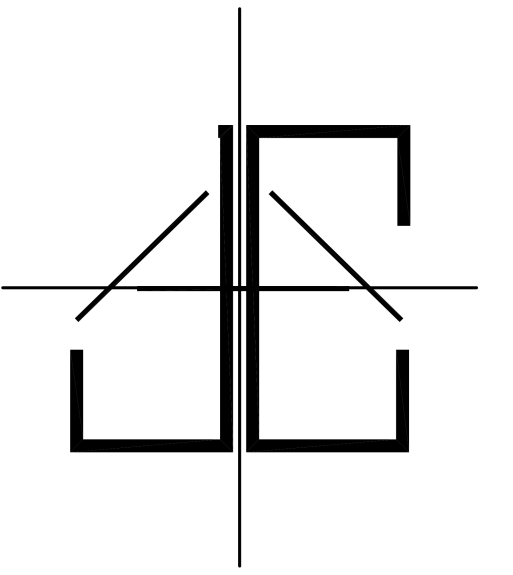


# Proposed Deck and Approval for Live Music

## The Brook Tap House

### 811 Passaic Avenue West Caldwell, NJ



Julie Anne Cecere  
Architect, L.L.C.

Proposed Deck and Approval for Live Music  
The Brook Tap House  
811 Passaic Avenue  
West Caldwell, NJ 07006

5/4/2022 REVISED TO SHOW STEEL AND CONCRETE FRAMING  
6/26/2020 ISSUED FOR PERMIT

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### GENERAL NOTES, SITE PLAN, ZONING ANALYSIS

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#### CODE ANALYSIS

USE GROUP	A-2 Restaurant
CONSTRUCTION TYPE	IIB
SPRINKLERS	YES
AREA (ex first floor)	4621 sf
OCCUPANCY LOAD	200 MAX total
(DESIGN LOAD FOR EGRESS WIDTH 190 X .2 = 38" REQUIRED; EXISTING = 128" SO OK)	

#### LIST OF DRAWINGS:

- T1 GENERAL NOTES AND CODE ANALYSIS
- A1 LANDSCAPE PLAN AND SEATING PLAN
- A2 FOUNDATION PLAN
- A3 FIRST FLOOR PLAN
- A4 ELEVATIONS
- A5 SECTION A
- E1 DECK ELECTRICAL PLAN
- S1 DECK FRAMING PLAN
- S2 PERGOLA FRAMING PLAN
- S3 FRAMING NOTES AND DETAIL

BUILDING: 2018 International Building Code, New Jersey Edition

ELECTRICAL: All work shall be in accordance with the 2017 National Electric Code

#### GENERAL NOTES:

- Contractor shall verify all existing conditions and dimensions in the field and notify the Architect of any discrepancies between actual conditions and those shown on the plans prior to the start of any work. Architect assumes no responsibility for the results of discrepancies that have not been brought to the Architect for resolution prior to installation or construction.
- All work shall be performed in accordance with all applicable laws, codes, ordinances, rules and regulations.
- GC to coordinate all new utility hookups with proper authorities.
- The Architectural Drawings shall be used in conjunction with the Mechanical and Electrical Drawings, provided by others, when establishing the location of all mechanical equipment. G.C. shall coordinate trades and locations of M/E devices.
- Contractor shall be responsible for protecting their work during the course of construction. Any damages resulting from construction procedures shall be the responsibility of those contractors causing said damage.
- Architect review of shop drawings shall not relieve the Contractor of any contract requirements, even if such items are not shown on the shop drawings.
- All revisions to shop drawings after first submission must be so identified on subsequent submissions.
- Contractors shall install all furnishings and equipment in strict accordance with manufacturer's written instructions and/or recommendations.
- Contractor shall coordinate all work with the Electrical and plumbing work.
- The General Contractor shall provide all proposed base, door trim and ceiling moldings as instructed by homeowner.
- All trades are required to provide the Owner with all equipment or material warranty information, operating instructions and maintenance information. All warranties shall commence from the date of Substantial Completion as determined by the date of issuance.
- All trades are required to provide the Owner with a requirement of a Certificate of Occupancy. Issuance of this information will be a requirement of substantial completion of the work.
- Each Contractor shall be solely responsible to remove all his rubbish and surplus material from the job at frequent intervals.
- Contractors shall continue to preserve and protect all existing vegetation such as trees, shrubs, etc., on or adjacent to the site and shall be responsible for all unauthorized damage including that caused by the careless operation of equipment or stockpiling of materials.
- Burning is not permitted on the Owners' property. All waste materials are to be removed from the Owners' property and disposed of legally.

#### DEMOLITION NOTES:

- All of the demolition as listed below or as required by the new construction, drawings and specifications shall be the responsibility of the General Contractor unless otherwise noted.
- Contractor shall demolish and remove all items as indicated on the drawings and in the specifications. Contractor shall also be responsible for any demolition and/or removals not specifically called for in the drawings and specifications but indicated by field conditions and/or to complete installation of specified components.
  - Contractor shall be responsible for removing all existing debris in the portion of the building covered by this contract and all debris caused by demolition. Contractor shall not allow a excessive amount of debris to accumulate at any time. All material and equipment removed from the building shall be disposed of by the G.C.
  - The General Contractor shall be responsible for removing all existing mechanical and electrical equipment as required to clear the space and allow for new construction. The General Contractor shall coordinate all mechanical and electrical demolition with each trade, whether it be prime or subcontractor. Coordinate termination of existing electrical service with electrical contractor.

- Contractor shall protect all existing construction to remain from damage during demolition and at all times. The Contractor is to take the required precautions as the existing building will be occupied at all times. The G.C. is to construct temp. partition and dust/security barrier to protect the occupied portion of the building.
- Contractor shall patch and/or repair all existing adjacent construction as may be required after demolition to provide a complete installation.
- See Drawings for location of existing finishes to be patched to match existing finishes and where new finishes are required.
- See Drawings for location of existing to remain items and salvaged items.
- Dashed lines indicate removals. Where not specifically noted as to extent, consult drawings and specifications for design intent.
- All prime and subcontractors shall verify all existing dimensions in the field and shall be responsible for notifying the Architect of any discrepancies between existing dimensions and dimensions as shown on the drawings.
- Each trade, whether it be prime or subcontractor, shall be responsible for their own cutting. All patching shall be the responsibility of the General Contractor.
- Contractors shall perform all demolition and construction work in accordance with the Drawings, and the Owners' requirements. Care shall be taken to limit the area of disturbance in as much as possible, as the premises will be occupied during part of the construction period.
- The Contractors are to remove, store, and/or salvage materials to be reused during construction, including, but not limited to, plumbing fixtures, mechanical equipment and millwork items, as specified on the Drawings.
- The General Contractor shall include as part of the contract the demolition, removal or relocation of existing equipment materials, appliances, etc., as indicated on the drawings or as herein specified or required. Where piping, ducts, conduit and wire, lighting fixtures, and outlets are removed, interrupted or broken, provide the required relocation, reconnection or replacement to restore to service all items not made obsolete by this work.
- Each contractor shall relocate and reconnect all new and existing lines and equipment interfering with the new ceiling work. Verify all existing conduits and piping and related appurtenances. Coordinate installation heights with that of any required egresses.
- Contractor to remove all existing floor coverings, base and ceiling throughout entire space affected by the new work. Floors are to be cleared, leveled, patched, and prepared as required to receive new floor coverings.

#### ELECTRICAL NOTES:

- Electrical Drawings as shown are for Architectural intent only. This drawing shall in no way be construed as an electrical circuiting drawing. The Electrical Contractor shall be solely responsible for obtaining all permits from all applicable authorities. The Electrical Contractor shall be responsible for circuiting all lighting fixtures, switches, receptacles, etc.
- The Electrical Contractor shall conform to all applicable local, State and Federal codes, and ordinances, to IRC, regulations of the utility company and the latest edition of the National Electrical Code. Permits shall be obtained and paid for, from all authorities having jurisdiction.
- Electrical Contractor shall furnish all wiring devices required to complete the installation.
- Service Standards: Service entrance and metering arrangements shall be in conformity with applicable service standards published by the serving utility company.
- Receptacles and switches shall be standard type "UL" listed in compliance with the latest editions of the National Electrical Code.
- Installation:
  - Verify location of lighting fixtures with Architect/Owner prior to installation.
  - General receptacles shall be on maximum spacing of 6' o.c., 12" x 11", unless noted otherwise. Architectural drawing illustrates specific receptacle locations, general receptacles in addition to those illustrated to satisfy code requirements are to be provided as part of the base contract.
  - Connect all appliances provided by Owner.
  - Connect all mechanical equipment, boiler, exhaust fans, etc., as supplied by HVAC Contractor.
  - G.C. to provide all telephone/CATV, wiring outlets and other devices to complete installation. Coordination with local utility companies.
  - All existing electrical outlets and telephone jacks are to remain unless otherwise noted to be removed. Electrical outlets and telephone jacks shown are new outlets to be installed and shall be circled to existing building services.
  - The Electrical Contractor shall be responsible for circuiting all lighting, electrical outlets, etc., to the appropriate sub-panel.
  - Recessed light fixtures shall be air tight and IC rated. Air leakage rating shall not be more than 2.0 cfm. Seal with gasket or caulk.
  - Not less than 90% of the lamps in permanently installed fixtures shall be high efficacy lamps or not less than 90% of the permanently installed lighting fixtures shall contain only high-efficacy lamps.

