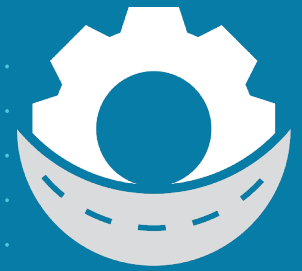


Industrial | For Lease

Julian Commerce Center

5120 S Julian Dr | Tucson, AZ 85739

Renovations Currently Underway



JULIAN COMMERCE
CENTER



CBRE

 **Schnitzer**
PROPERTIES

Rendering of planned renovation

Property Overview

The Julian Commerce Center is a versatile property located at the I-10/Irvington Rd interchange offering excellent accessibility and visibility. The property features ample parking and potential for trailer parking, of which is in high demand within the Tucson market. Renovations are currently underway, and completion estimated for July 2026. Planned renovation to include HVAC warehouse, upgraded lighting, modern finishes, additional loading, etc.



Building Size	±140,405 SF
Lease Rate	\$0.85-\$0.90/SF/Month NNN
Bay Size	±30,548 SF – ±140,405 SF
Clear Height	18'
Year of Construction	1986
Year of Renovation	2026
Loading	(4) 12'x14' grade level doors (13) 9'x10' dock high doors
Power	4,000 Amps [(2) 2,000 Amp SES], 480v, 3-phase
Gas Provider	Southwest Gas
Construction	Concrete Tilt-Up
Zoning	CI-1, Light Industrial (Pima County)
Parking Ratio	6:1,000 SF



