- INDICATES EMERGENCY LIGHTING
- INDICATES ARROW DIRECTION
- EXIT SIGN
- INDICATES WALL MOUNT
- BOTTOM SURFACE OF CEILING REFERENCE

**CEILING TYPES**  
 C5 5/8" TYPE X GWB WITH VAPOR BARRIER

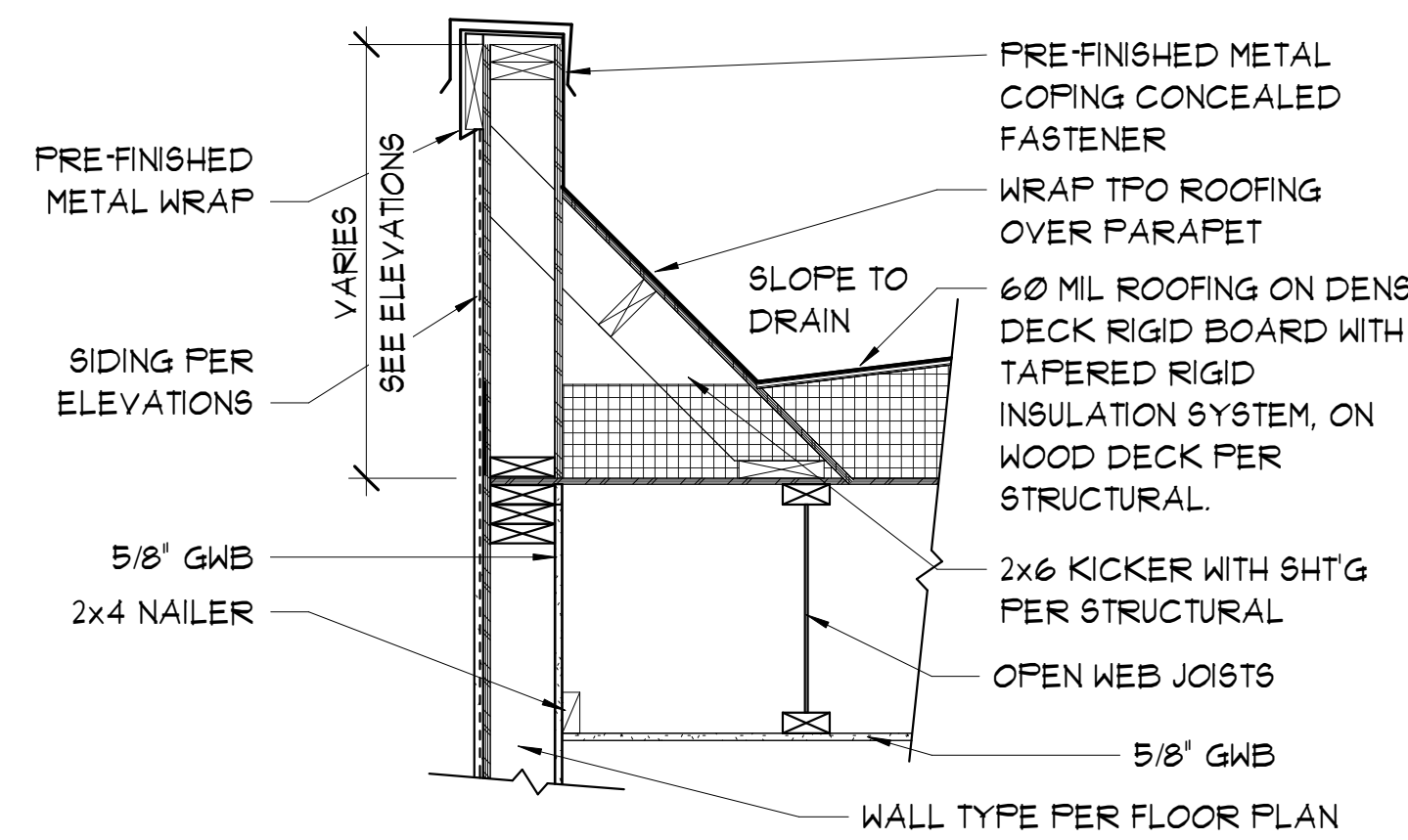
**REFLECTED CEILING PLAN**

1/8" = 1'-0" @ FULL SIZE

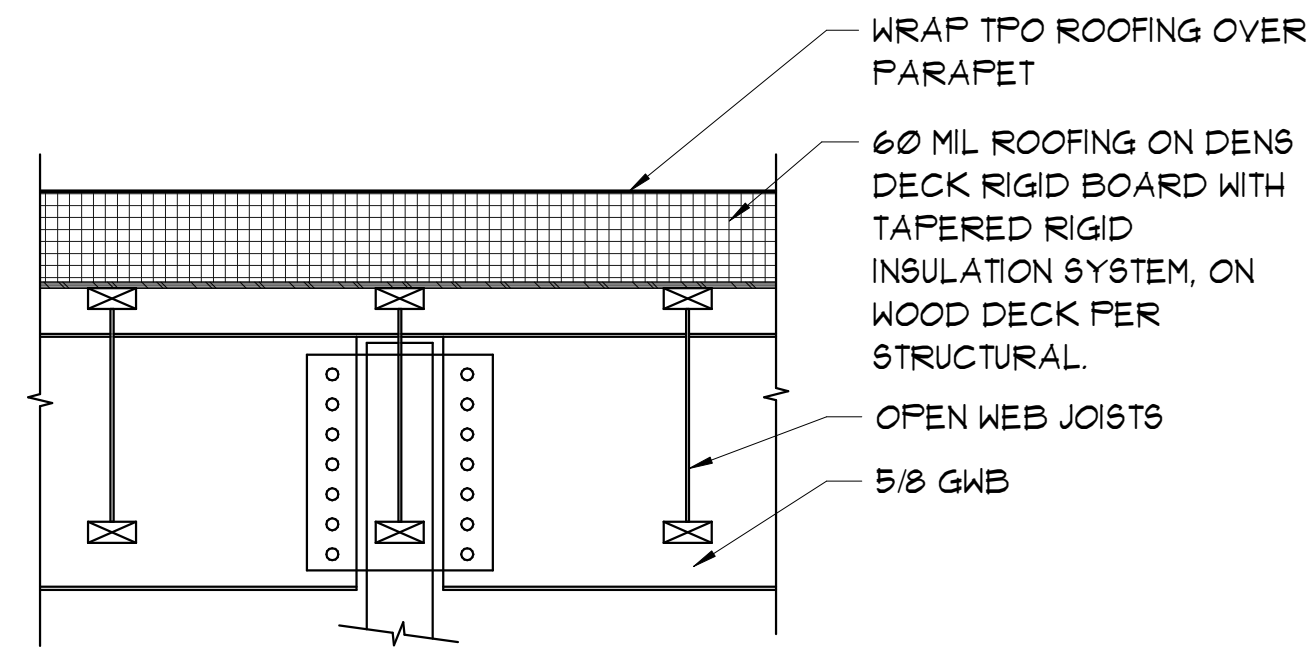


**NEW BUILDING FOR:**  
**BUILDING 5 CORE AND SHELL**  
 PENNY ROAD, WENATCHEE, WA

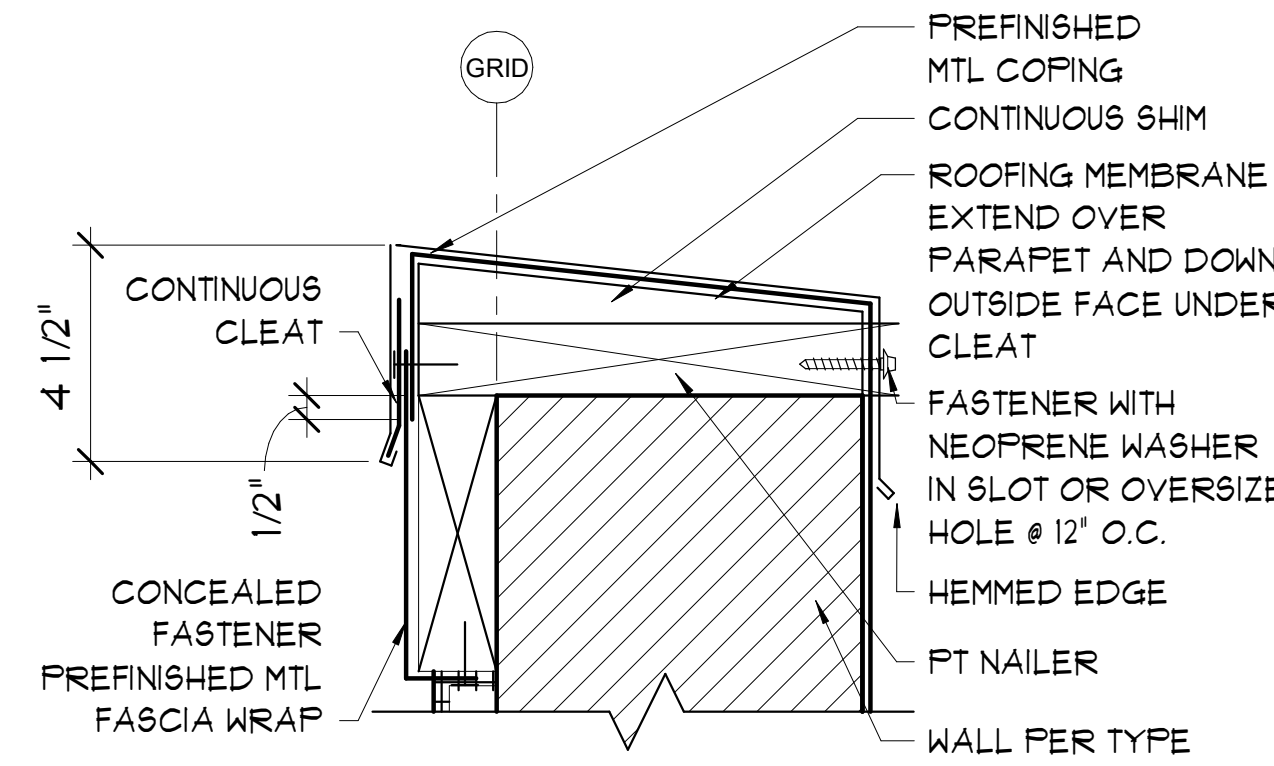
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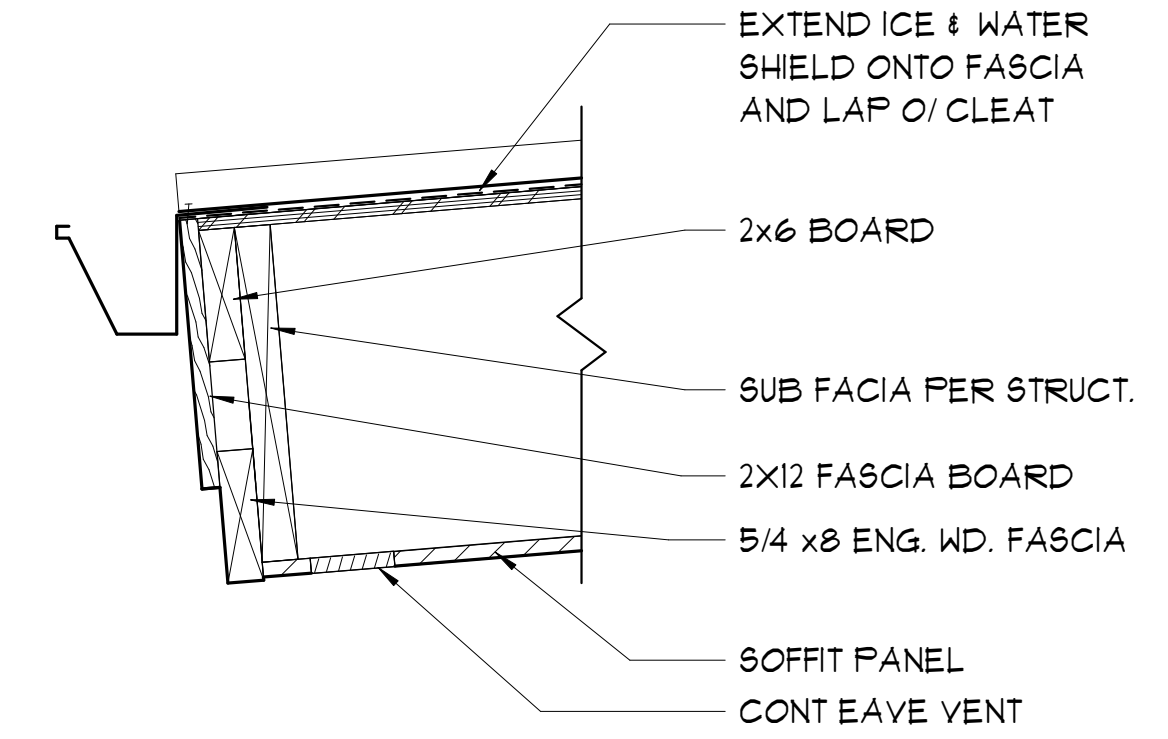
**1 LOW ROOF AT PARAPET - C1**  
3/4" = 1'-0"



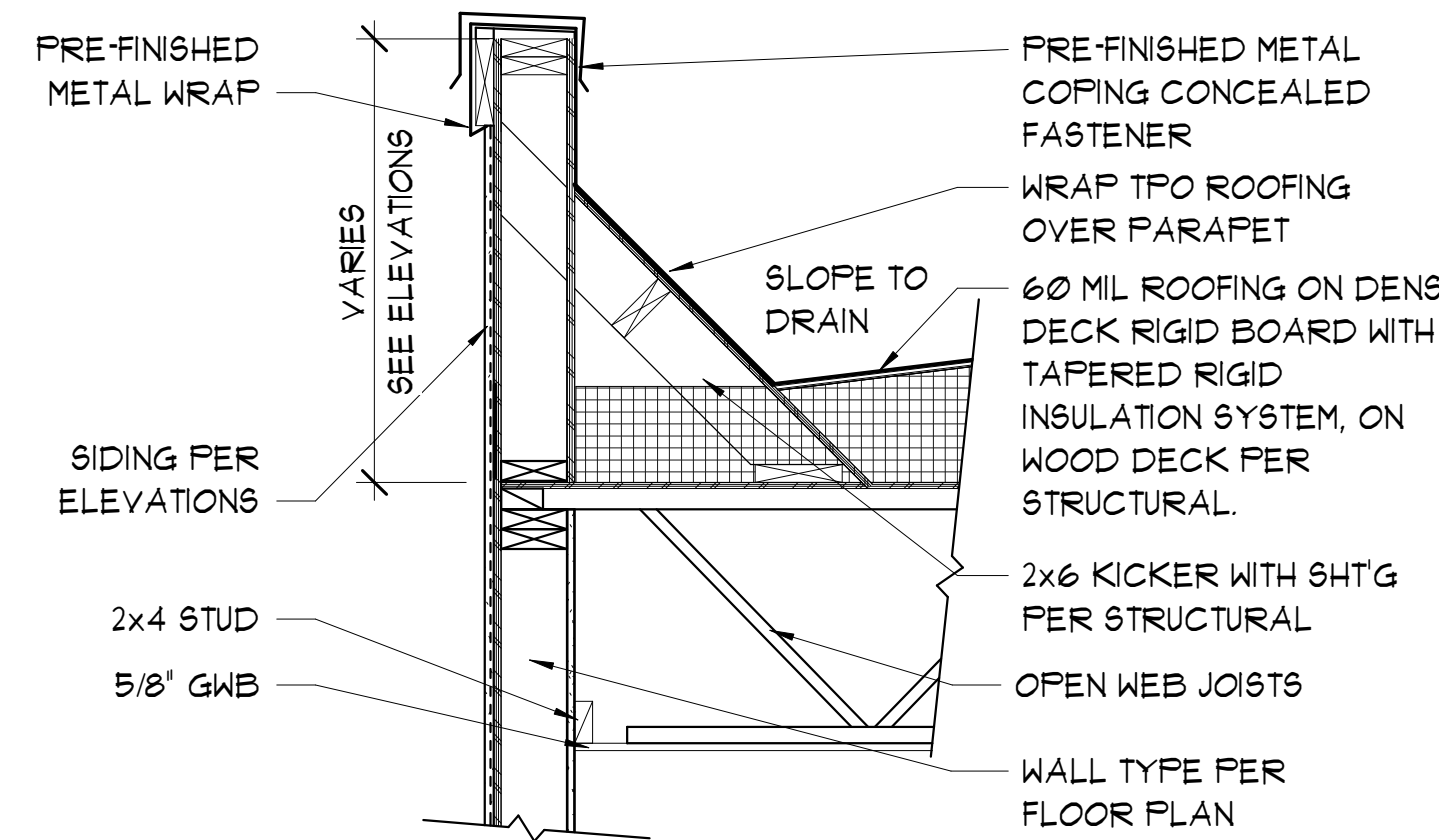
**2 C2**  
3/4" = 1'-0"