#### CODE COMPLIANCE ANALYSIS

Dining Area 1 (the front bar area)	20 chairs
Dining Area 2 (front right eating area)	23 stools
Dining Area 3 (rear right eating area)	32 chairs
Dining Area 4 (rear left eating area)	48 chairs
Waiting area	12 booth seating
Standing area	23 chairs
Employees	6 people
Total:	16
EMPLOYEES	10
Total:	CAN HAVE MAX 200 PER CODE
OUTDOOR SEATS	52
total occupants indoor plus outdoor = 200 + 52 = 252 so must close off rear room and remove booth seating to remove 52 to obtain maximum 200 occupants.	
Per Board Meeting: MAX OCCUPANTS: 190	

#### Code Compliance

Egress:  
1006.3.2 The capacity, in inches, of means of egress components shall be calculated by multiplying the occupancy load x 2 inches.  
190 x 2 = 38 inches required.  
36" door reduced to 32" x 4 = 128" inches exists SO OK

1006.3.1 Minimum Number of Exits Per Story  
1-500 occupants, Number of exits required=2  
4 exits existing SO OK

TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE  
Occupancy A with sprinkler system 250'  
125' PATH EXISTS, SO OK

Plumbing  
7.21.1 A-2 Restaurant, Minimum Number of Required Plumbing Fixtures (1902 = 95 each sex total occupants)  
water closet lavatories  
(50 or less) Male Female Male Female  
1 1 1 1  
(51-100) add 1 add 1 add 1 add 1

Required male lavatories:2 female lavatories: 2  
Existing male lavatories:2 female lavatories: 2  
Required male water closets:2 female water closets: 2  
Existing male water closets: 3 female water closets:2  
Existing unisex lavatory: 1, unisex water closet: 1 so 200 OK

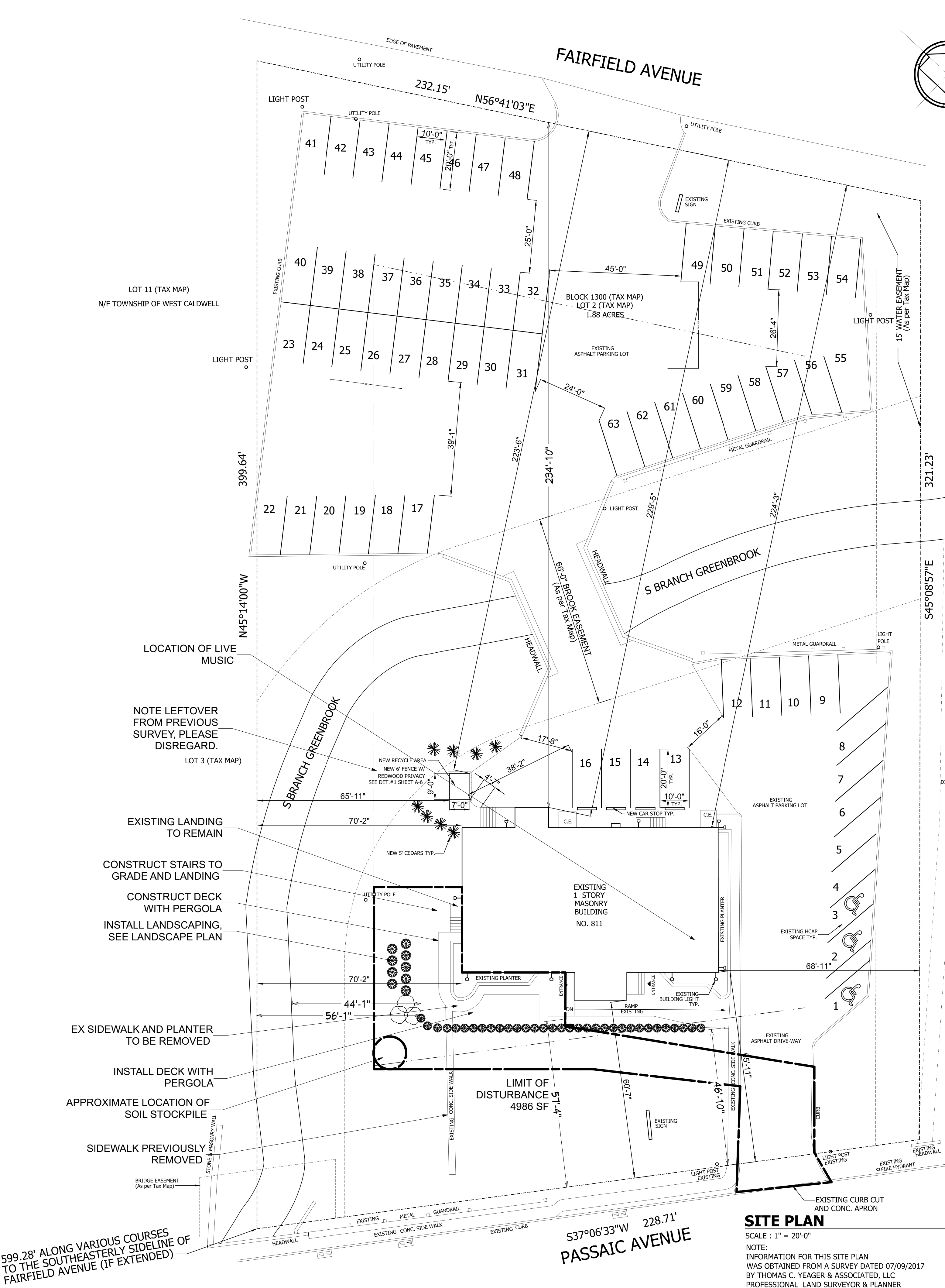
7.21.8 Food Service Establishments  
Restaurants with a seated occupant load exceeding 100 customers shall be provided with separate toilet facilities for employees and customers. For employees of 15 or less, one employee toilet facility, designed for use by no more than one person at a time, shall be permitted for use by both sexes.  
10 employees, One unisex employee bathroom exists.

ZONING ANALYSIS	M1 ZONE	Lot 2	Block 1300	
M1 ZONE	Required	Existing	Proposed	Var Granted
Min lot size	80000	81,892	N/C	
Front yard	50'	46'-10"	57'-4"	
Side yard	40'	70'-2"	56'-1"	
Side yd comb.(40x227')	90.8'	139'-1"	125'	
Rear yard	60'	234'-10"	N/C	
Bldg Height	35' 2 ST	14'-9"	13'-5"	
Max Lot cov.	75%	53%	53%	
Max Bldg cov.	30%	8%	7%	
Required Parking	1 space/2.5 seats (84)	63	63	Y
Deck Permitted in rear yard only			In front and side yards	Y
Outdoor seating	15% interior seating (24)		52	Y
Deck permitted in residence district only				Y
BLDG Building Footprint	Existing	Proposed	Total	
Deck	4902	798	4902	
Stair		-19,25	6	
	4902/81892=0.59	804	5706/81892=0.69	
LOT Main structure	Existing	Proposed	Total	
Deck	4902	798	4902	
Stair		-19,25	6	
Driveway	36,877		36,877	
Planter/walks	878	-332,25	571	
Sign	10		10	
Ex Ramp	525		525	
Total:	43192/81892=527	497	43689/81892=533	

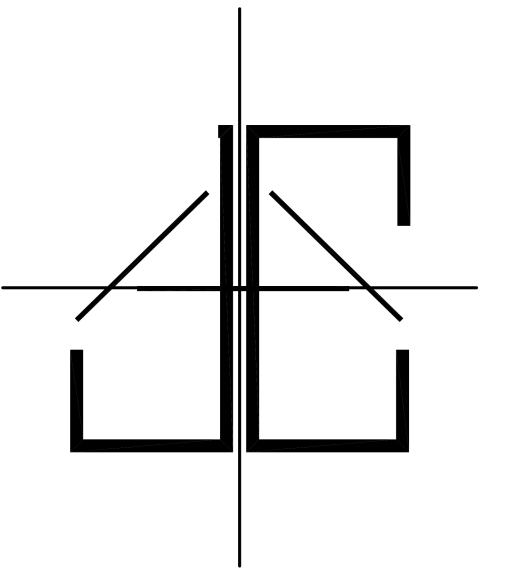
#### SITE PLAN

SCALE: 1" = 20'-0"

NOTE:  
INFORMATION FOR THIS SITE PLAN  
WAS OBTAINED FROM A SURVEY DATED 07/09/2017  
BY THOMAS C. YEAGER & ASSOCIATED, LLC  
PROFESSIONAL LAND SURVEYOR & PLANNER  
63 COLUMBIA STREET, WHARTON, NEW JERSEY  
PHONE 973-361-5331