Image taken prior to renovation

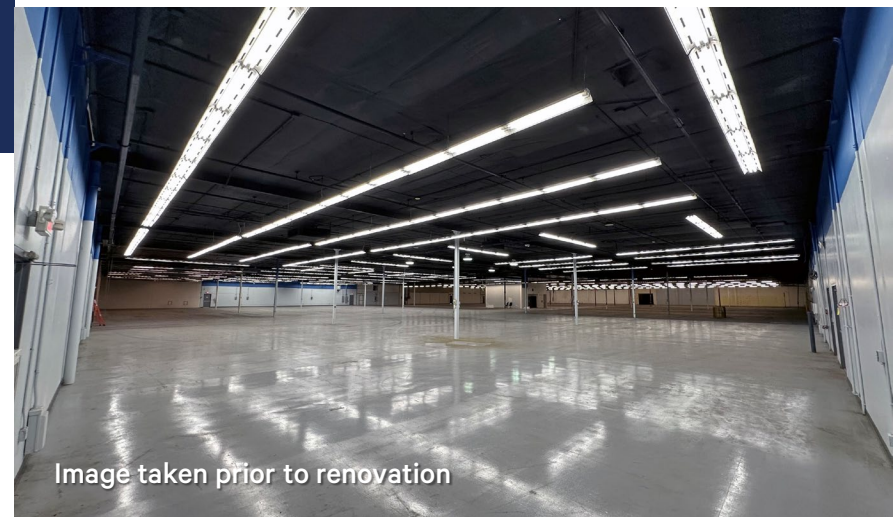


Image taken prior to renovation

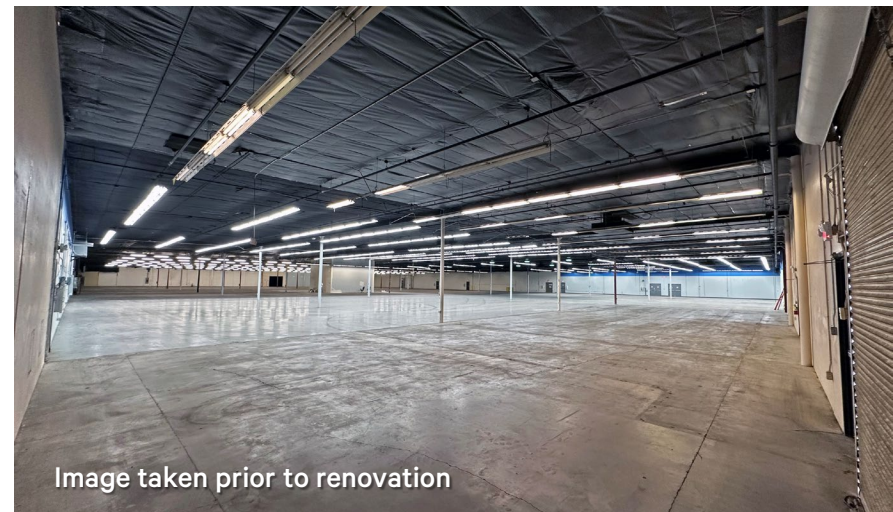


Image taken prior to renovation

Close-Up Map



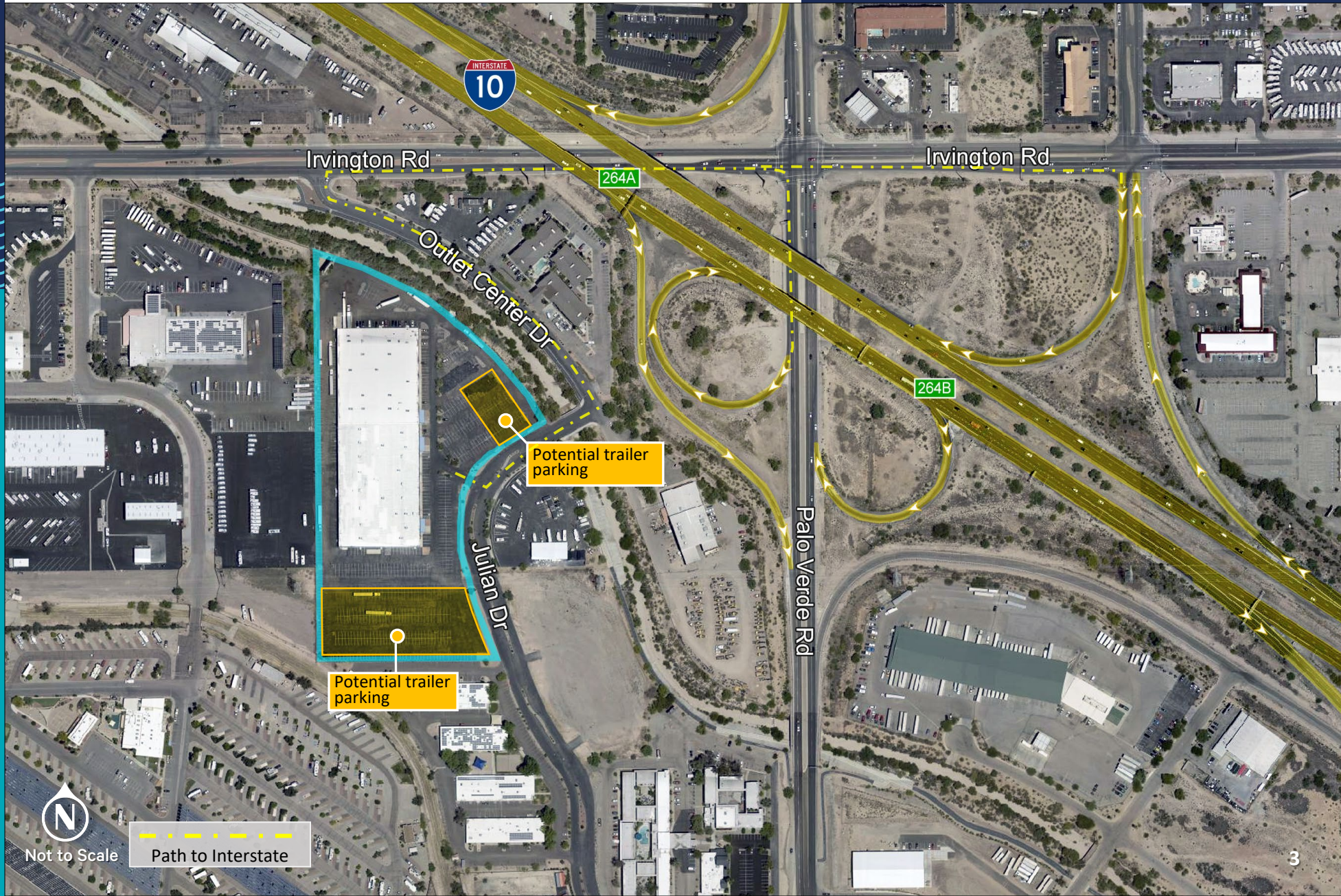
Highway

Less than half a mile to Interstate 10



Airport

4 miles from the Tucson International Airport



Not to Scale

Path to Interstate

Industrial Specifications

Suite	Total SF	Office SF	Warehouse SF	Power	Loading Doors	Monthly Lease Rate PSF	CAM PSF	Monthly Rent	Date Vacant	Vacancy Plan
110	±30,954	±2,210	±28,744	480v, 3-Phase	4 Dock / 1 Grade	\$0.90	\$0.17	\$32,502	12.01.24	Spec TI Est. Completion July 2026
130	±30,548	±2,199	±28,349	480v, 3-Phase	3 Dock / 1 Grade	\$0.90	\$0.17	\$32,595	12.01.24	Spec TI Est. Completion July 2026
110/130	±61,502	±4,409	±57,093	480v, 3-Phase	7 Dock / 2 Grade	\$0.88	\$0.17	\$64,393	12.01.24	Spec TI Est. Completion July 2026
160	±35,165	±2,191	±32,974	480v, 3-Phase	3 Dock / 1 Grade	\$0.90	\$0.17	\$37,521	12.01.24	Spec TI Est. Completion July 2026
190	±43,738	±2,211	±41,527	480v, 3-Phase	3 Dock / 1 Grade	\$0.89	\$0.17	\$46,231	12.01.24	Spec TI Est. Completion July 2026
160/190	±78,903	±4,402	±74,501	480v, 3-Phase	6 Dock / 2 Grade	\$0.87	\$0.17	\$81,822	12.01.24	Spec TI Est. Completion July 2026
110-190	±140,405	±8,811	±131,594	480v, 3-Phase	13 Dock / 4 Grade	\$0.85	\$0.17	\$143,213	12.01.24	Spec TI Est. Completion July 2026