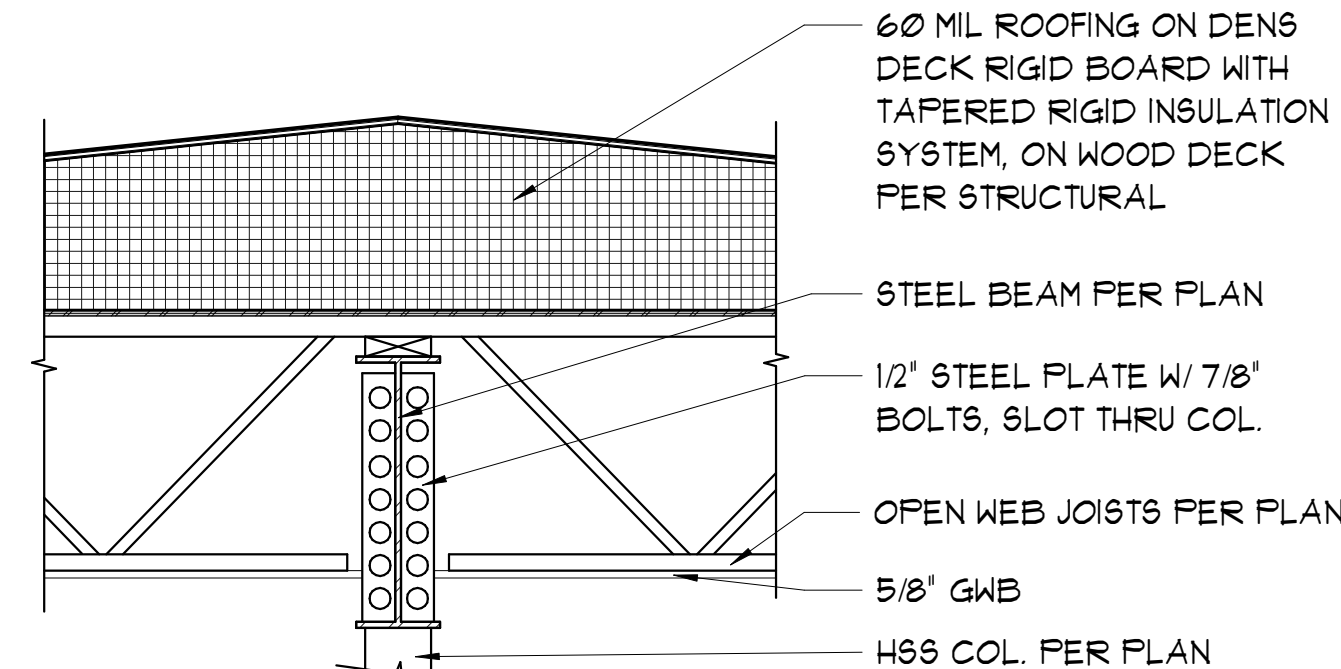
**3 COPING AT PARAPET**  
3" = 1'-0"



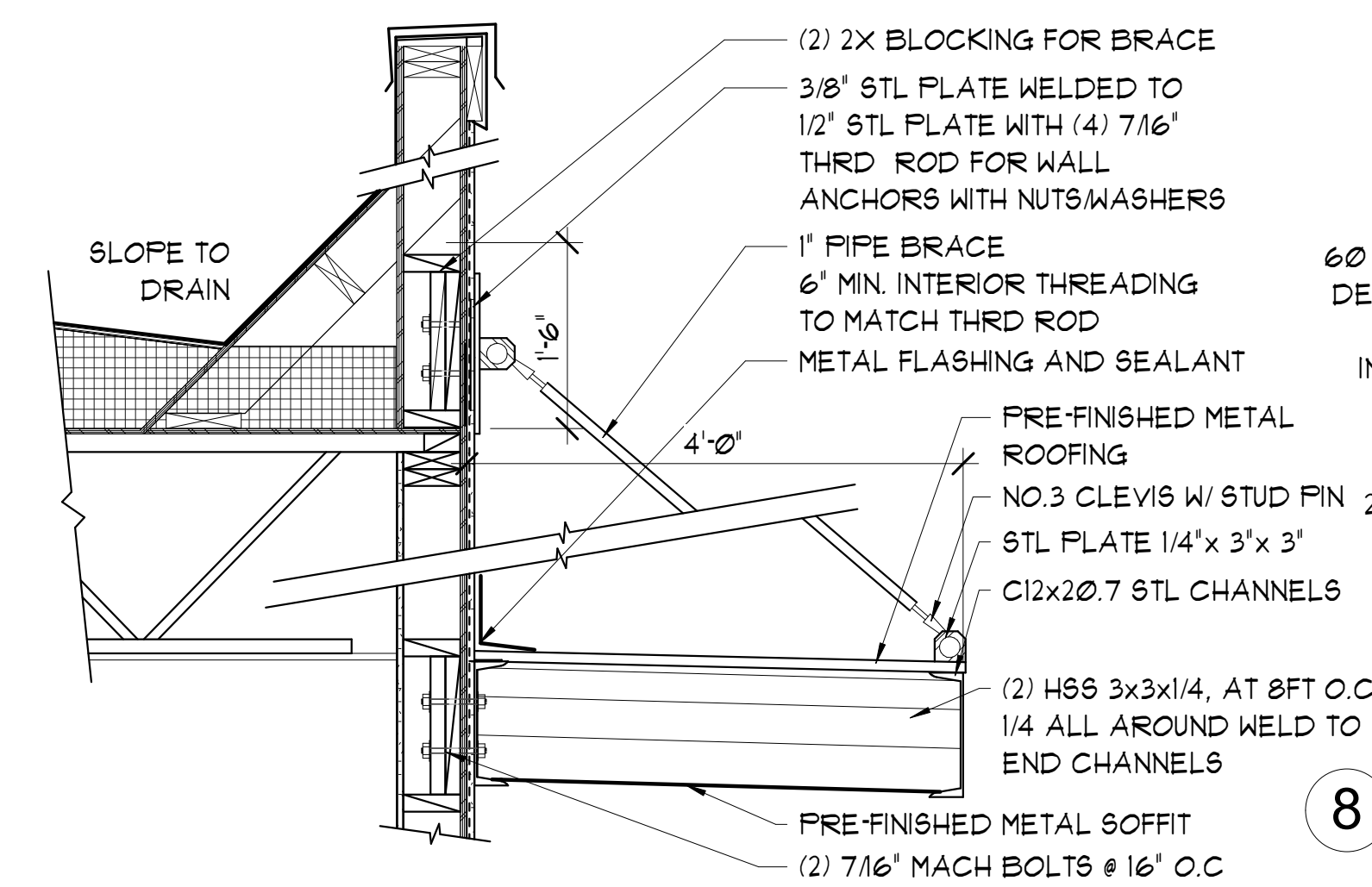
**4 FASCIA DETAIL**  
1 1/2" = 1'-0"



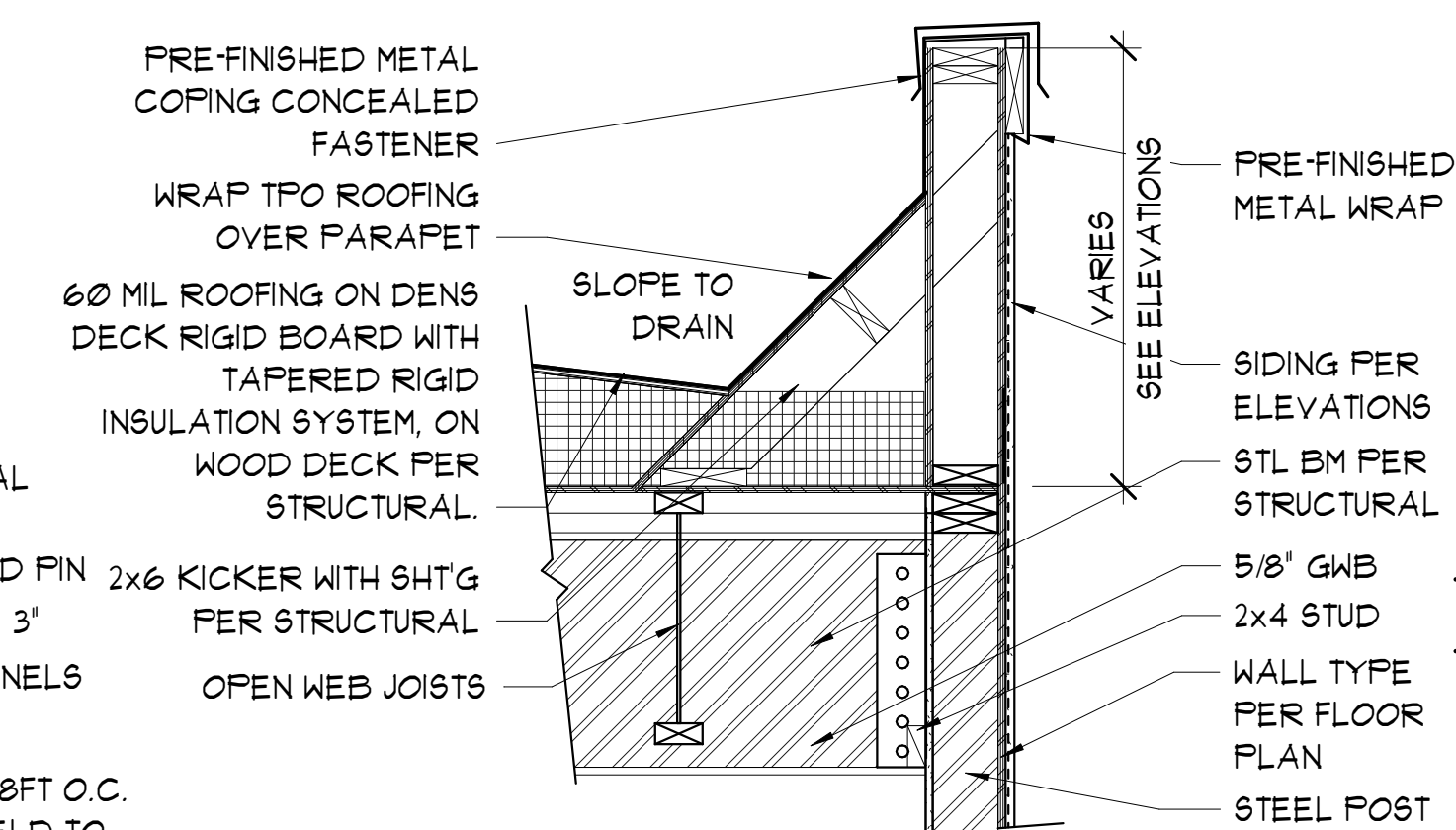
**5 LOW ROOF AT PARAPET**  
3/4" = 1'-0"



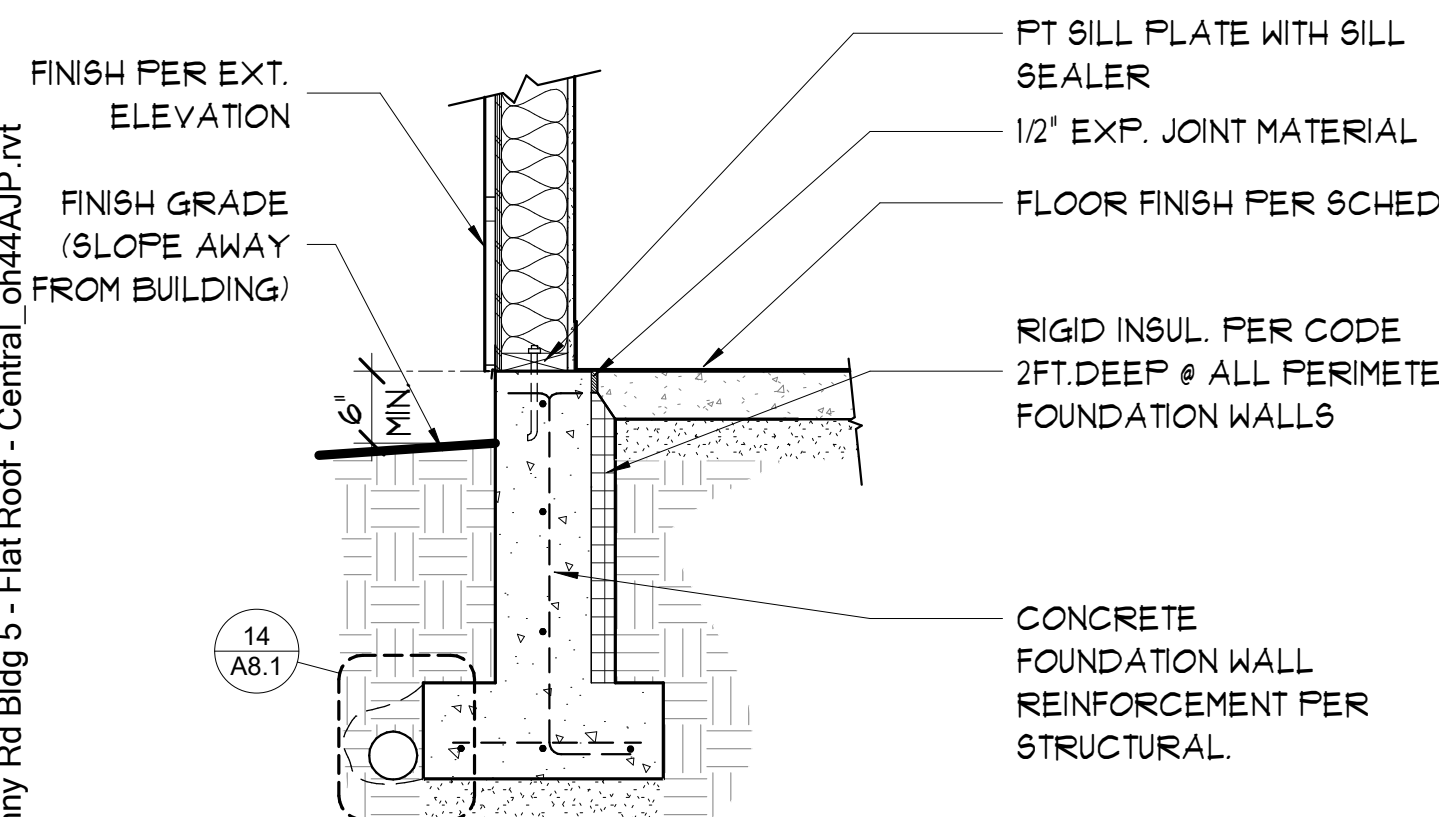
**6 LOW ROOF AT PARAPET - C2**  
3/4" = 1'-0"