599.28' ALONG VARIOUS COURSES TO THE SOUTHEASTERLY SIDELINE OF FAIRFIELD AVENUE (IF EXTENDED)



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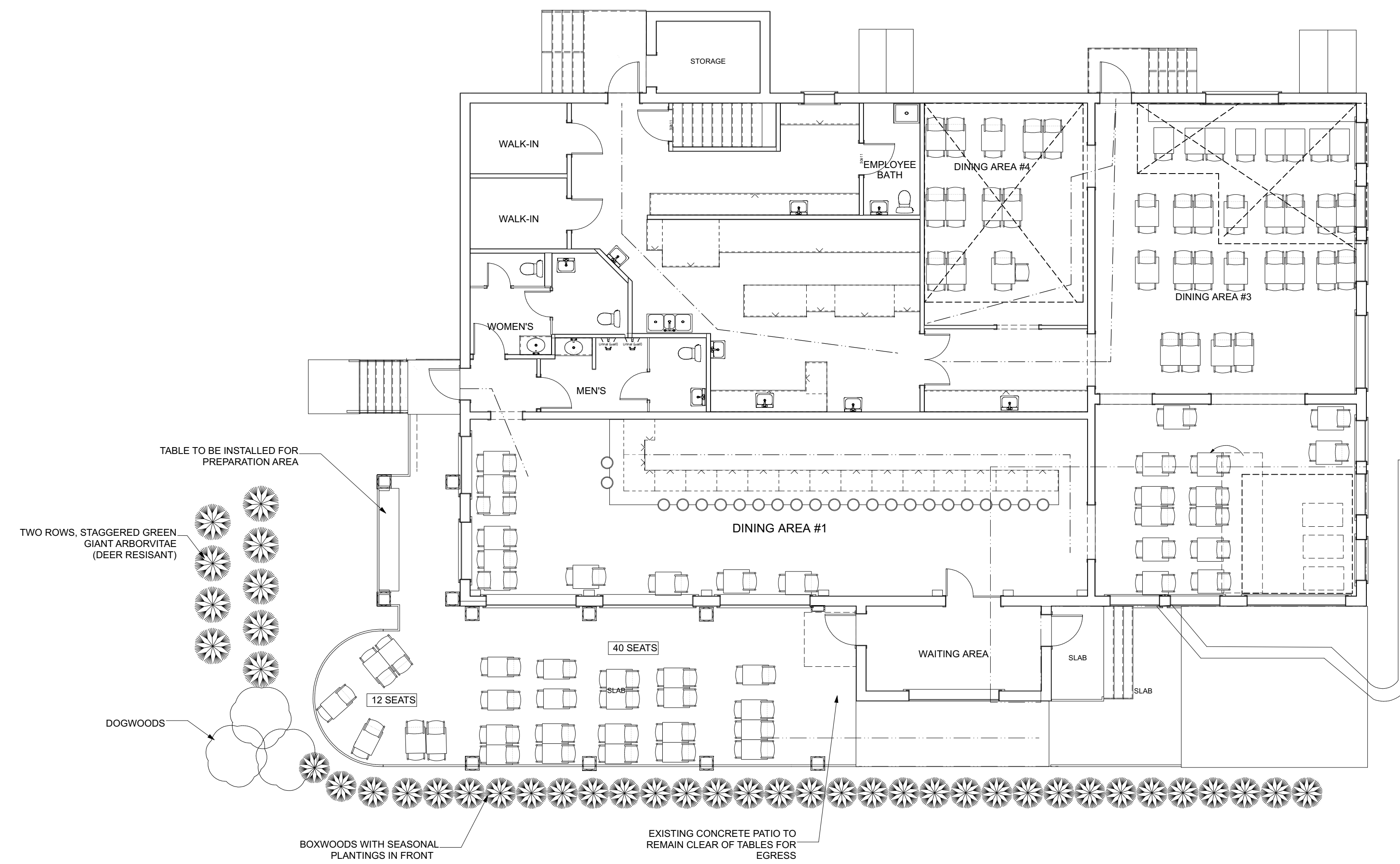
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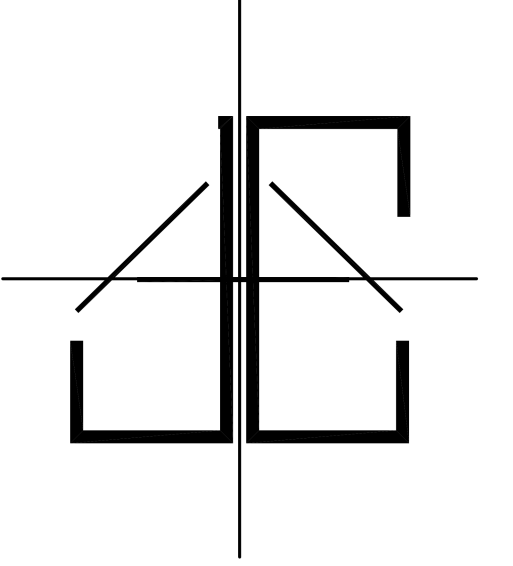
LANDSCAPE PLAN / SEATING PLAN

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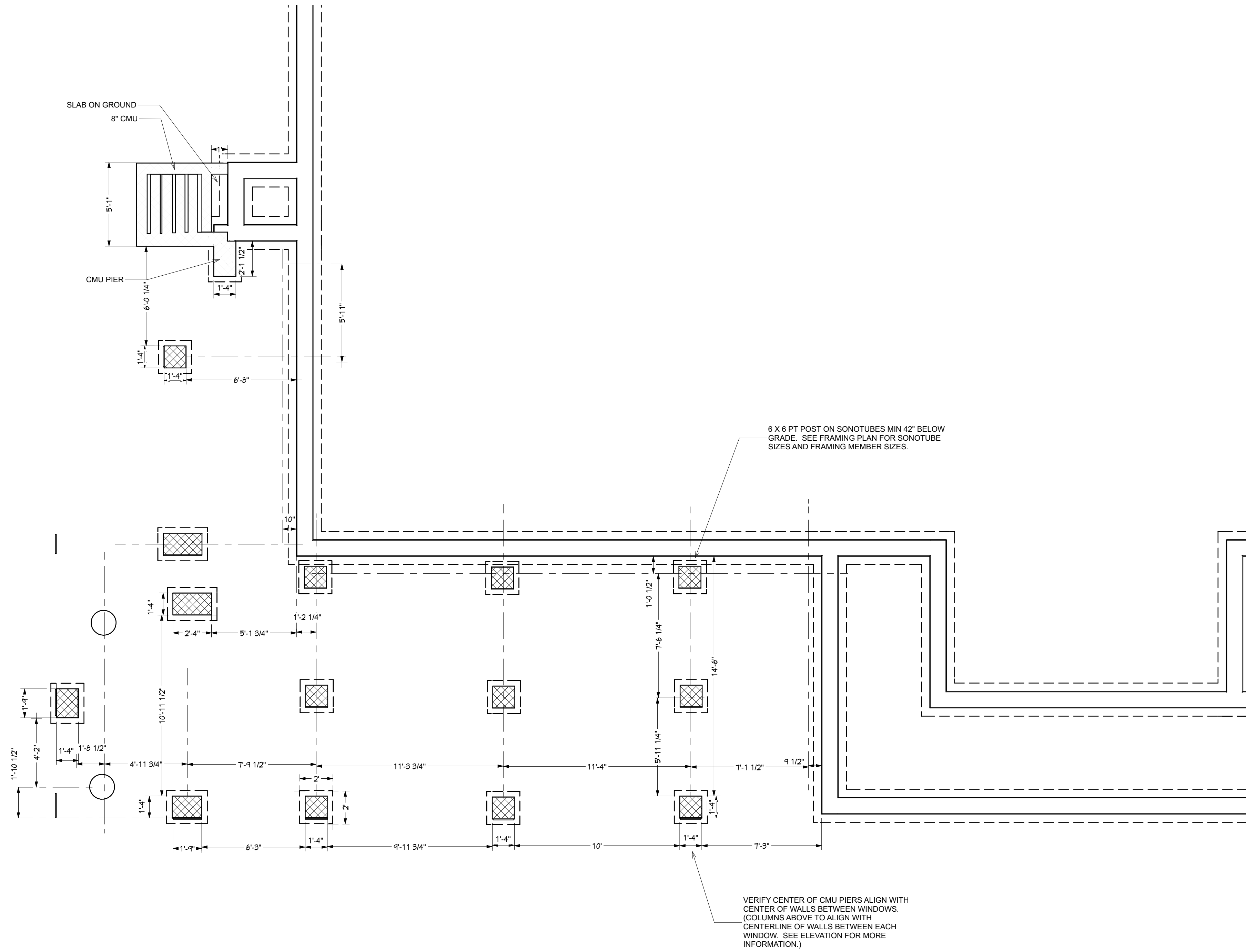
### LANDSCAPE/SEATING PLAN

SCALE: 1/8" = 1'-0"



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### FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