Image taken prior to renovation



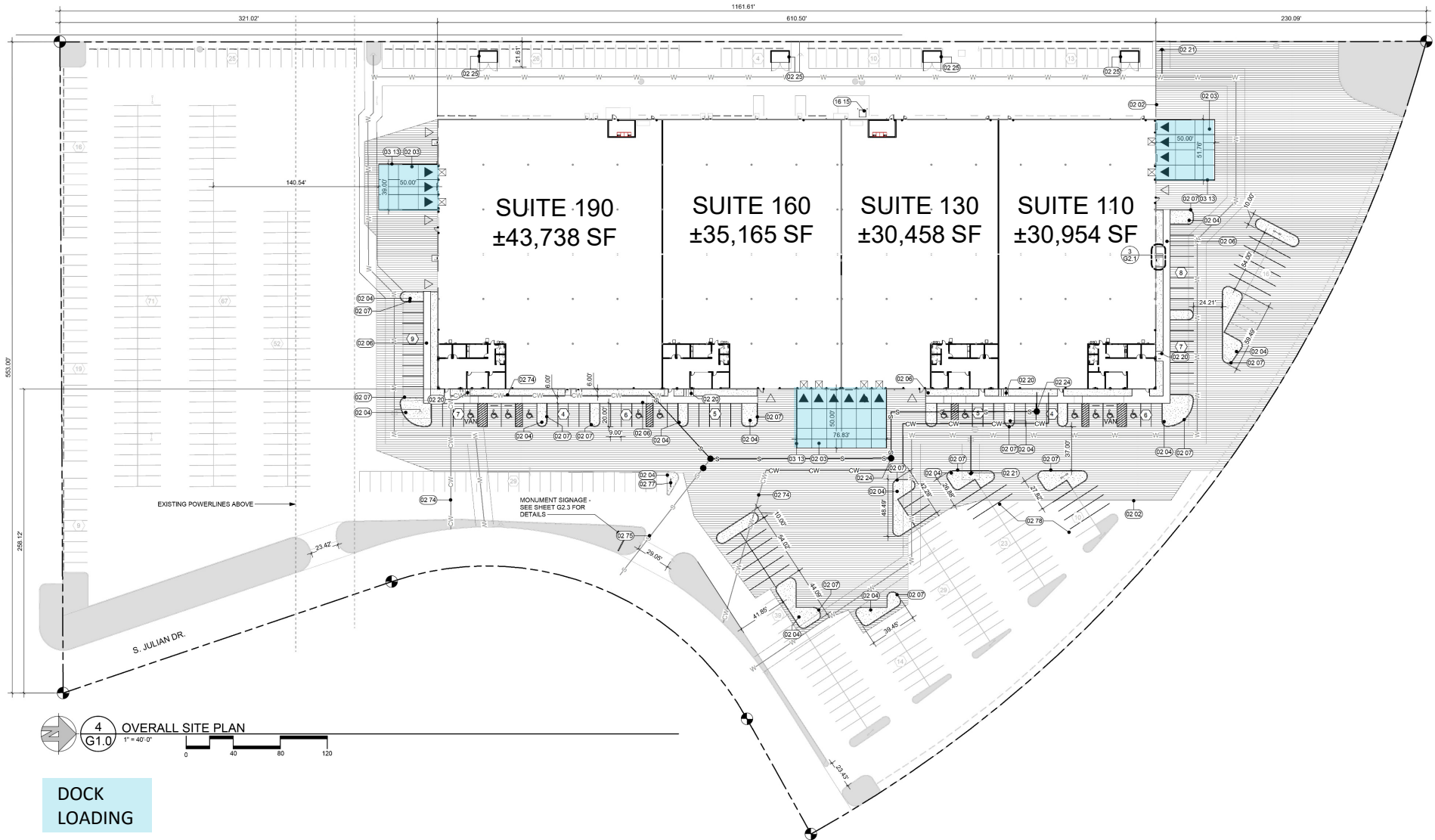
Rendering of planned renovation

New Site Plan

Total ±140,405 SF



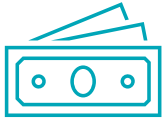
**JULIAN COMMERCE
CENTER**



4 OVERALL SITE PLAN
G1.0 1" = 40'-0"

DOCK
LOADING

SUITE 110



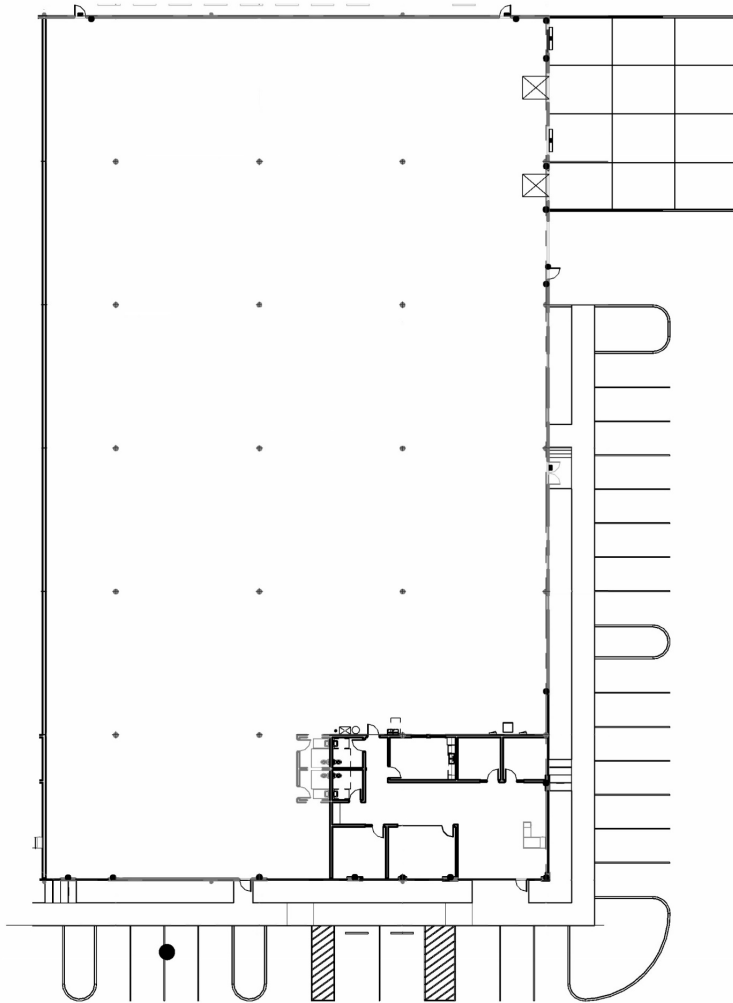
\$0.90 PSF
Monthly Lease
Rate



\$0.17 PSF
CAM Charges



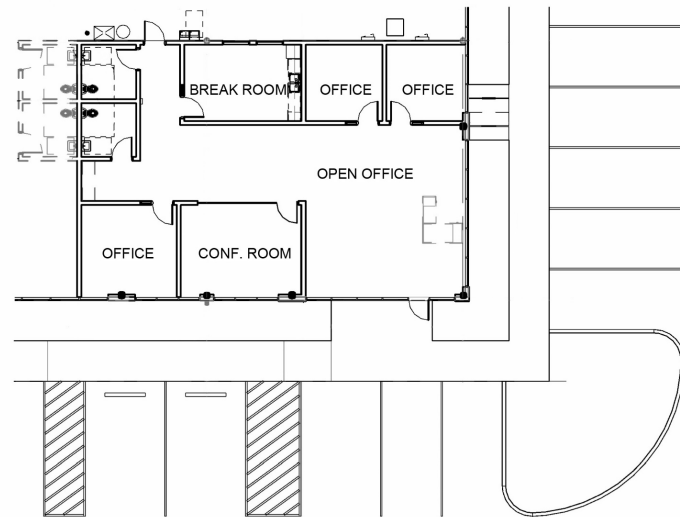
\$33,028
Monthly Rent



1
T110 SUITE 110
1/32" = 1'-0"

Suite	110
Total SF	±30,954
Office SF	±2,210
Warehouse SF	±28,744
Loading Doors	4 Dock, 1 Grade
Power	480v, 3-Phase

Drawings and plans are not to scale. Any measurements are approximate and are for illustrative purposes only. There is no guarantee, warranty or representation as to the accuracy or completeness of any plans or designs.