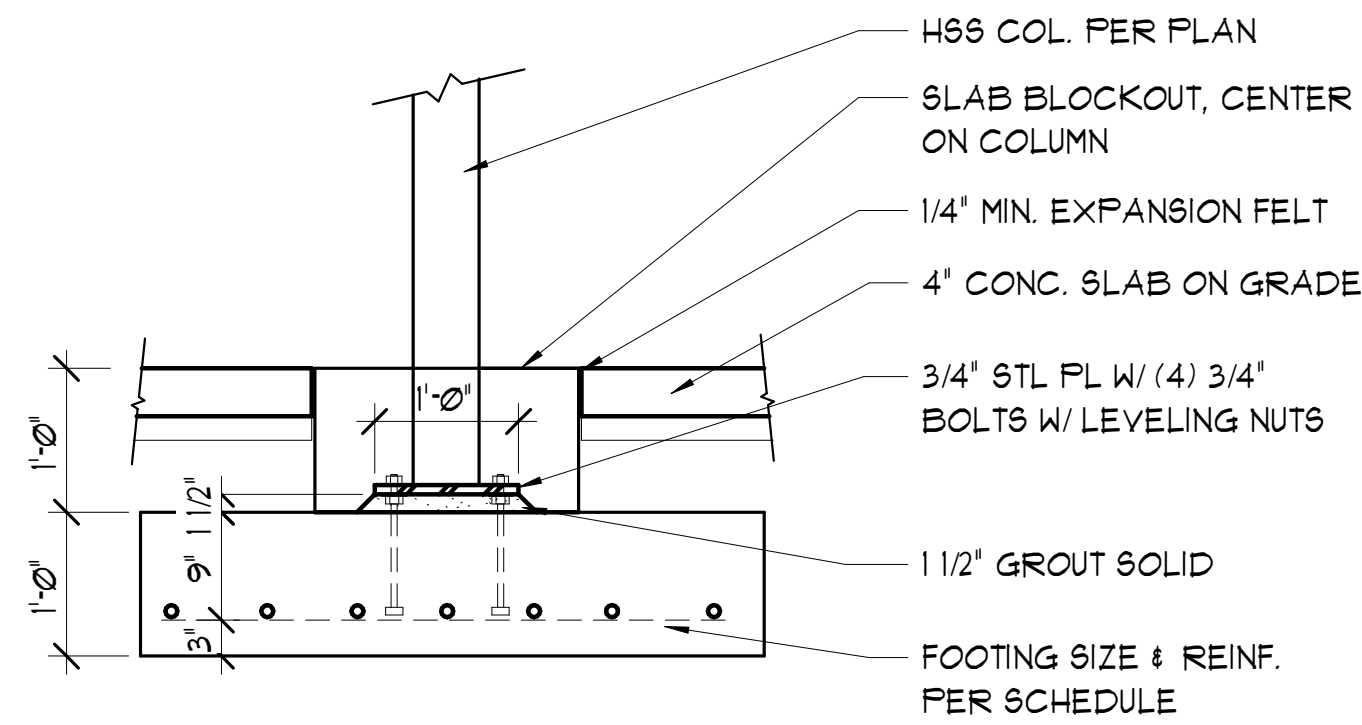
**7 OVERHANG AT PARAPET**  
3/4" = 1'-0"



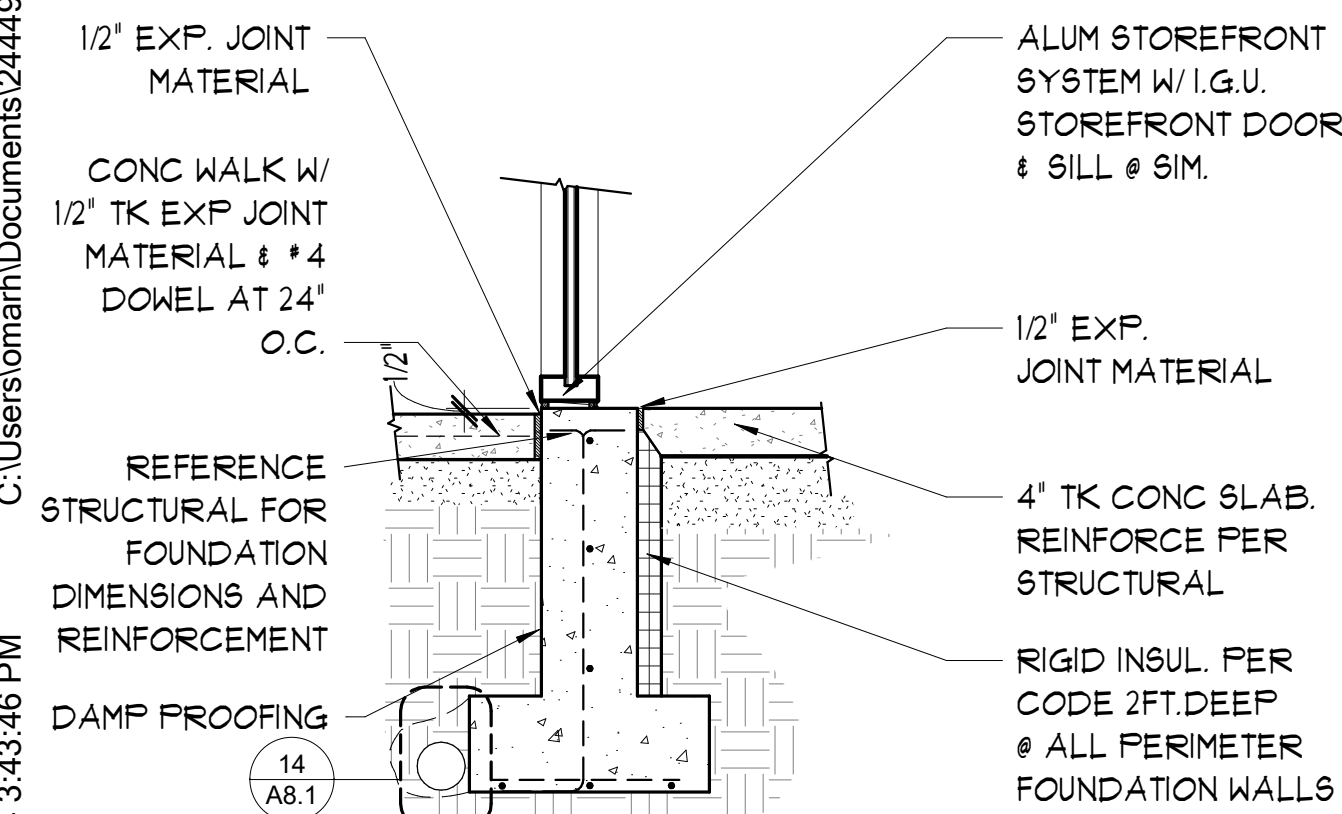
**8 LOW ROOF AT PARAPET - C3**  
3/4" = 1'-0"



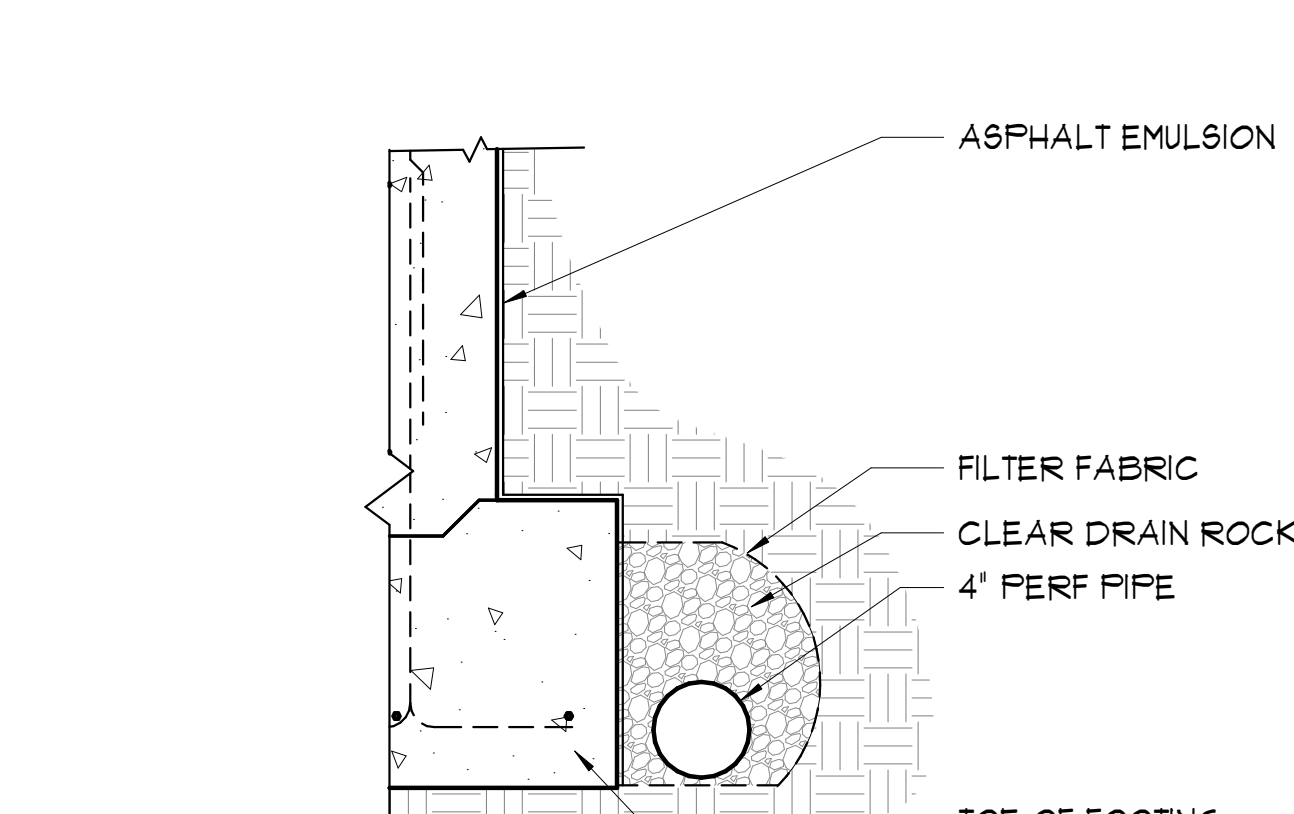
**9 EXT. WALL @ FOUNDATION**  
3/4" = 1'-0"



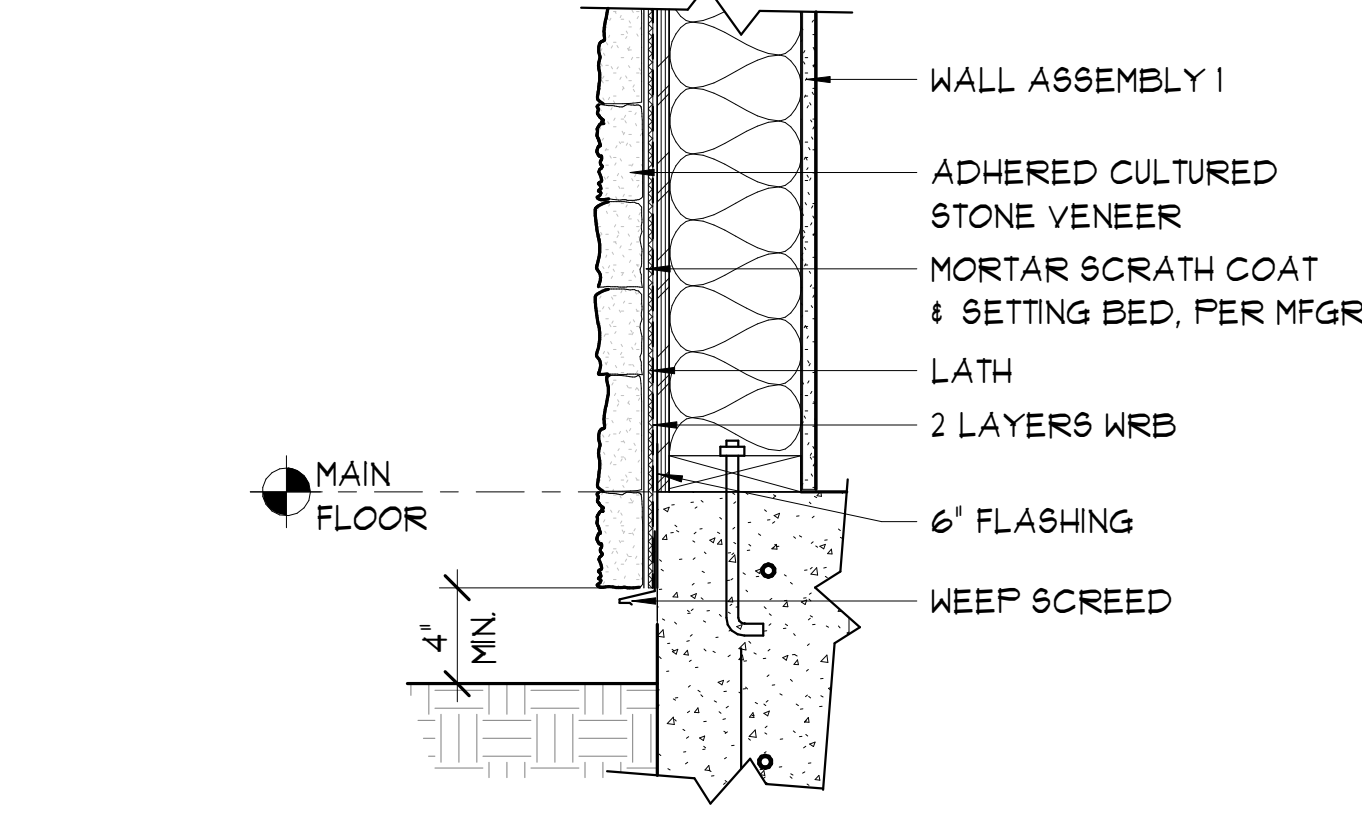
**10 FOOTINGS @ COLUMNS**  
3/4" = 1'-0"