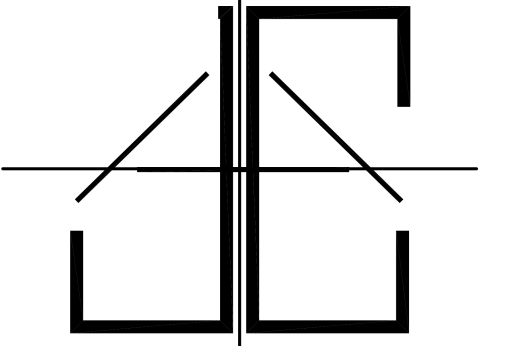
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### FOUNDATION PLAN

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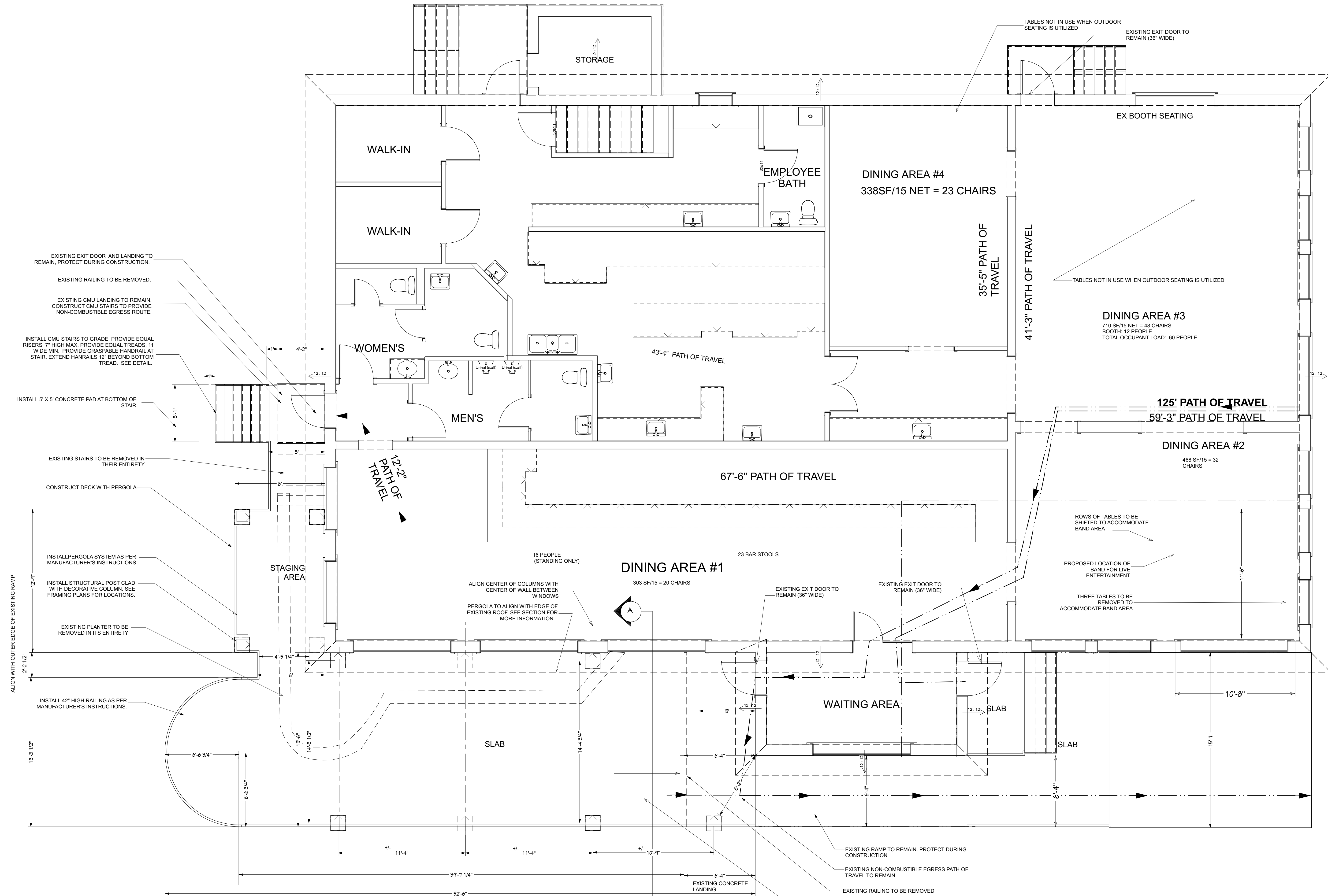
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FIRST FLOOR PLAN

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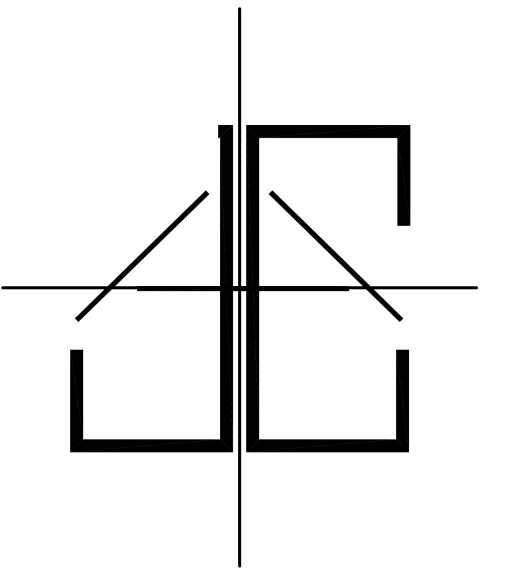


- GENERAL NOTES:
- GC SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE PLANS PRIOR TO THE START OF ANY WORK. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE RESULTS OF DISCREPANCIES THAT HAVE NOT BEEN BROUGHT TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF ANY WORK.
  - THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
  - ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF UNDERWRITERS. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT AND EXTENT OF THE WORK. AS THE WORK PROGRESSES THE OWNER AND CONTRACTOR AT NO EXTRA COSTS SHALL MAKE MODIFICATIONS TO MAKE THE PARTS ALIGN.
  - CHANGES MADE TO THE PLANS BY THE OWNER AND CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES.

- CONSTRUCTION NOTE:
- ALL LUMBER SHALL BE FIRE-RETARDANT TREATED AND PRESSURE TREATED.
  - ALTERNATE PERGOLA CONSTRUCTION: PREMANUFACTURED PERGOLA BY WALPOLE. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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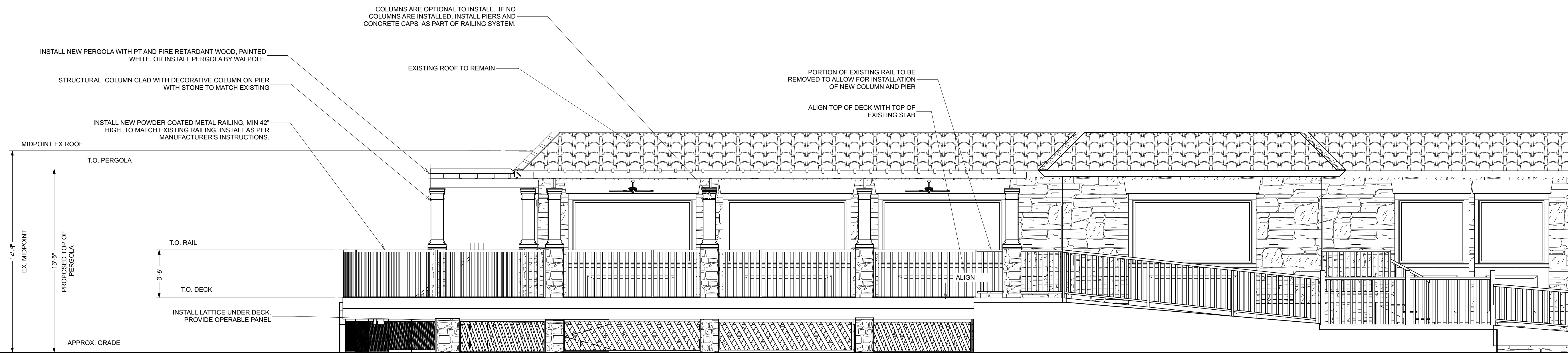
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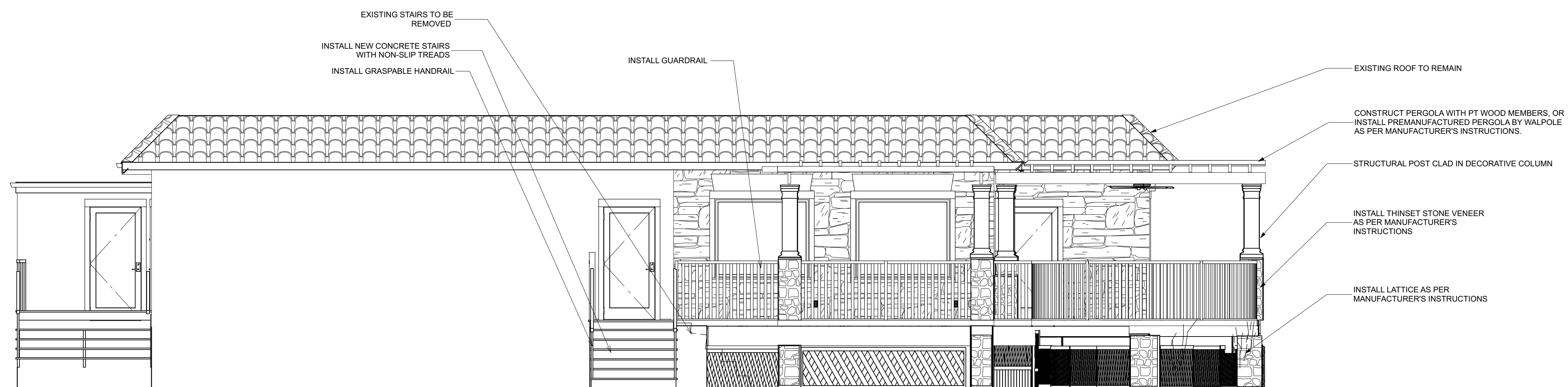
ELEVATIONS