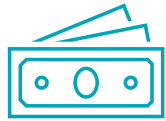


2
T110 SUITE 110 OFFICE
1/16" = 1'-0"



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CENTER

SUITE 130



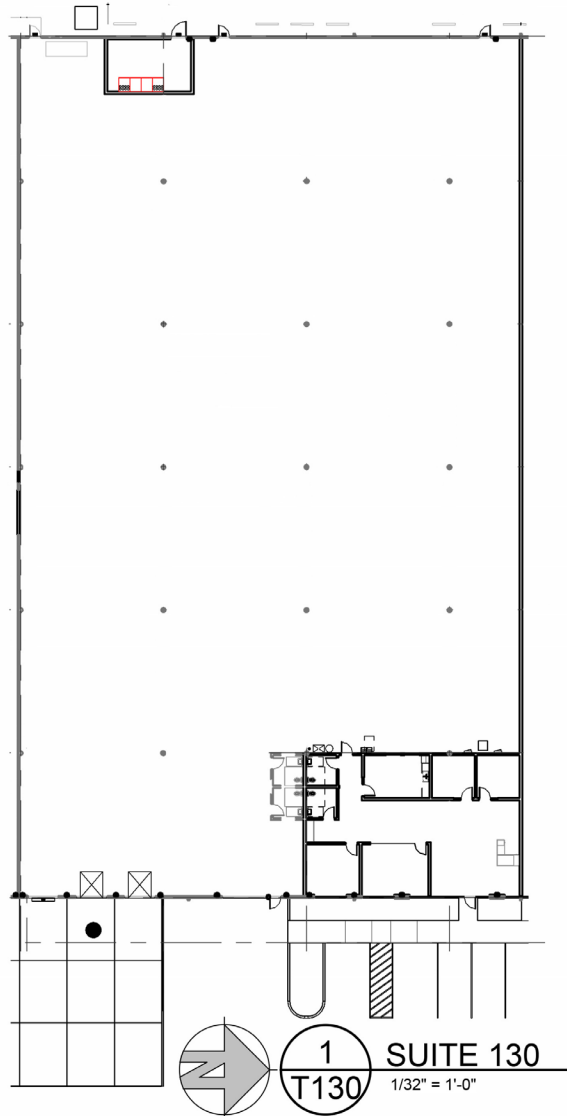
\$0.90 PSF
Monthly Lease
Rate



\$0.17 PSF
CAM Charges

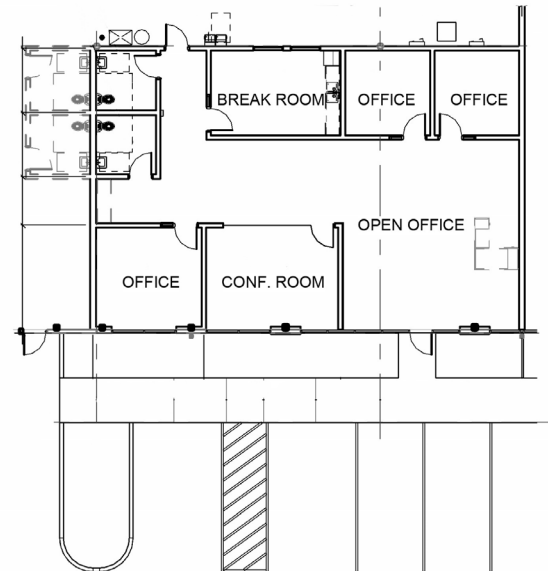


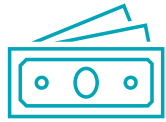
\$32,595
Monthly Rent



Suite	130
Total SF	±30,548
Office SF	±2,199
Warehouse SF	±28,349
Loading Doors	3 Dock, 1 Grade
Power	480v, 3-Phase

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\$0.88 PSF
Monthly Lease
Rate