**13 STOREFRONT @ FOUNDATION**  
3/4" = 1'-0"



**14 PERIMETER DRAIN DTL.**  
1 1/2" = 1'-0"



**15 STONE VENEER ASSEMBLY @ FND**  
1 1/2" = 1'-0"

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4585 REGISTERED ARCHITECT  
MARK J. NEAL  
STATE OF WASHINGTON

PRELIMINARY

NEW BUILDING FOR:  
**BUILDING 5 CORE AND SHELL**  
PENNY ROAD, WENATCHEE, WA

Date: 2024-07-26

Scale Factor: 1

Drawn: OH

File: 24449

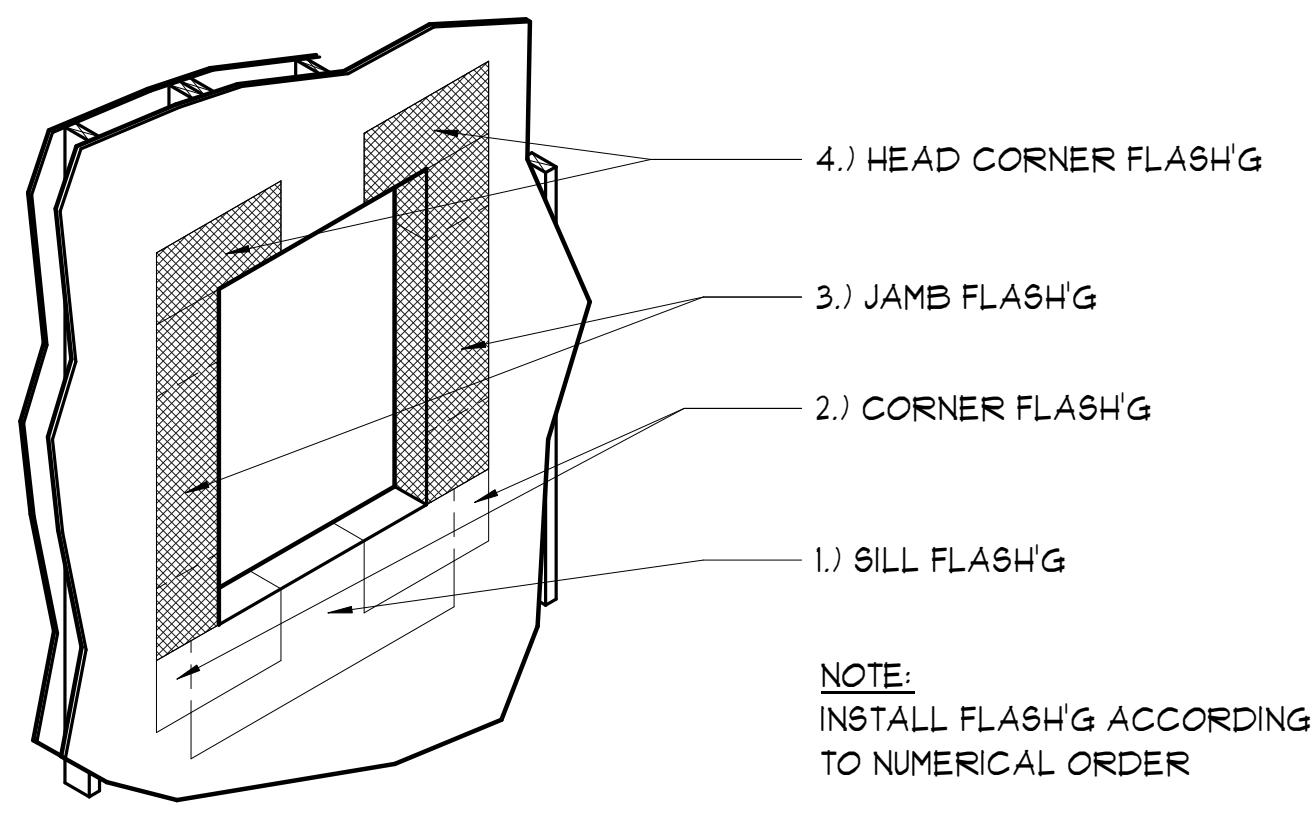
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A8.1

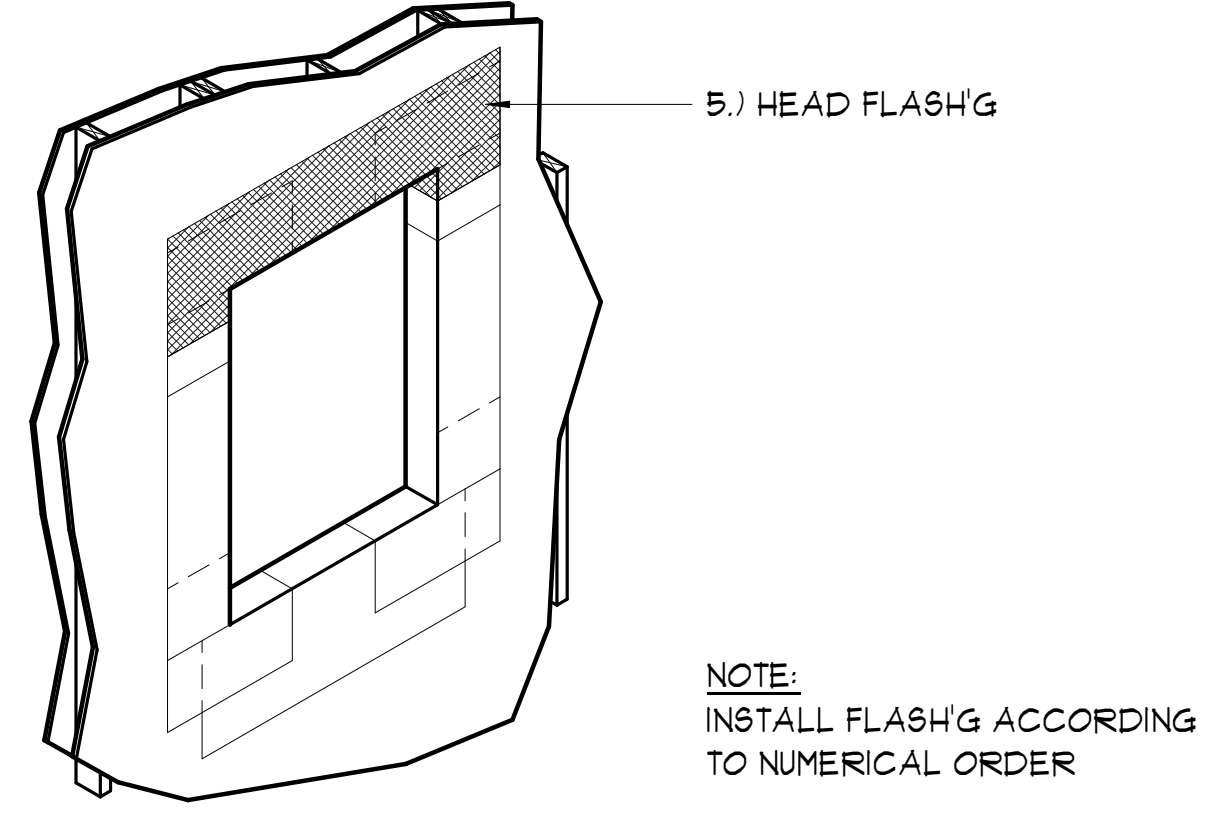
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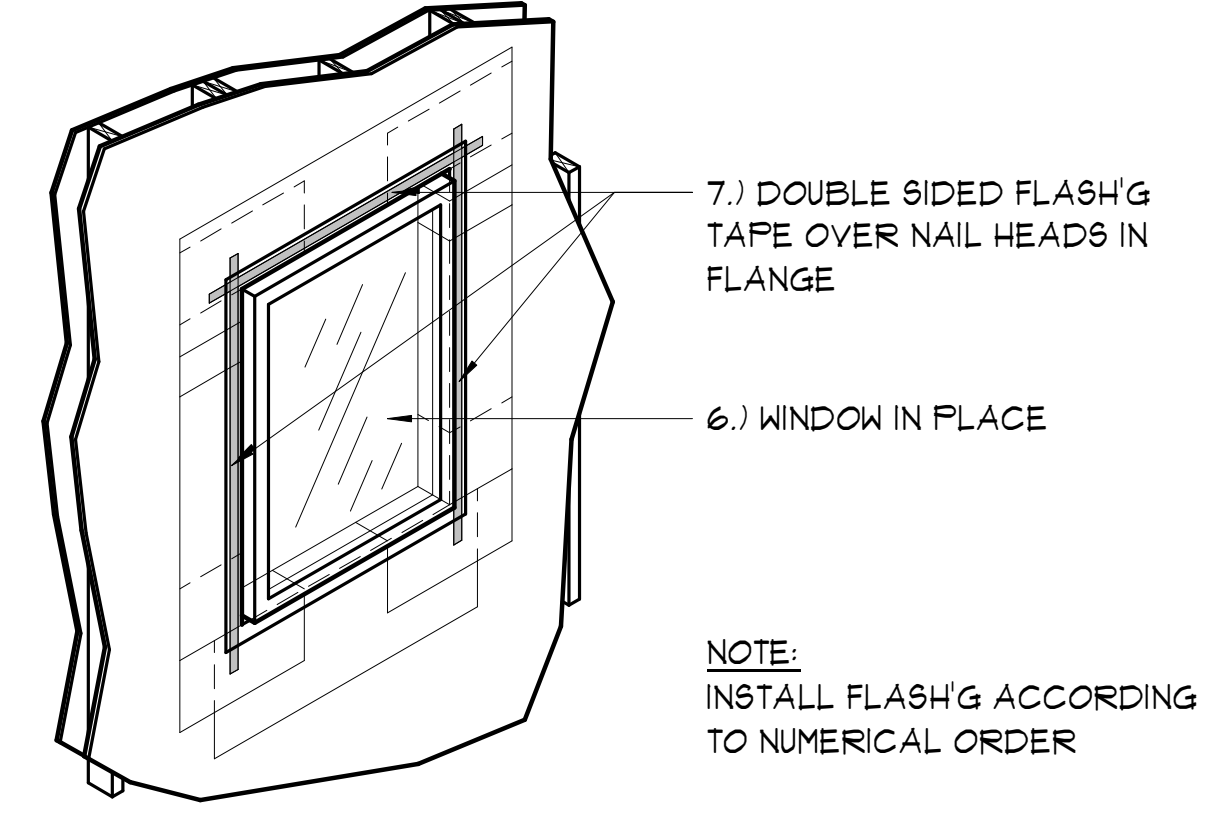
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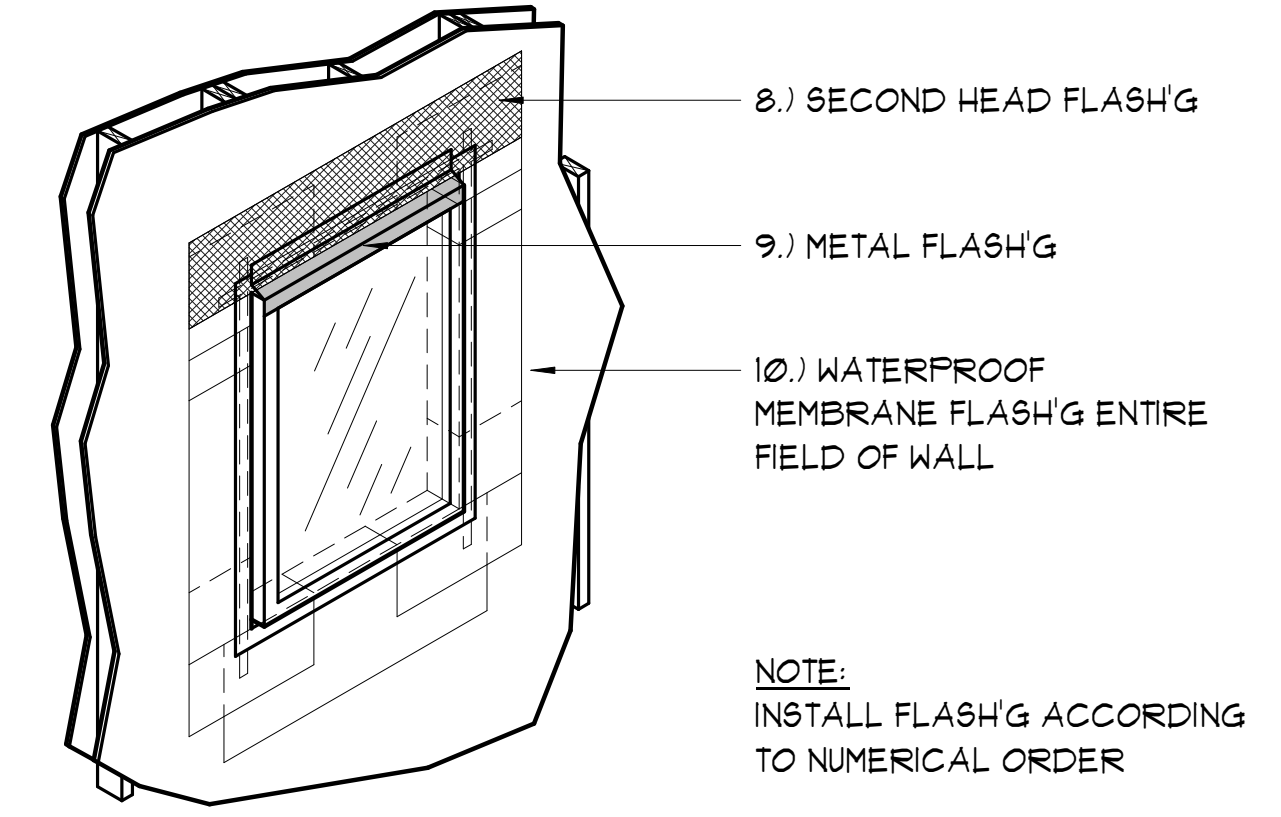
1 TYP JAMB FLASH'G DTL  
1/2" = 1'-0"