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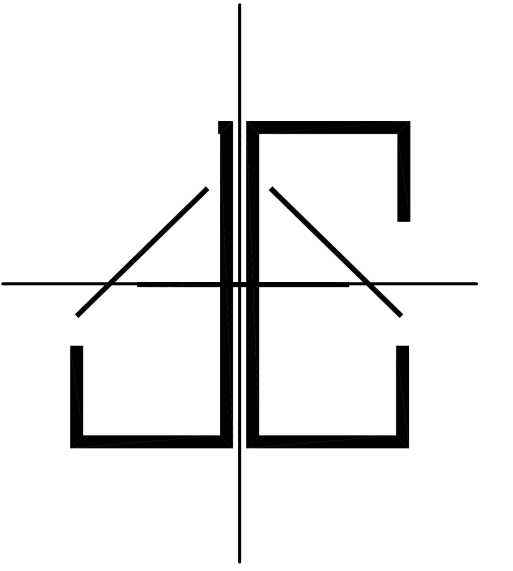
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



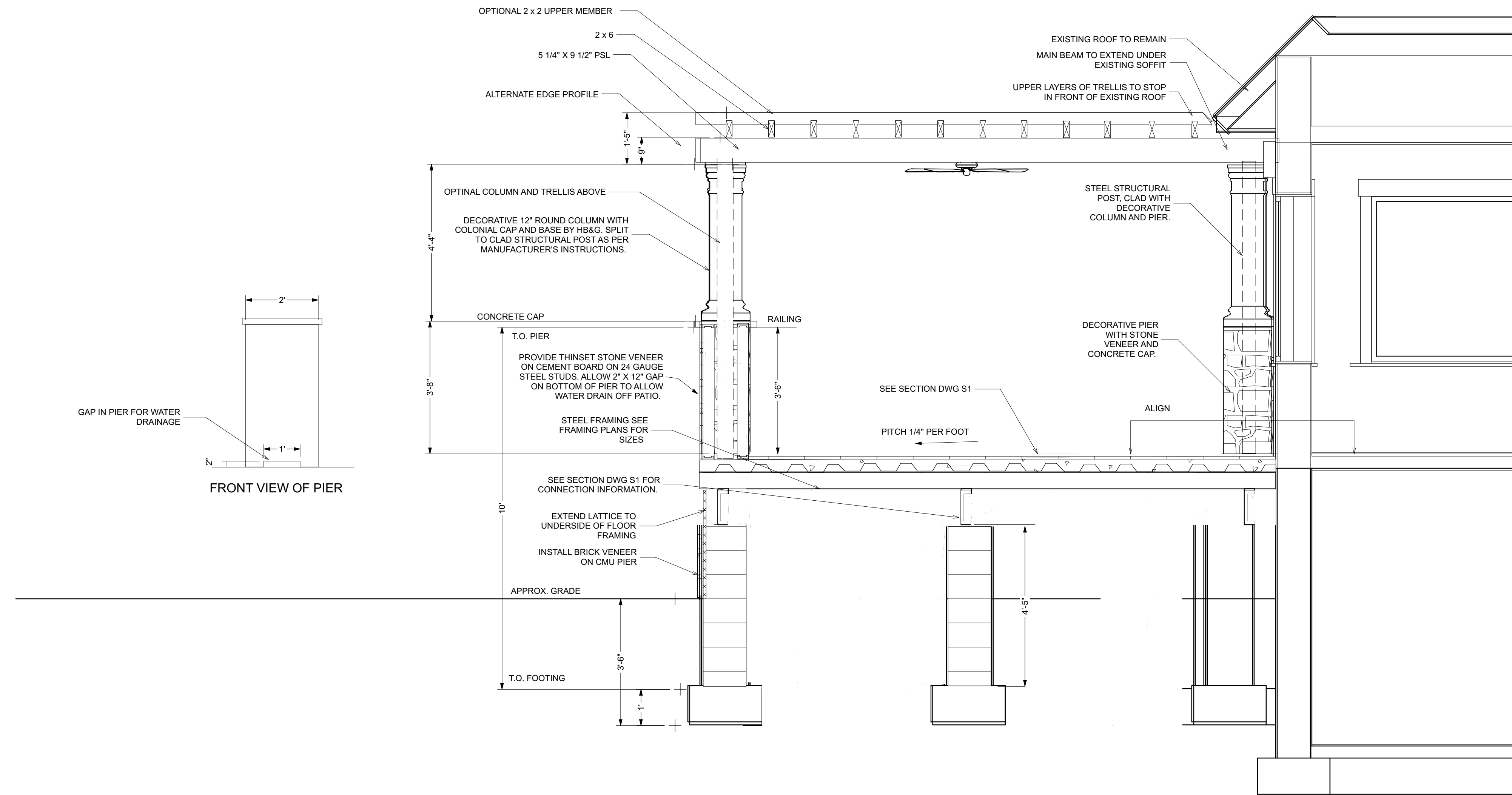
**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



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**SECTION A**

SCALE: 1/2" = 1'-0"

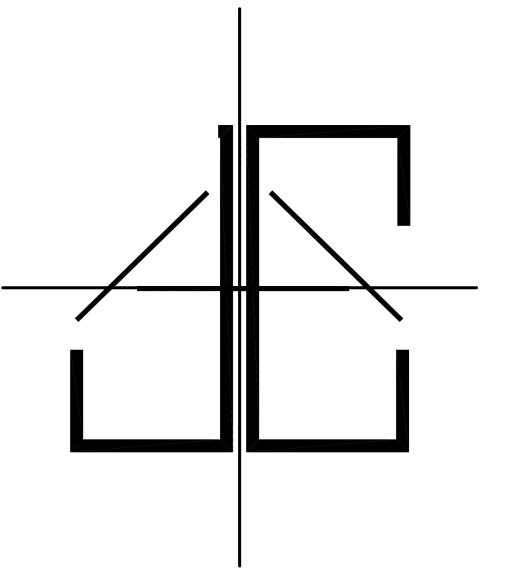
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SECTION A