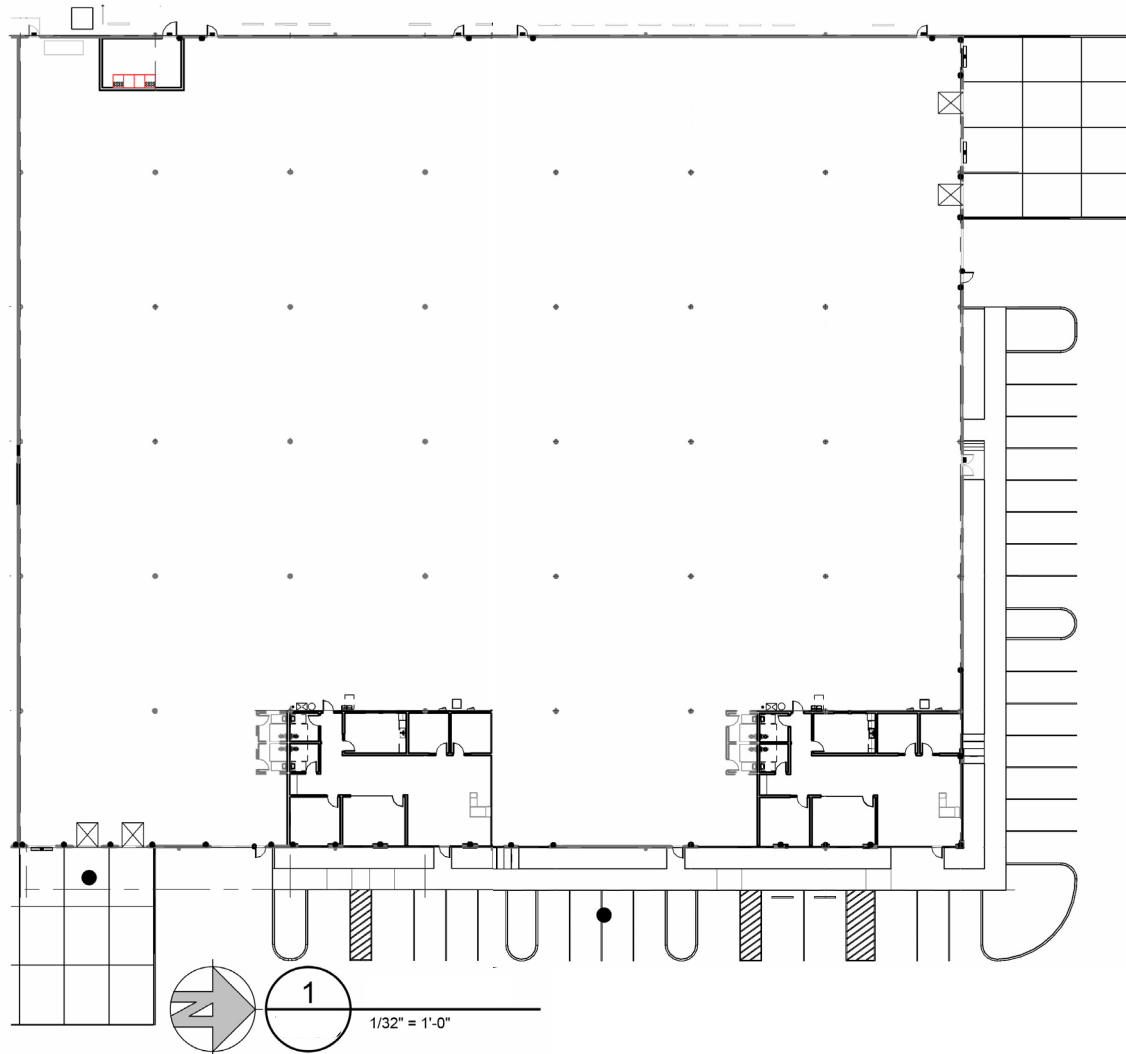


\$0.17 PSF
CAM Charges

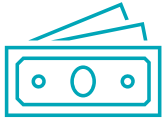


\$64,393
Monthly Rent

Suites	110/130
Total SF	±61,502
Office SF	±4,409
Warehouse SF	±57,093
Loading Doors	7 Dock, 2 Grade
Power	480v, 3-Phase



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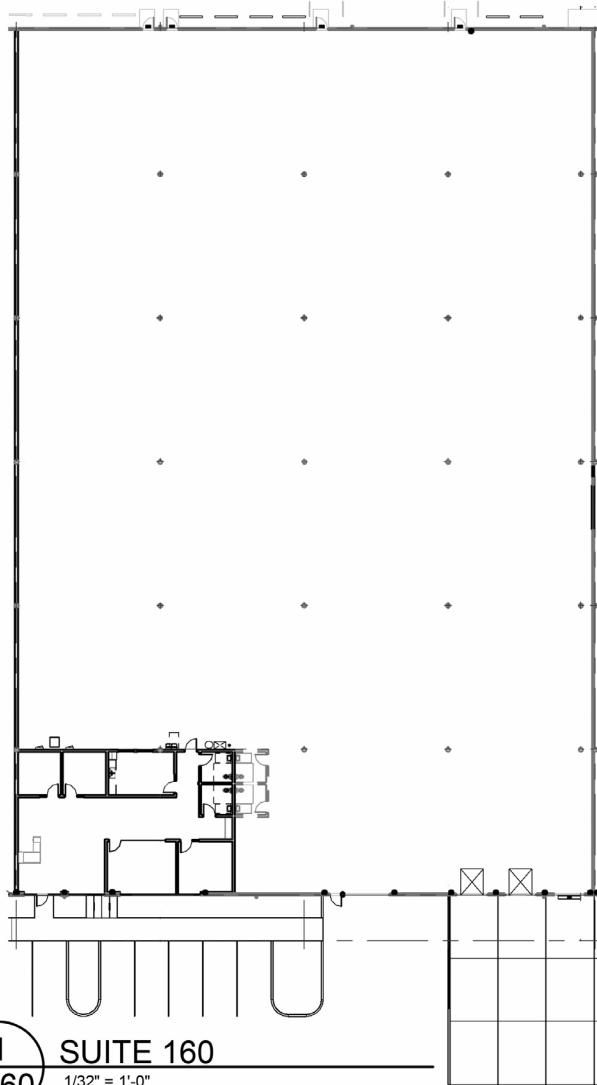
\$0.90 PSF
Monthly Lease
Rate



\$0.17 PSF
CAM Charges



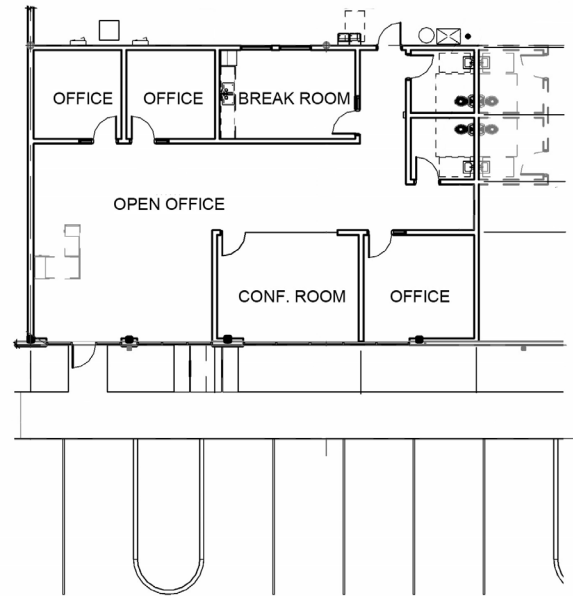
\$37,521
Monthly Rent



1 SUITE 160
T160 1/32" = 1'-0"

Suite	160
Total SF	±35,165
Office SF	±2,191
Warehouse SF	±32,974
Loading Doors	3 Dock, 1 Grade
Power	480v, 3-Phase

Drawings and plans are not to scale. Any measurements are approximate and are for illustrative purposes only. There is no guarantee, warranty or representation as to the accuracy or completeness of any plans or designs.