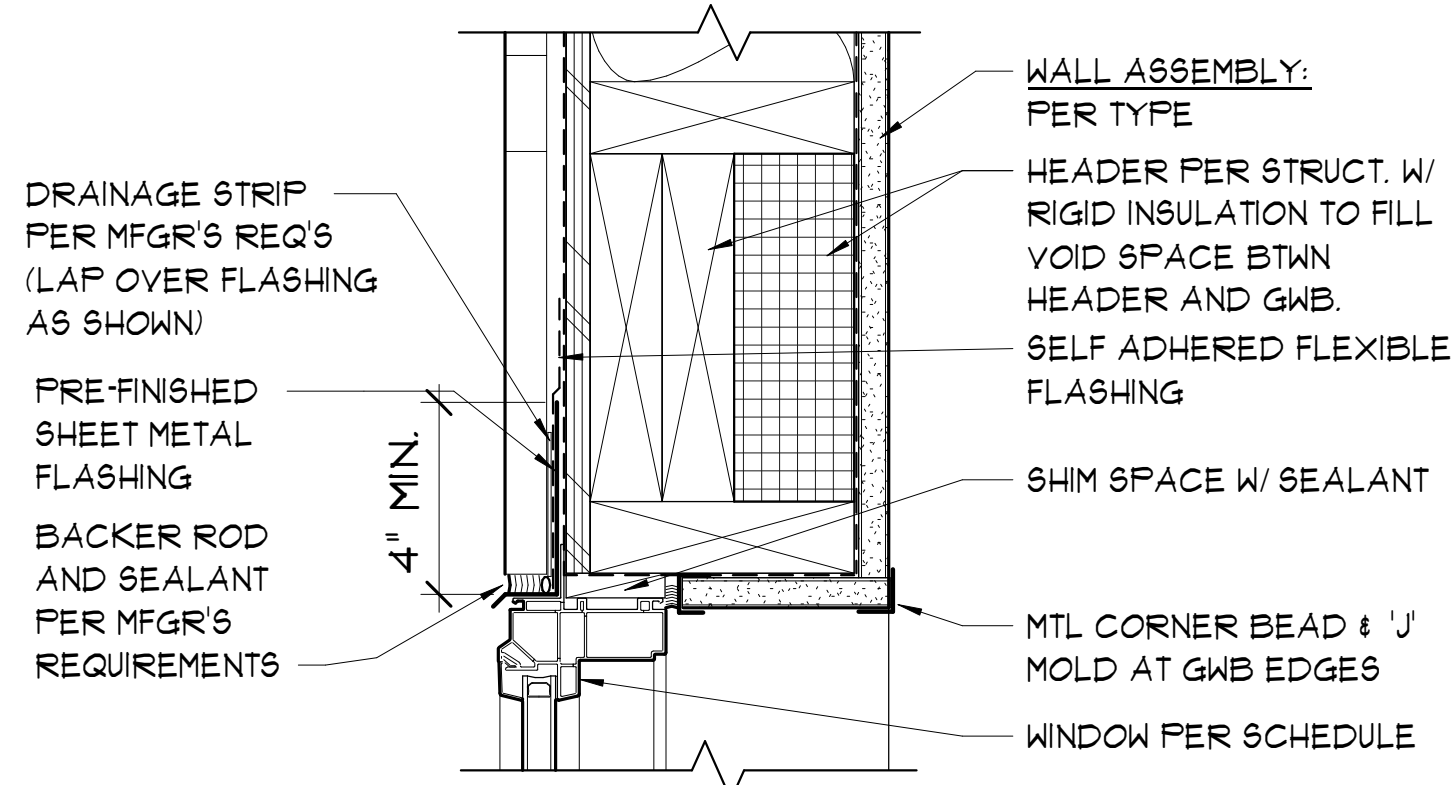
2 TYP HEAD FLASH'G DTL  
1/2" = 1'-0"



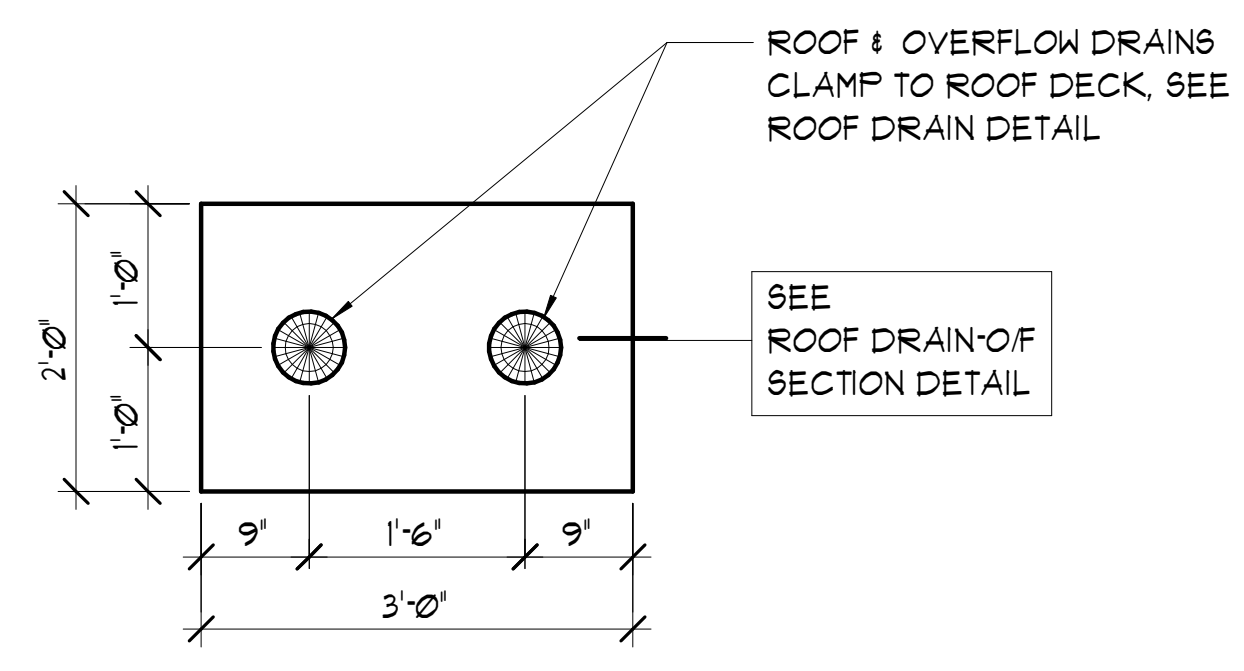
3 TYP WINDOW & WALL PREP DTL  
1/2" = 1'-0"



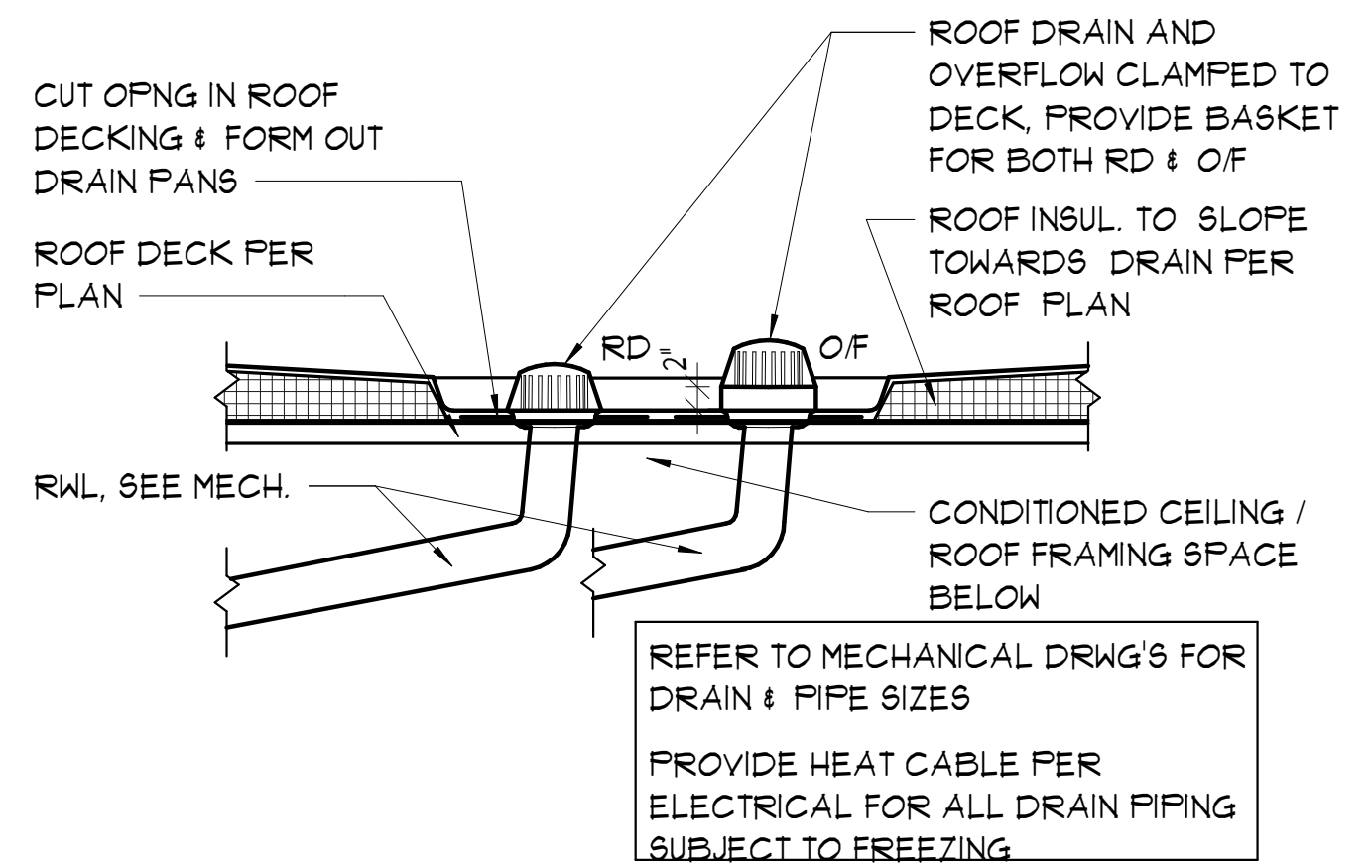
4 TYP FINISH HEAD FLASH'G DTL  
1/2" = 1'-0"



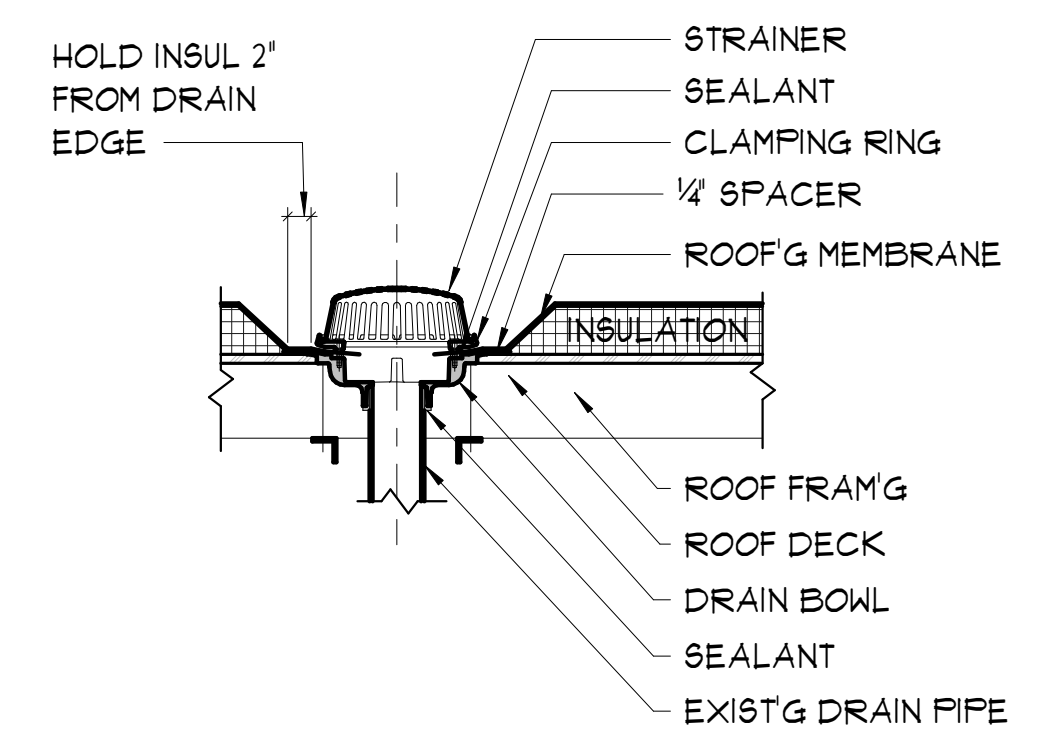
5 WINDOW HEAD AT SIDING  
3" = 1'-0"



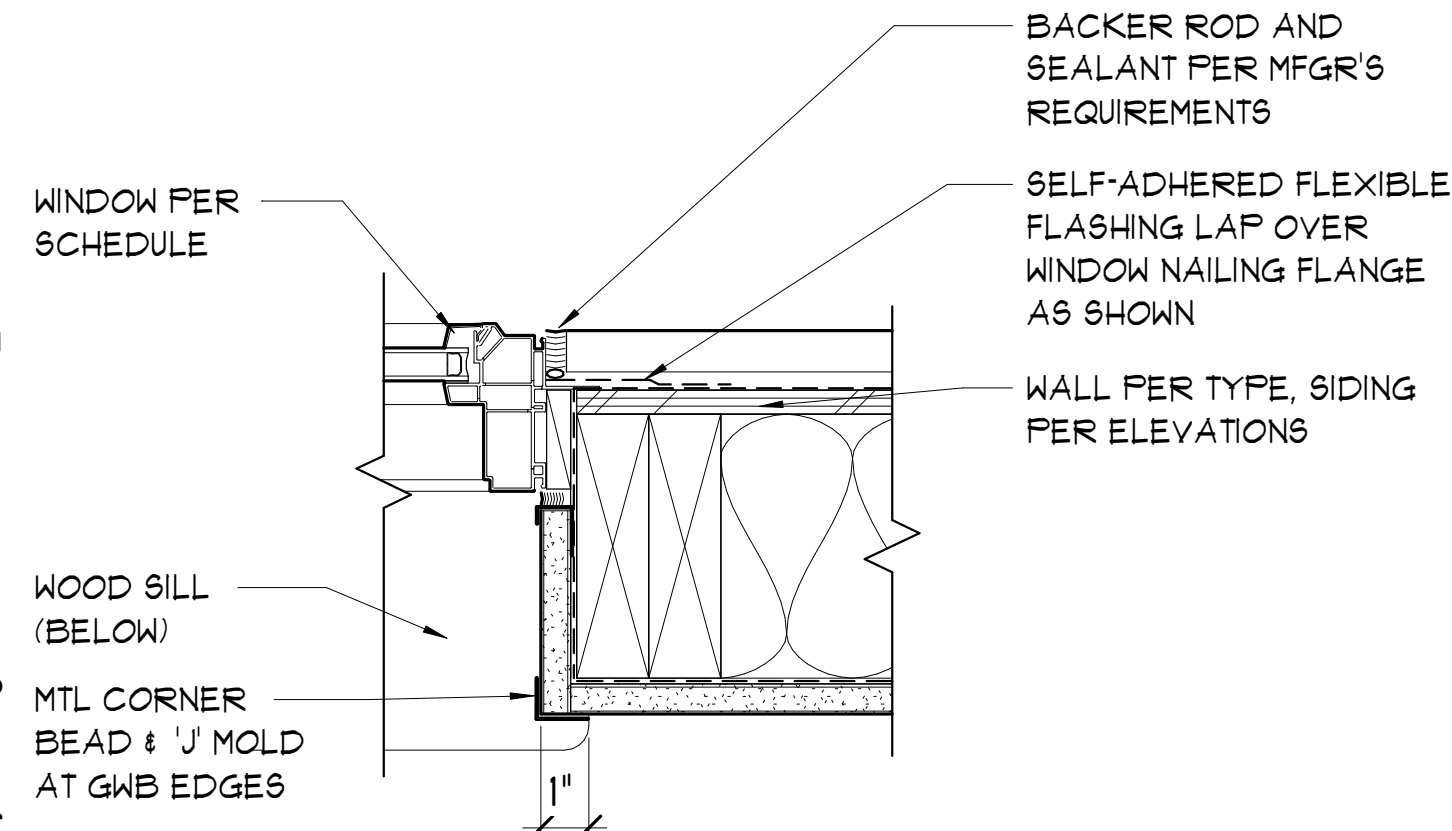
6 ROOF DRAIN / OVERFLOW PLAN  
3/4" = 1'-0"