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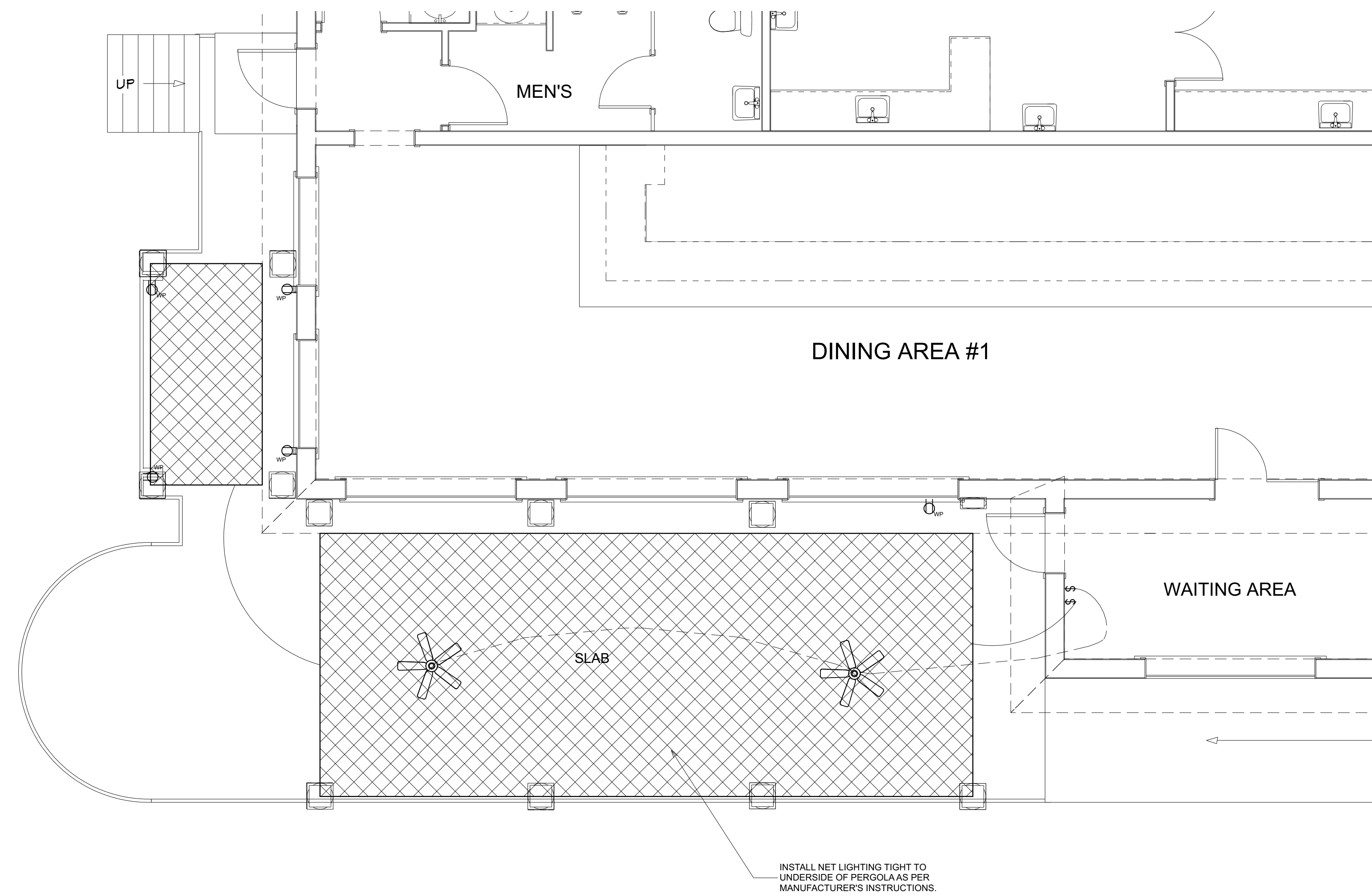
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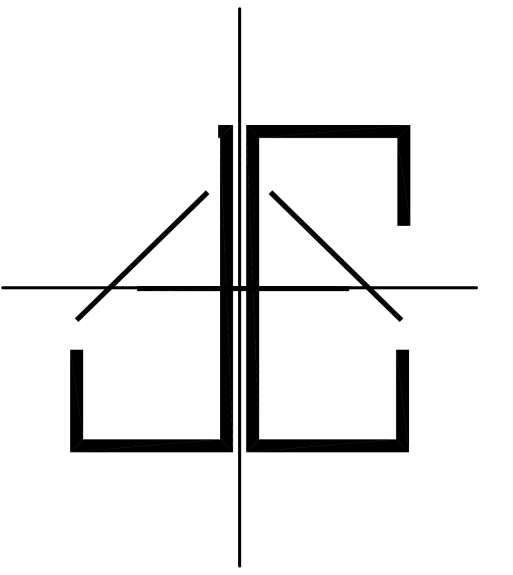
DECK ELECTRICAL PLAN

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**DECK ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"



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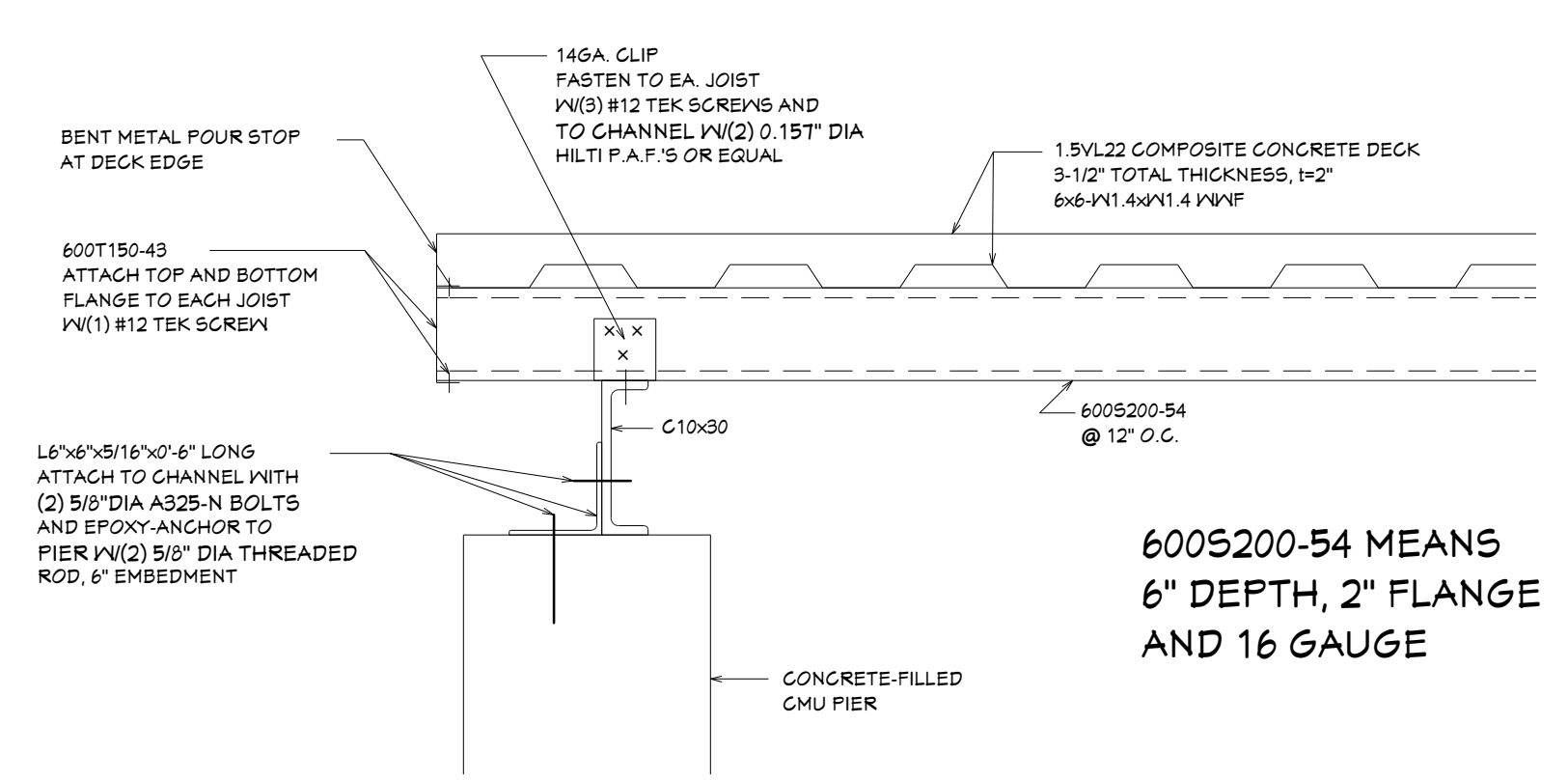
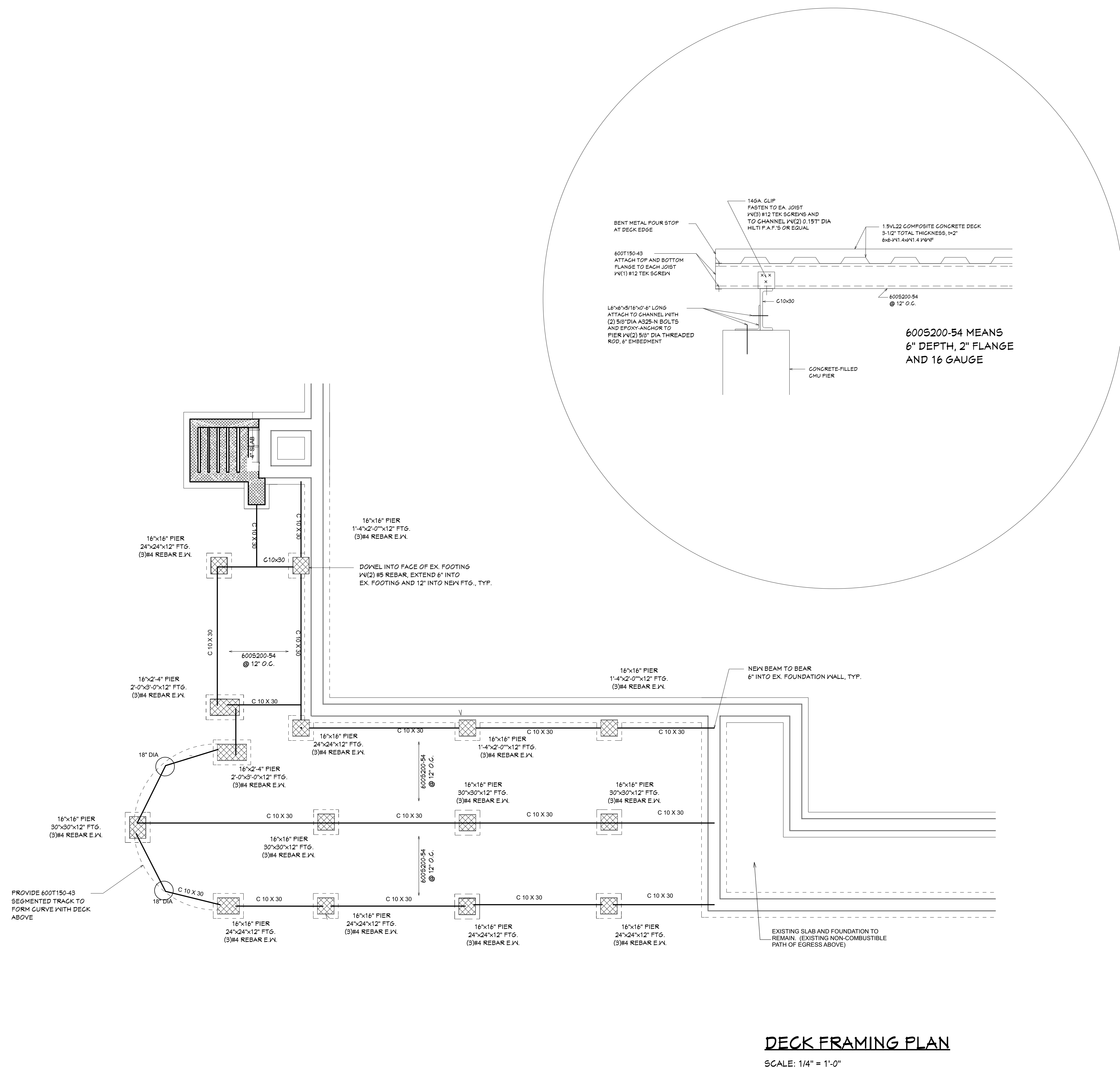
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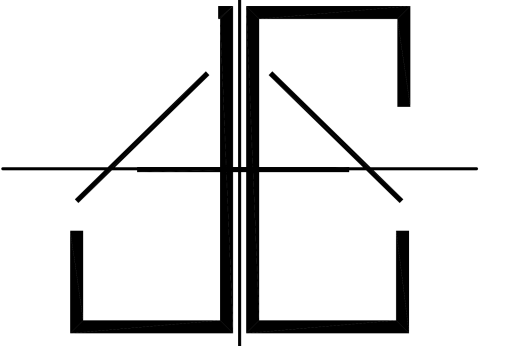
**DECK FRAMING PLAN**