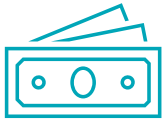


2 SUITE 160 OFFICE
T160 1/16" = 1'-0"



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SUITE 190



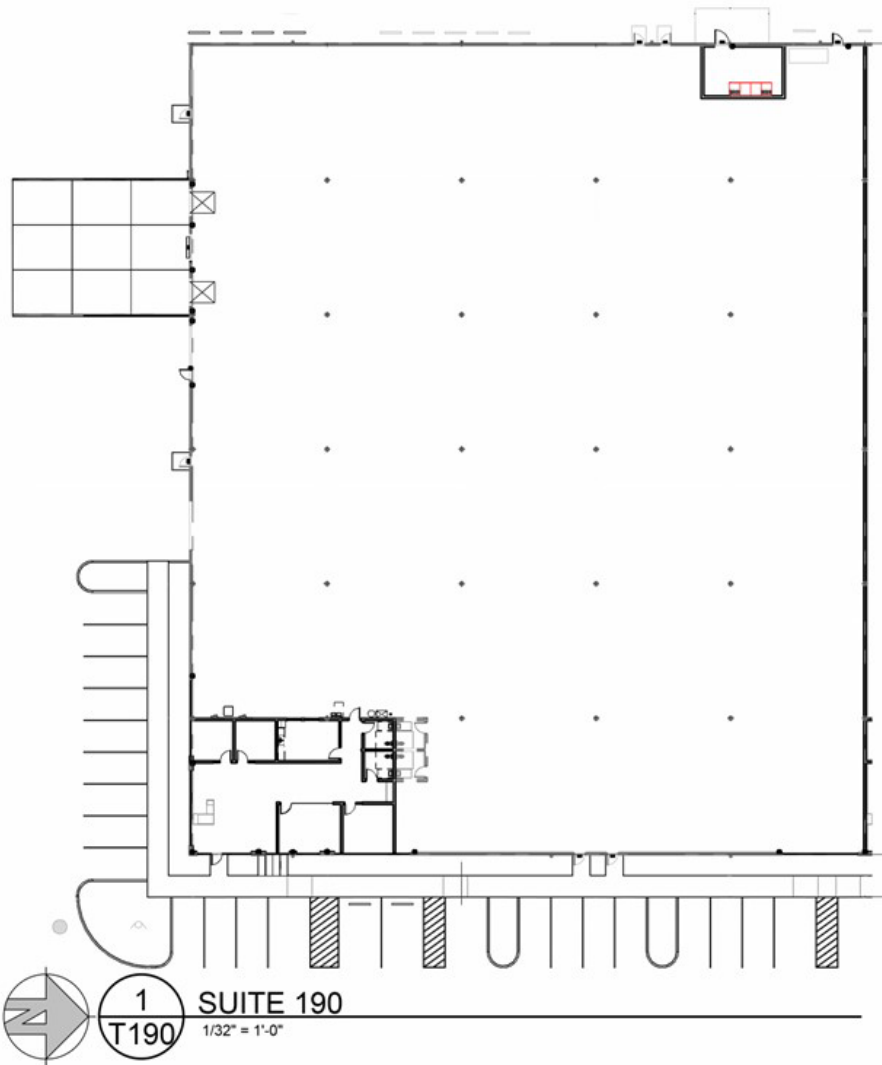
\$0.89 PSF
Monthly Lease
Rate



\$0.17 PSF
CAM Charges

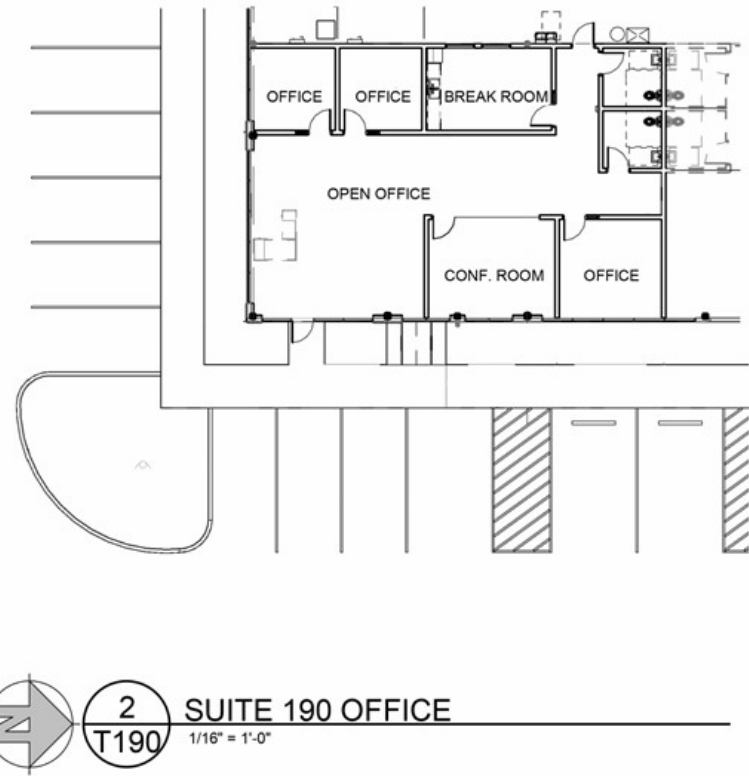


\$46,231
Monthly Rent

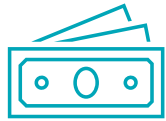


Suite	190
Total SF	±43,738
Office SF	±2,211