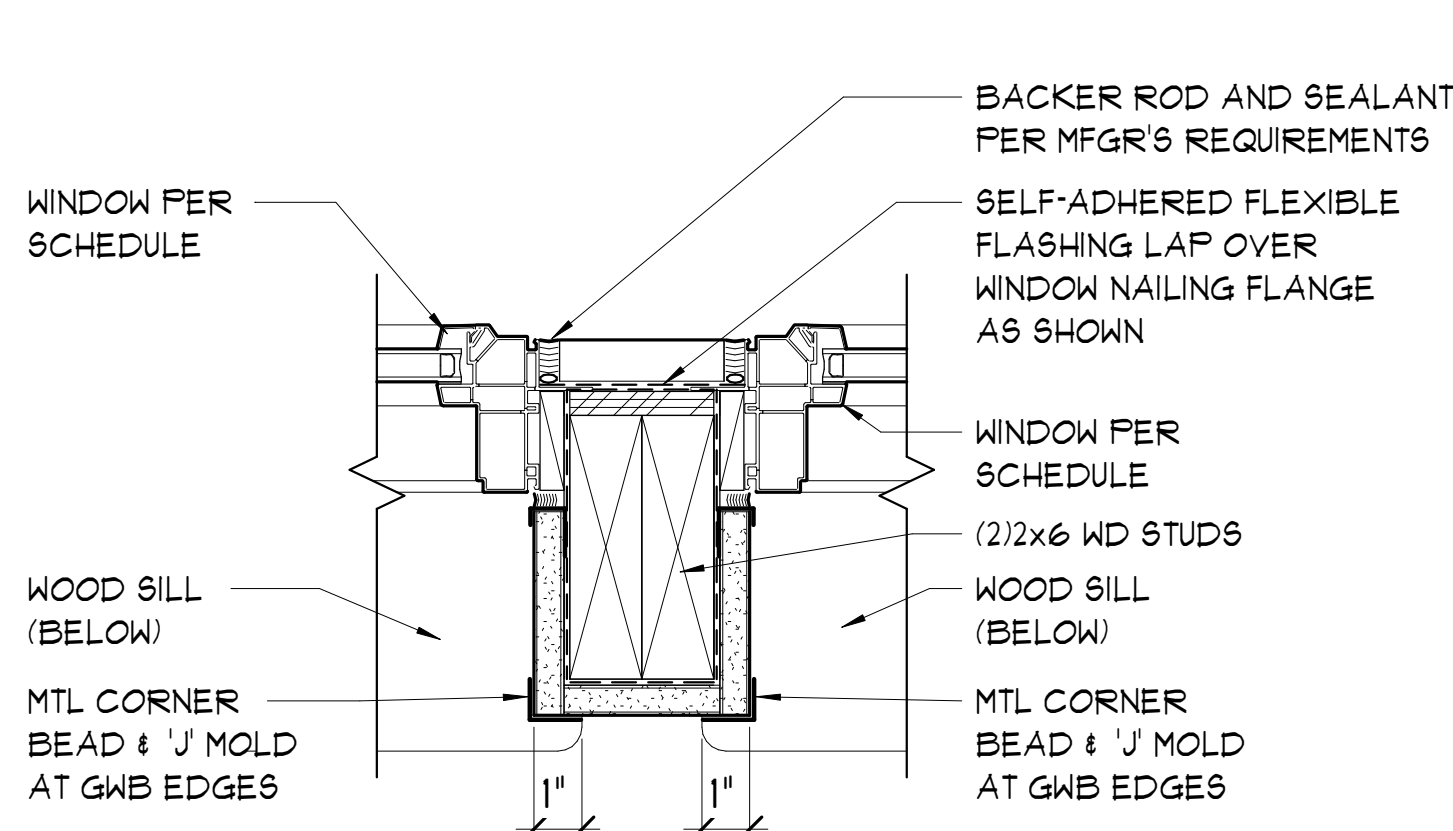
7 ROOF DRAIN / OVERFLOW SECTION  
3/4" = 1'-0"



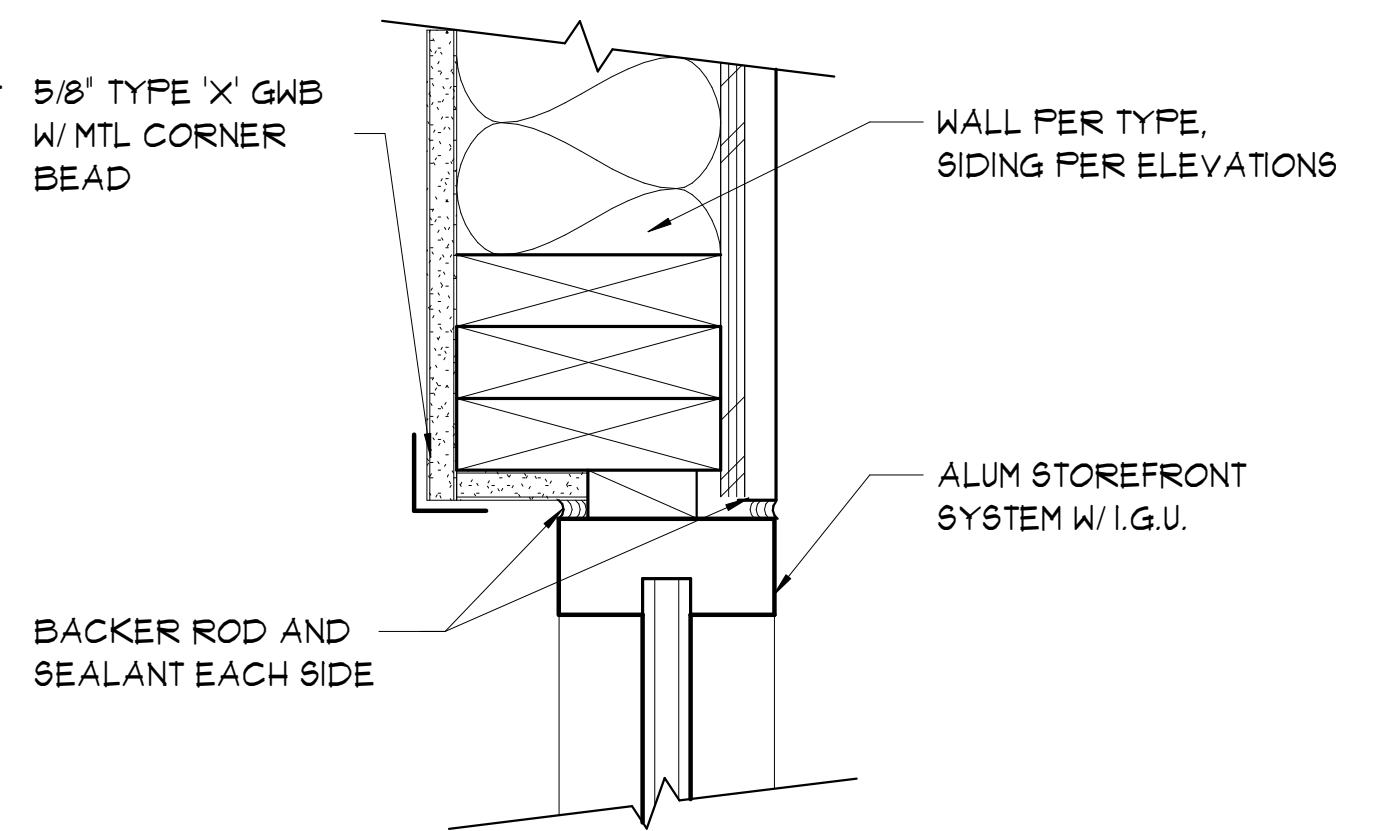
8 ROOF DRAIN DTL  
3/4" = 1'-0"



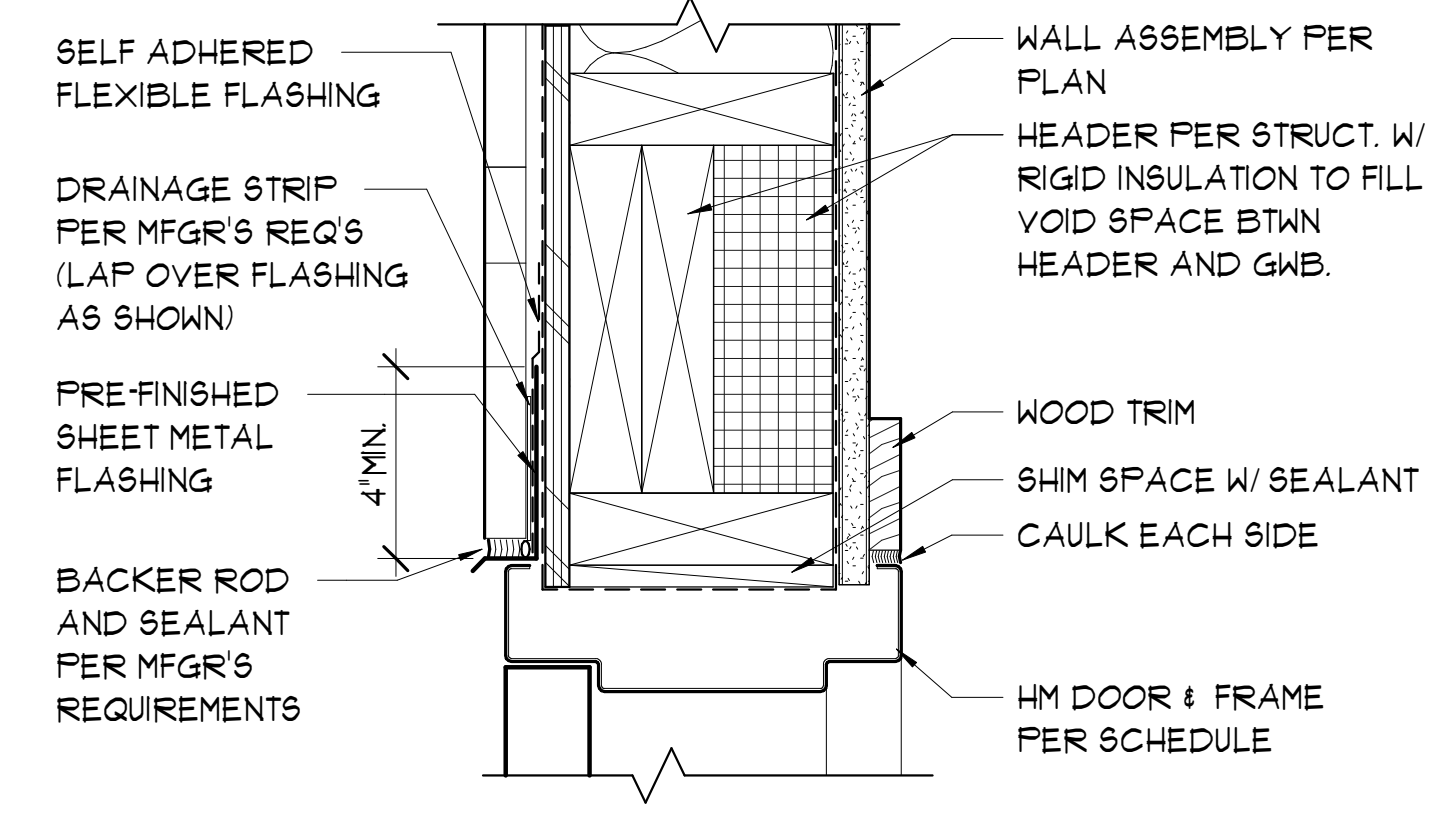
9 WINDOW JAMB AT SIDING  
3" = 1'-0"



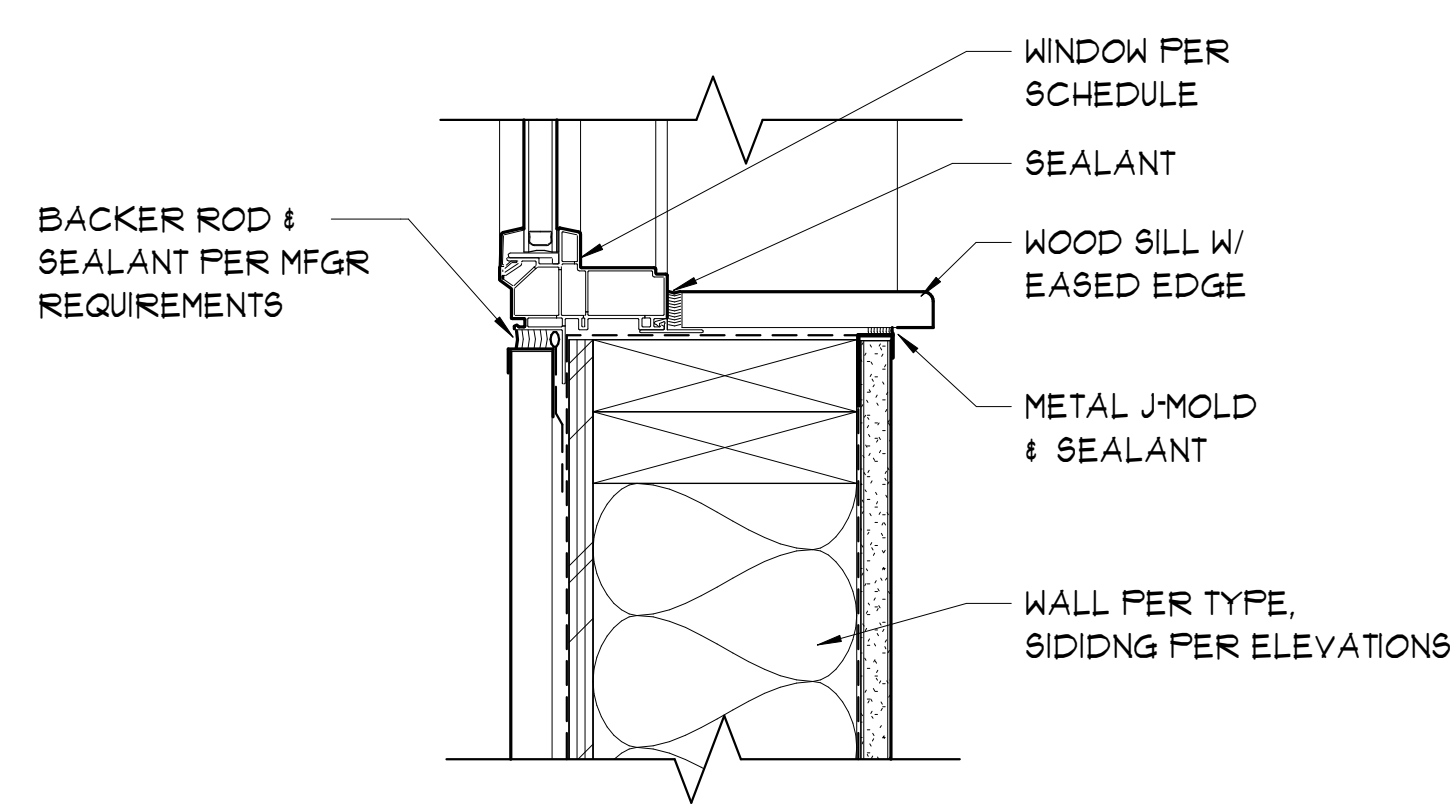
10 GROUPED WINDOW JAMB  
3" = 1'-0"