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600S200-54 MEANS  
6" DEPTH, 2" FLANGE  
AND 16 GAUGE





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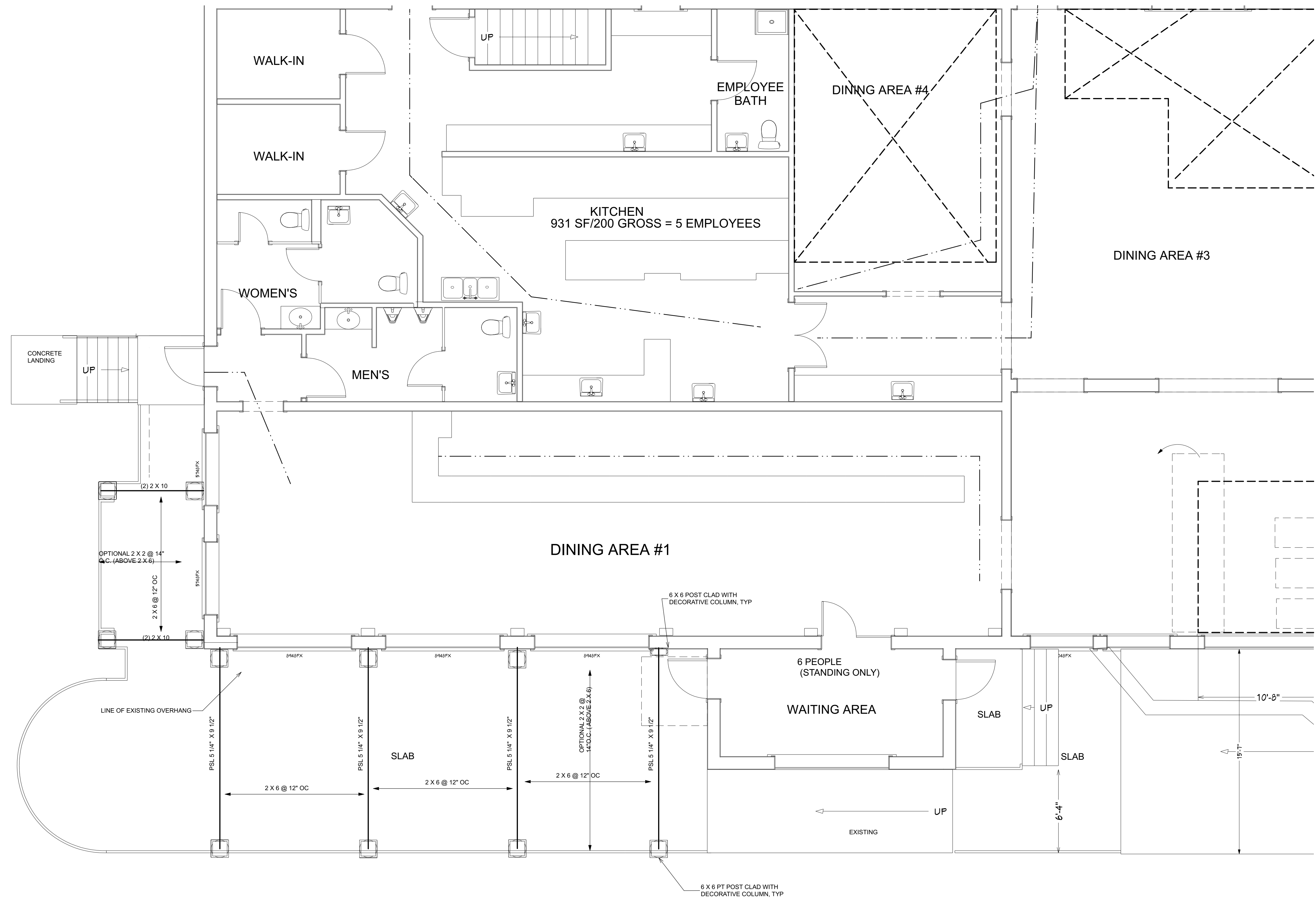
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PERGOLA FRAMING PLAN

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603.1 ALLOWABLE MATERIALS. COMBUSTIBLE MATERIALS SHALL BE PERMITTED IN BUILDINGS OF TYPE I OR II CONSTRUCTION IN THE FOLLOWING APPLICATIONS OR IN ACCORDANCE WITH SECTIONS 603.1.1 THROUGH 603.1.3.  
 FIRE-RETARDANT/TREATED WOOD SHALL BE PERMITTED IN:  
 1.3 ROOF CONSTRUCTION, INCLUDING GIRDERS, TRUSSES, FRAMING AND DECKING.  
 1.4 BALCONIES, PORCHES, DECKS AND EXTERIOR STAIRWAYS NOT USED AS REQUIRED EXITS ON BUILDINGS THREE STORIES OR LESS ABOVE GRADE PLANE.

INSTALL NEW SLIP-RESISTANT DECKING BY TREX OR APPROVED EQUAL

**PERGOLA FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

**BUILDING CODE**

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF N.J.A.C. 5:23, "UNIFORM CONSTRUCTION CODE REGULATIONS", LATEST EDITION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS CODE, WITH THE SPECIFICATION, AND WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.

**GENERAL**

1. THIS PROJECT HAS BEEN DESIGNED FOR THE WEIGHTS OF MATERIALS INDICATED IN THE DESIGN CRITERIA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGING, BRACING, SHEETING, SHORING, ETC.
2. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL STRUCTURAL ELEVATIONS AND DIMENSIONS WITH EXISTING CONDITIONS AND WITH OTHER PROJECT DRAWINGS; COORDINATE LOCATION OF SLEEVES AND OPENINGS THROUGH THE STRUCTURE, SLAB DEPRESSIONS, FLOOR DRAINS, INSERTS, AND OTHER RELATED ITEMS.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CORRECTNESS OF DIMENSIONS OR QUANTITIES AND FOR THE FITTING TO OTHER WORK; FOR WORK TO BE CONFIRMED AND CORRELATED AT THE SITE; FOR INFORMATION PERTAINING TO THE FABRICATION PROCEDURE OR TO THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION; AND FOR THE COORDINATION OF STRUCTURAL WORK WITH THE WORK OF ALL OTHER TRADES. THE VERIFICATION OF THE PHYSICAL INTERRELATIONSHIPS OF ELEMENTS OF THE WORK FROM PLANS AND SPECIFICATIONS AND IN THE FIELD IS THE CONTRACTOR'S SOLE RESPONSIBILITY. REVIEW OF THE CONTRACTOR'S SUBMISSIONS DOES NOT RELIEVE THE CONTRACTOR FROM THESE RESPONSIBILITIES.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT DETAIL AND LOCATION OF OPENINGS OR RECESSES IN WALLS, SLABS, AND FLOORS, AND OTHER DIMENSIONS NOT SHOWN IN STRUCTURAL DRAWINGS.
5. PROPOSED OPENINGS OR RECESSES IN THE STRUCTURE WHICH ARE NOT SHOWN IN THE STRUCTURAL DRAWINGS, EITHER DIRECTLY OR BY TYPICAL DETAIL, SHALL BE SUBMITTED FOR ACCEPTANCE.
6. IN CASE OF CONTRADICTION BETWEEN THE DRAWINGS, THE SPECIFICATIONS, AND THE CODES, OR IF ANY CHANGE IS REQUIRED, THE CONTRACTOR SHALL INFORM THE ARCHITECT/ENGINEER IMMEDIATELY. NO CHANGE SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.