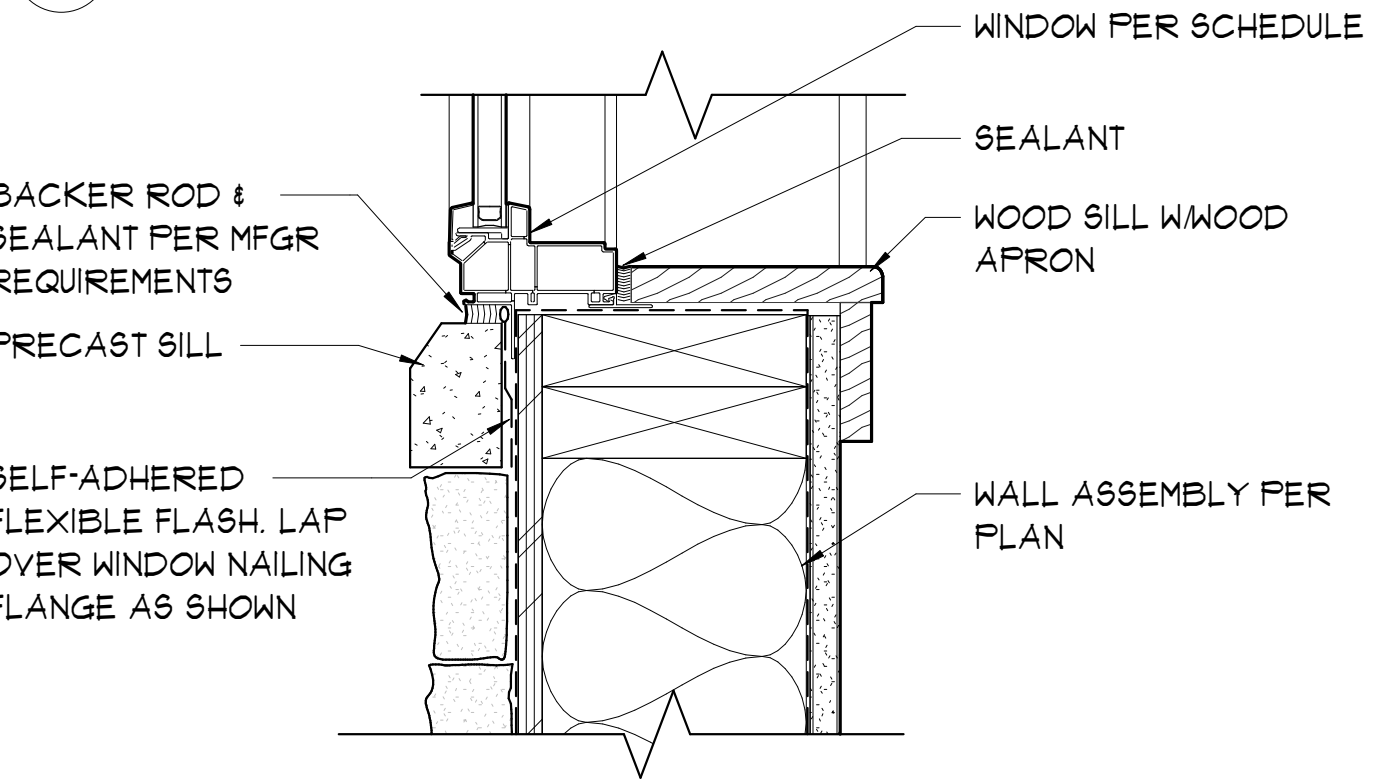
11 STOREFRONT JAMB  
3" = 1'-0"



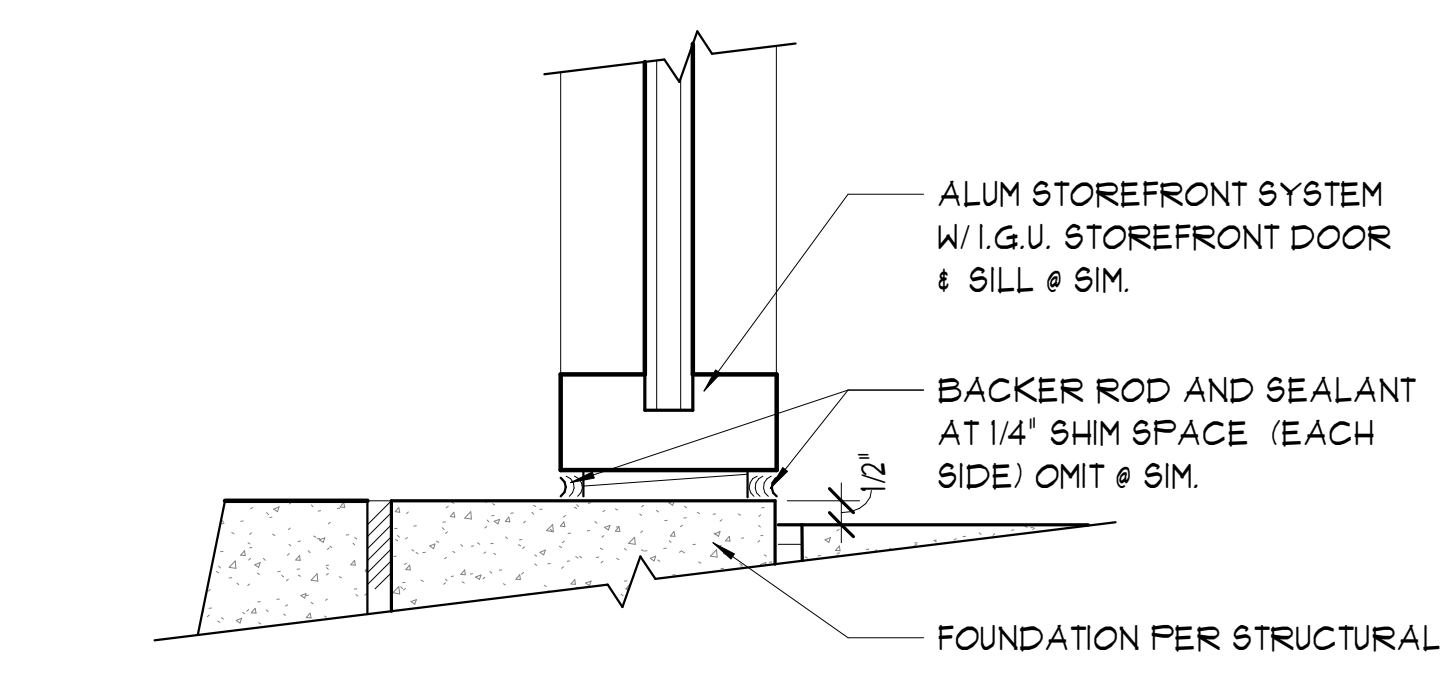
12 TYP. EXT. HM DOOR HEAD (JAMB SIM)  
3" = 1'-0"



13 VINYL WINDOW SILL AT SIDING  
3" = 1'-0"



14 VINYL WINDOW SILL AT STONE  
3" = 1'-0"



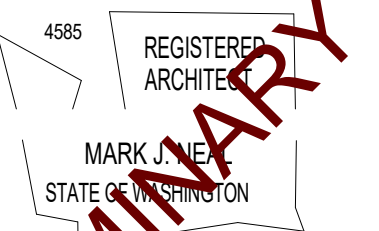
15 STOREFRONT SILL  
3" = 1'-0"

PROGRESS SET



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PRELIMINARY

NEW BUILDING FOR:  
**BUILDING 5 CORE AND SHELL**  
PENNY ROAD, WENATCHEE, WA

Date:	2024-07-26
Scale Factor:	1
Drawn:	OH
File:	24449

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**A8.2**

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**STRUCTURAL LOADS**

**REFERENCED CODES AND STANDARDS:**  
2021 International Building Code

**LOCAL DESIGN CONDITIONS:**

SNOW (GROUND) 25 PSF  
 SNOW (ROOF) 25 PSF  
 WIND (VELOCITY) 100 MPH  
 WIND (EXPOSURE CLASS) EXPOSURE C  
 SEISMIC CATEGORY CATEGORY D  
 SOIL BEARING CAPACITY (Assumed) 1,500 PSF  
 FROST DEPTH 18'

**ROOF DESIGN LOADS**

LIVE LOAD 40 PSF  
 SNOW LOAD 25 PSF  
 DEAD LOAD 20 PSF

**GENERAL STRUCTURAL NOTES**

- ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE EDITION DESIGNATED IN THESE DOCUMENTS. ALL SITE WORK SHALL CONFORM TO THE STATE OF WASHINGTON DEPARTMENT OF TRANSPORTATION LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGES, AND MUNICIPAL CONSTRUCTION.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. THE MORE STRINGENT TO GOVERN DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND CODES. THESE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE RESPONSIBLE DESIGN PROFESSIONAL PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK. ALL CONSTRUCTION DOCUMENTS SHOWING EXISTING CONSTRUCTION ARE INTENDED AS GUIDELINES ONLY; ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED AND/OR DETERMINED IN THE FIELD.
- THE CONSTRUCTION DOCUMENTS MAY NOT SHOW SOME OBSTRUCTIONS. CONTRACTORS ARE TO CAREFULLY INSPECT THE EXISTING FACILITIES BEFORE PREPARING THEIR PROPOSAL AND BEFORE PROCEEDING WITH THE WORK. EVEN THOUGH NOT SHOWN OR SPECIFICALLY MENTIONED, THE REMOVAL AND REPLACEMENT OF MINOR OBSTRUCTIONS SHOULD BE ANTICIPATED AND ACCOMPLISHED.
- CONSTRUCTION DOCUMENTS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING. THE DIMENSIONAL DEVIATION FROM THAT SHOWN ON CONSTRUCTION DOCUMENTS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ATTENTION OF THE RESPONSIBLE DESIGN PROFESSIONAL PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
- CONSTRUCTION DOCUMENTS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION AND ARE NOT INTENDED TO SHOW EVERY DETAIL OR CONDITION OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY AS INDICATED BUT ARE SIMILAR CHARACTER TO THE DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL. THE RESPONSIBLE DESIGN PROFESSIONAL ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ERRORS OR CONFLICTS WHICH MAY OCCUR BECAUSE OF THEIR EXCLUSION FROM PARTICIPATION IN THE ACTUAL CONSTRUCTION PHASE OF THE PROJECT.
- THE CONSTRUCTION SITE MAY HAVE LIMITED ACCESS. THE CONTRACTOR SHOULD INSPECT THE SITE AND MAKE THEIR OWN DETERMINATION IN REGARDS TO ACCESS.
- CONTRACTOR SHALL COORDINATE WORK WITH THE OWNER TO MINIMIZE INTERFERENCE WITH THE OWNER'S NORMAL OPERATIONS. ACCESS TO THE EXISTING FACILITIES WILL BE REQUIRED AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE REQUIRED SAFETY PRECAUTIONS AND THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK. CONTRACTOR SHALL PRESERVE AND PROTECT EXISTING UTILITIES WHICH MAY BE PRESENT AND ARE NOT SCHEDULED OR REQUIRED TO BE CHANGED.
- THE CONTRACTOR SHALL EMPLOY SAFE EXCAVATION PRACTICES IN ACCORDANCE WITH STATE SAFETY REQUIREMENTS AND OSHA SAFETY AND HEALTH STANDARDS FOR CONSTRUCTION (29CFR1926).
- CONTRACTOR SHALL TEMPORARILY SUPPORT / SHORE, OR DISCONNECT AND MOVE, ALL EQUIPMENT AND MATERIALS TO REMAIN THAT CONFLICT WITH NEW CONSTRUCTION OR ARE CURRENTLY SUPPORTED ON OR NEAR EXISTING STRUCTURES SCHEDULED FOR REPLACEMENT. CONTRACTOR SHALL RECONNECT / RE-SUPPORT EXISTING EQUIPMENT IN SIMILAR FORM TO EXISTING AS A PART OF THE FINAL CONSTRUCTION PROCESS.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND / OR SHORING OF ALL OTHER EXISTING STRUCTURES AND COMPONENTS AFFECTED BY THE CONSTRUCTION PROCESS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- THE RESPONSIBLE DESIGN PROFESSIONAL SHALL BE INFORMED IMMEDIATELY OF ANY DISCREPANCY BETWEEN CONSTRUCTION DOCUMENTS AND SITE CONDITIONS THAT CAUSE SPECIFIED DESIGN OR MATERIALS TO BE MODIFIED OR REVISED.
- ALL MATERIAL FROM DEMOLITION PROCESS IS TO BE REMOVED FROM THE SITE AND DISPOSED OF UNLESS SPECIFIED OTHERWISE BY THE OWNER.
- FINISHED SURFACES AT SAWCUTS SHALL BE STRAIGHT, TRUE, AND PLUMB.
- ELEVATIONS ARE USED FOR REFERENCE PURPOSES. CONTRACTOR SHALL ESTABLISH THEIR OWN CONSTRUCTION SURVEY TO DETERMINE FINAL ELEVATIONS BOTH NEW AND EXISTING. ALL FINISH GRADES TO PROVIDE CONSTANT SLOPE AND SMOOTH TRANSITION BETWEEN DIFFERING ELEVATIONS BOTH NEW AND EXISTING.
- PLANS, SECTIONS, DETAILS, AND OTHER INFORMATION SHOWING NEW CONSTRUCTION IN COMBINATION WITH EXISTING CONDITIONS HAVE BEEN PREPARED UTILIZING ASSUMED EXISTING CONDITIONS. IT SHOULD BE UNDERSTOOD THAT SOME MODIFICATION OF THE DETAILS SHOWN MAY BE NECESSARY IN ORDER TO PROPERLY ACHIEVE A FINISHED PRODUCT. PROPOSED MODIFICATIONS SHALL BE REVIEWED BY CONSULTANT AND OWNER PRIOR TO FINAL INSTALLATION.
- THE INFORMATION PROVIDED ON THESE CONSTRUCTION DOCUMENTS IS SPECIFIC TO THE LIMITED SCOPE OF STRUCTURAL ENGINEERING SERVICES REQUESTED. THESE PLANS AND SPECIFICATIONS PERTAIN ONLY TO THOSE ITEMS DESIGNED BY RESPONSIBLE DESIGN PROFESSIONALS CREDITED IN THESE PLANS, AND NOTED ON THE PLANS AND DETAILS AS NEW. DESIGN, LAYOUT, AND SPECIFICATION OF ALL OTHER MATERIALS, COMPONENTS, AND DETAILS ARE BY OTHERS AND ARE NOT THE RESPONSIBILITY OF THESE DESIGN PROFESSIONALS.
- REBAR CAGES SHOWN ARE OUTSIDE CLEAR DIMENSIONS. ANCHOR BOLTS SHOWN SHALL BE CONFINED WITHIN CAGE.
- REINFORCING SHALL BE WITHIN 1/2" TOLERANCE OF CLEAR DISANCE SHOWN ON CONSTRUCTION DOCUMENTS. WET-SETTING OF REINFORCING STEEL AND ANCHOR BOLTS IS NOT ACCEPTABLE.
- IF DUE TO THE ENGINEER OR OTHER DESIGN PROFESSIONAL'S ERROR, ANY REQUIRED ITEM OR COMPONENT IS OMITTED FROM THE CONSTRUCTION DOCUMENTS, THE ENGINEER / DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR PAYING THE COSTS TO ADD SUCH ITEM OR COMPONENT TO THE EXTENT THAT SUCH ITEM OR COMPONENT WOULD HAVE BEEN OTHERWISE NECESSARY TO THE PROJECT OR OTHERWISE ADDS VALUE OR BETTERMENT TO THE PROJECT. IN NO EVENT WILL THESE DESIGN PROFESSIONALS BE RESPONSIBLE FOR ANY COST OR EXPENSE THAT PROVIDES BETTERMENT, UPGRADE, OR ENHANCEMENT OF THE PROJECT.
- SHOP DRAWINGS OR OTHER SUBMITTALS REVIEWED BY THE RESPONSIBLE DESIGN PROFESSIONAL DO NOT BECOME CONTRACT DOCUMENTS AND DO NOT CONSTITUTE CHANGE ORDERS.
- CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AND RISK FOR MISFITS DUE TO ANY ERROR IN CONTRACTOR SUBMITTAL DRAWINGS REGARDLESS OF DESIGN PROFESSIONAL'S SUBMITTAL REVIEW. ANY FABRICATION OR OTHER WORK PERFORMED IN ADVANCE OF THE RECEIPT OF SUBMITTAL REVIEW COMMENTS SHALL BE ENTIRELY AT CONTRACTOR'S RISK.
- THIS DESIGN IS SITE SPECIFIC FOR ONE-TIME USE AND MAY NOT BE REPRODUCED OR RE-USED.
- SEE STRUCTURAL NOTES AND PLAN NOTES FOR ADDITIONAL INFORMATION.