**FOUNDATIONS:**

1. FOUNDATIONS HAVE BEEN DESIGNED TO AN ALLOWABLE SOIL BEARING PRESSURE OF 3000 PSF ON VIRGIN SOIL. SHOULD CONDITIONS VARY FROM THOSE ASSUMED, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED BEFORE CONTINUATION OF WORK.
2. ALL FOOTINGS SHALL BE PLACED DIRECTLY ON VIRGIN SOIL, CERTIFIED COMPACTED FILL, OR ROCK.
3. CONCRETE FOR FOUNDATIONS:
  - A. ALL CONCRETE WORK SHALL CONFORM TO REQUIREMENTS OF THE A.C.I. BUILDING CODE REQUIREMENT FOR STRUCTURAL CONCRETE (318-02 ULTIMATE STRENGTH DESIGN).
  - B. ALL CONCRETE SHALL BE MIXED, TRANSPORTED, AND PLACED IN ACCORDANCE WITH ACI STANDARDS 318, 304, AND 301, LATEST EDITIONS.
  - C. PROVIDE CONCRETE WITH THE FOLLOWING PROPERTIES:
 

f <sub>c</sub> (PSI)	COURSE AGGREGATE	LOCATION
4000	NORMAL WEIGHT	U.O.N.
4. SEE REINFORCED CONCRETE NOTES FOR ADDITIONAL INFORMATION.
5. ALL FILL SHALL BE PLACED IN TWELVE INCH LOOSE LIFTS (MAXIMUM) COMPACTED TO PROVIDE 95% OF MAXIMUM DRY DENSITY BELOW PROPOSED FOOTINGS AND SLABS.
6. ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 3"-6" BELOW FINAL GRADE WHEN BEARING ON SOIL.
7. DEWATERING SHALL BE PROVIDED AS REQUIRED SO THAT EXCAVATION, CONCRETE WORK AND BACKFILLING ARE TO BE PERFORMED IN THE DRY.
8. BACKFILL AGAINST FOUNDATION WALLS OR CMU RETAINING WALLS SHALL NOT BE PERFORMED FOR A MINIMUM OF SEVEN DAYS AFTER CONSTRUCTION IS COMPLETED.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHERE BOTTOM OF FOOTING ELEVATION IS CHANGED AND OBTAIN REVISED DESIGN OF THE FOUNDATION WALLS AS REQUIRED.

**REINFORCED CONCRETE**

1. ALL CONCRETE WORK SHALL CONFORM TO REQUIREMENTS OF THE ACI 301, 304, AND ACI 318, LATEST EDITIONS.
2. THE CONCRETE MIX SHALL CONFORM TO THE PROVISIONS FOR CONCRETE QUALITY CONTAINED IN CHAPTER 5, ACI 318. COMPRESSIVE STRENGTH, f<sub>c</sub>, IS MEASURED AT 28 DAYS AGE.

f <sub>c</sub> (PSI)	MINIMUM CEMENT POUNDS PER C.Y.	LOCATION
4000 NORAML WEIGHT	610	ALL

3. PROVIDE CONCRETE WITH THE FOLLOWING PROPERTIES:

f <sub>c</sub> (PSI)	COURSE AGGREGATE	MAXIMUM SLUMP INCHES	MAXIMUM WATER CEMENT RATIO
4000	NORMAL WEIGHT	5	0.46

4. UNLESS OTHERWISE NOTED:
  - A. ALL REINFORCING BARS SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.
  - B. ALL WELDED WIRE MESH SHALL CONFORM TO ASTM A185.
5. SPLICING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED, REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY IN ACCORDANCE WITH ACI 318.
6. REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FORM THE BASIS FOR BAR EMBEDMENT LENGTHS AND BAR SPLICE LENGTHS SHOWN IN THE DRAWINGS. APPLY APPROPRIATE MODIFICATION FACTORS FOR TOP-STEEL, BAR SPLICING, COVER, AND THE LIKE.
7. DETAILING OF REINFORCING STEEL SHALL CONFORM TO ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315).
8. LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER.
9. SPLICES OF WWF, AT ALL SPLICED EDGES, SHALL BE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS 2 INCHES, NOR LESS THAN 8 INCHES.
10. WELDING OF REINFORCING BARS IS NOT PERMITTED UNLESS SPECIFICALLY CALLED FOR IN THE DRAWINGS.
11. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. THE WIRE SHALL BE 16 GAGE CONFORMING TO ASTM A82.
12. REINFORCING STEEL SUPPORTED ON THE GROUND SHALL BE PLACED ON PRECAST BLOCKS PRODUCED SPECIFICALLY FOR THE INTENDED PURPOSE.
13. BAR SUPPORTS SHALL BE ALL-GALVANIZED METAL WITH PLASTIC TIPS.
14. REINFORCING STEEL SHALL BE PLACED TO PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER, UNLESS OTHERWISE INDICATED:
 

SLABS/FOOTINGS/FOUNDATIONS	3"
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15. NON-SHRINK GROUT SHALL BE PREMIXED AND BAGGED BY MANUFACTURER. ACCEPTABLE NON-SHRINK GROUT: MASTERFLOW 713 BY MASTER BUILDERS OR ACCEPTED BY THE ENGINEER.

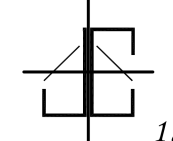
**TIMBER**

1. ALL TIMBER CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
2. ALL SAWN DIMENSIONAL TIMBER SHALL MEET THE MINIMUM VISUALLY GRADED LUMBER REQUIREMENTS OF SOUTHERN YELLOW PINE NO. 1, OR ACCEPTED EQUAL.
3. ALL MICROLAMBS SHALL BE 2.0E MICROLAM LVL BY ILEVEL TRUS JOIST, F<sub>b</sub>=2600 PSI AND E=2,000,000 PSI, SIZE AS INDICATED ON DRAWINGS.
4. ALL WOLMANIZED PARALLAMS SHALL BE PARALLAM PLUS PSL BY ILEVEL TRUS JOIST, SERVICE LEVEL 2, F<sub>b</sub>=1,827 PSI AND E=1,460,000 PSI, SIZE AS INDICATED ON DRAWINGS.
5. ALL PARALLAM COLUMNS SHALL BE 1.8E PARALLAM PSL BY ILEVEL TRUS JOIST, F<sub>cl</sub>=2,500 PSI AND E=1,800,000 PSI, SIZE AS INDICATED ON DRAWINGS.
6. WHERE MICROLAM SECTIONS ARE INDICATED TO BEAR ON SUPPORTING FRAMING, FULL WIDTH BEARING SHALL BE PROVIDED. MINIMUM BEARING LENGTH FOR SECTIONS SHALL BE 3" UNLESS INDICATED OTHERWISE.
7. INSTALL MICROLAMBS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS USING ALL RECOMMENDED STIFFENERS, BLOCKING, AND FASTENERS.
8. EXCEPT AS OTHERWISE NOTED ON DRAWINGS, ALL TIMBER SHALL BE FASTENED IN ACCORDANCE WITH THE FASTENING SCHEDULE (TABLE 2304.10.1) SPECIFIED IN THE INTERNATIONAL BUILDING CODE (IBC), 2015 EDITION.
10. ALL WOOD FOR EXTERIOR USE OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE EXTERIOR GRADE (PRESSURE TREATED).
11. PROVIDE PRE-MANUFACTURED GALVANIZED STEEL CONNECTION HARDWARE AT ALL TIMBER CONNECTIONS WHERE POSSIBLE. ALL TIMBER CONNECTION HARDWARE SHALL BE PRE-MANUFACTURED STEEL AS APPROPRIATE BY SIMPSON STRONG-TIE CO., INC. CONNECTIONS SHALL BE NAILED AND/OR BOLTED AS PER MANUFACTURER'S RECOMMENDATIONS.
12. WHERE POSTS ARE LOCATED ABOVE, PROVIDE POST OF THE SAME SIZE DIRECTLY BELOW TO ASSURE CONTINUOUS LOAD PATH, UNLESS OTHERWISE NOTED.

**Proposed Deck and Approval for Live Music**  
**The Brook Tap House**  
**811 Passaic Avenue**  
**West Caldwell, NJ 07006**

5/4/2022 REVISED TO SHOW STEEL AND CONCRETE FRAMING

6/26/2020 ISSUED FOR PERMIT

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**FRAMING NOTES AND DETAIL**

DRAWN BY	DATE:	<b>S3</b>
JAC	2/12/2020	
CHECKED BY	PROJECT NO	
JAC	1915	
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