REVISIONS	BY



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**NEW BUILDING FOR:**

**BUILDING 5 CORE AND SHELL**  
 PENNY ROAD, WENATCHEE, WA

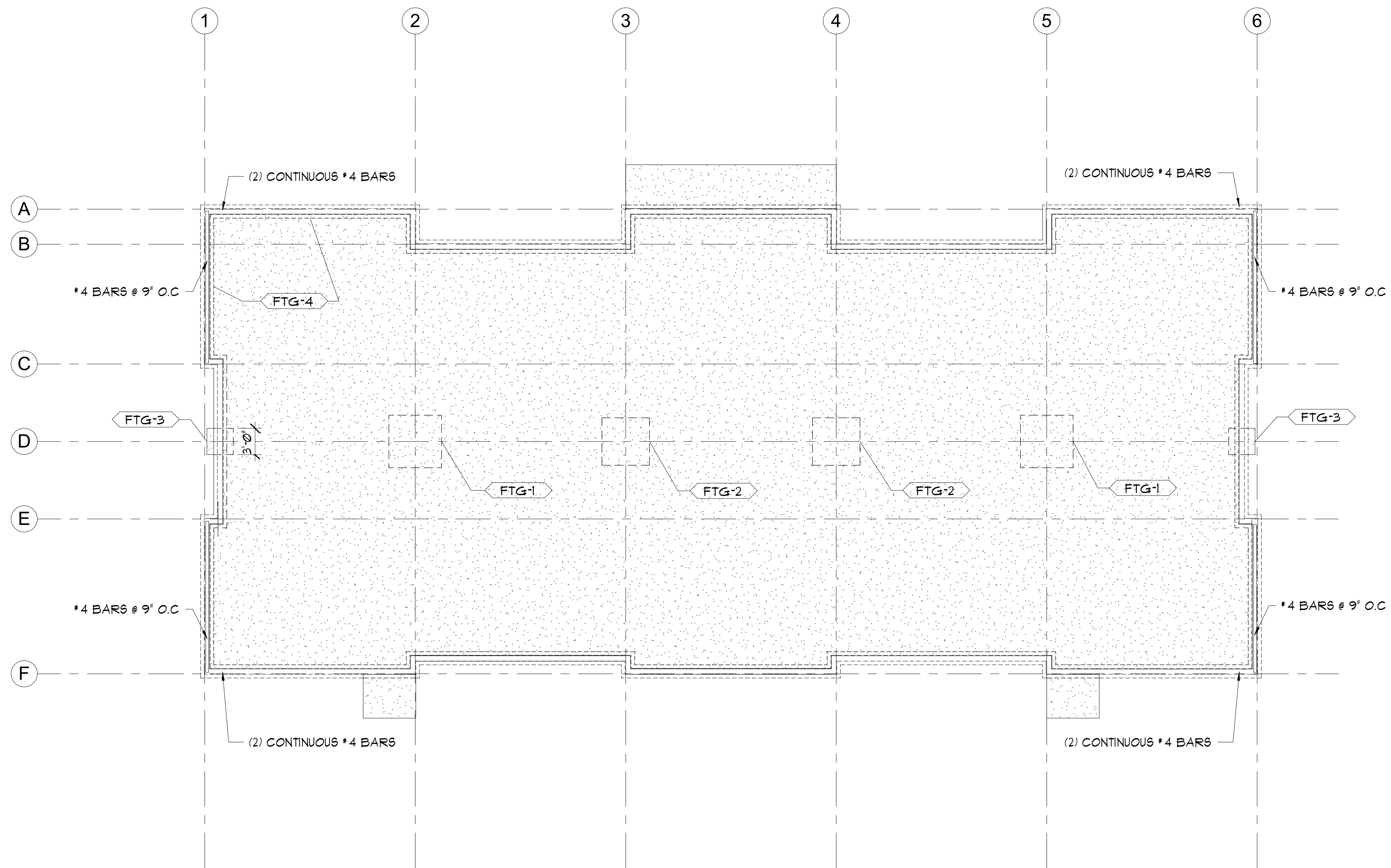
Date:	2024-07-26
Scale Factor:	1
Drawn:	NM
File:	24449

Sheet

**S1.1**







FLOOR BEAM SCHEDULE			
TYPE	WIDTH	DEPTH	DESCRIPTION
RB-1	4'	24"	A36 W24 x 55 x 22.5 FT
RB-2	4'	24"	A36 W24 x 55 x 24.0 FT
RB-3	4'	24"	A36 W24 x 55 x 24.0 FT

STRUCTURAL FOOTING SCHEDULE					
FTG-1	GRID 2D, 5D	6' - 0"	6' - 0"	0' - 12" MIN.	
FTG-2	GRID 3D, 4D	5' - 5"	5' - 5"	0' - 12" MIN.	
FTG-3	GRID 1C & 6C	3' - 0"	3' - 0"	0' - 10" MIN.	
FTG-4	CONTINUOUS	1' - 6"	-	0' - 10" MIN.	0'-6" THICK x 0'-18" TALL STEMWALL

NOTE: REFER TO STRUCTURAL CALCULATIONS FOR CONC. REINFORCEMENT, LOAD AND SPAN OF MEMBERS.

**STRUCTURAL PLAN LEGEND**

- WALL BELOW, BEARING
- WALL BELOW, NONBEARING
- WALL ABOVE
- STRUCTURAL BEAM
- TOF 0'-0" TOP OF FOOTING ELEVATION

**MAIN FOUNDATION PLAN**

1/8" = 1'-0" @ FULL SIZE

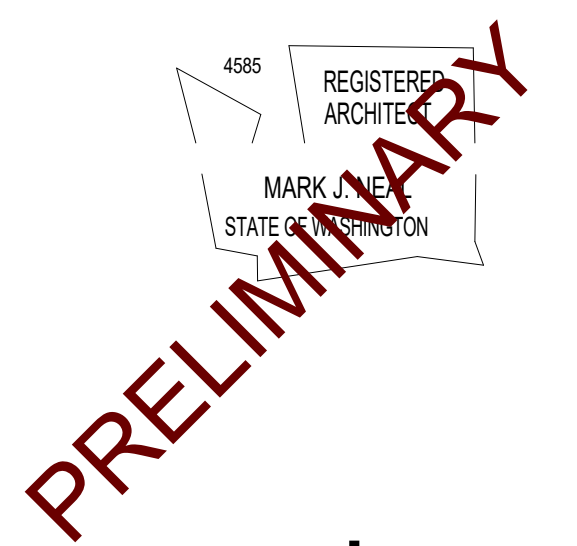


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**NEW BUILDING FOR:**  
**BUILDING 5 CORE AND SHELL**  
 PENNY ROAD, WENATCHEE, WA

Date: 2024-07-26

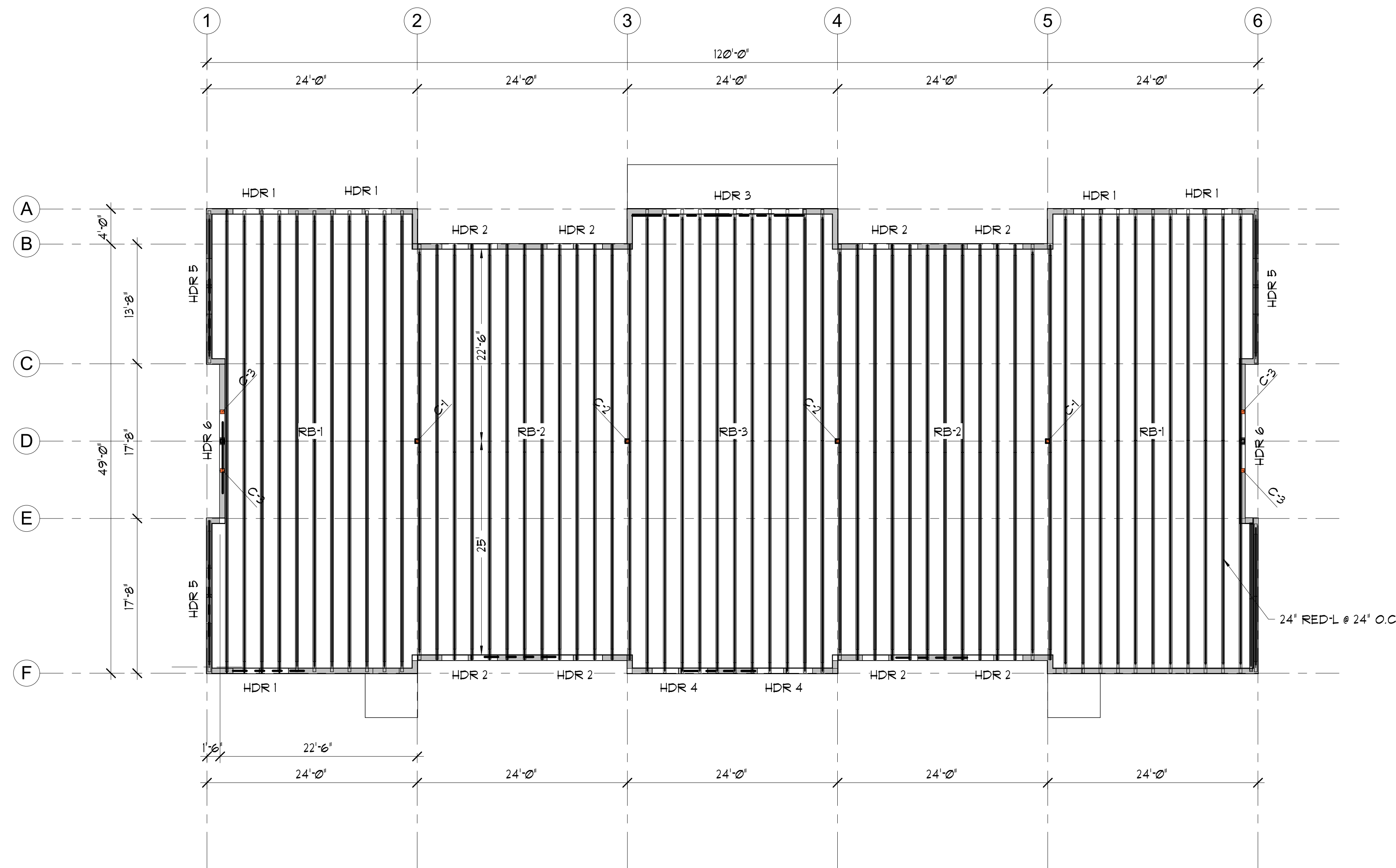
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**S1.3**



HEADER SCHEDULE			
TYPE	WIDTH	DEPTH	DESCRIPTION
HDR-1	3 1/2"	7 1/2"	GLB 24F · V4
HDR-2	3 1/2"	7 1/2"	GLB 24F · V4
HDR-3	5 1/2"	18"	GLB 24F · V4
HDR-4	3 1/2"	7 1/2"	GLB 24F · V4
HDR-5	3 1/2"	6"	GLB 24F · V4
HDR-6	5 1/2"	15"	GLB 24F · V4

COLUMN SCHEDULE			
TYPE	WIDTH	DEPTH	DESCRIPTION
C-1	Ø · 6"	Ø · 6"	H88, 3/16" THICKNESS
C-2	Ø · 6"	Ø · 6"	H88, 3/16" THICKNESS
C-3	5' · 5"	5' · 5"	GLB 24F · V8

FLOOR BEAM SCHEDULE			
TYPE	WIDTH	DEPTH	DESCRIPTION
RB-1	4'	24"	A36 W24 x 55 x 22.5 FT
RB-2	4'	24"	A36 W24 x 55 x 24.0 FT
RB-3	4'	24"	A36 W24 x 55 x 24.0 FT

NOTES:  
 1) OPEN WEB ROOF JOISTS TO BE DESIGNED AND ENGINEERED BY MANUFACTURER. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.

**STRUCTURAL PLAN LEGEND**

- WALL BELOW, BEARING
- WALL BELOW, NONBEARING
- WALL ABOVE
- - - - - STRUCTURAL BEAM
- ⬆️ TOF 0'-0" TOP OF FOOTING ELEVATION

**ROOF FRAMING PLAN**

1/8" = 1'-0" @ FULL SIZE

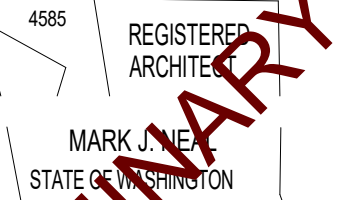


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PRELIMINARY

NEW BUILDING FOR:

**BUILDING 5 CORE AND SHELL**  
 PENNY ROAD, WENATCHEE, WA

Date: 2024-07-26

Scale Factor: 1

Drawn: CH/DF/URB

File: 24449

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**S1.4**