Warehouse SF	±41,527
Loading Doors	3 Dock, 1 Grade
Power	480v, 3-Phase

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\$0.87 PSF
Monthly Lease Rate



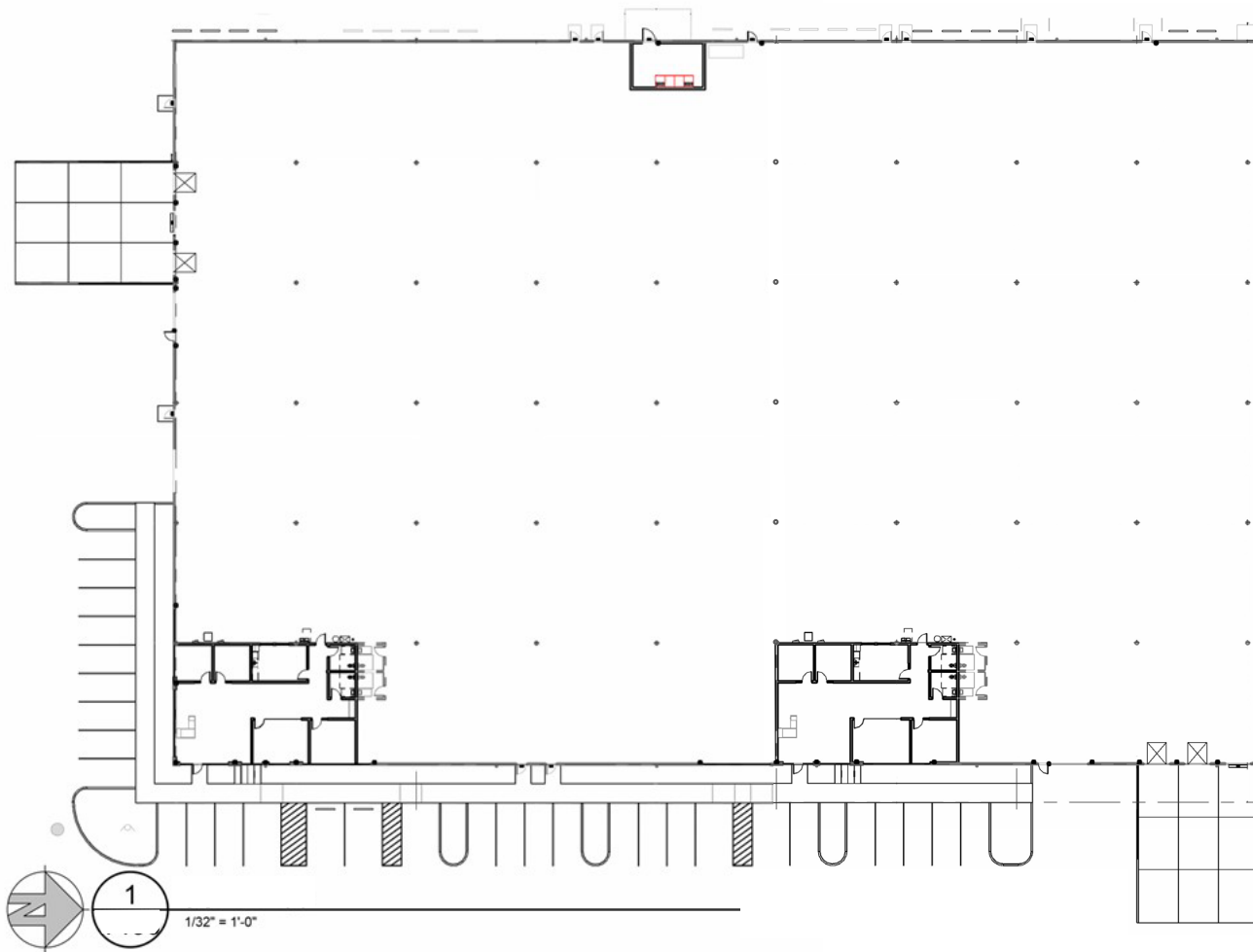
\$0.17 PSF
CAM Charges



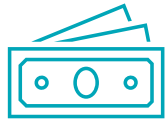
\$81,822
Monthly Rent

Suites	160/190
Total SF	±78,903
Office SF	±4,402
Warehouse SF	±74,501
Loading Doors	6 Dock, 2 Grade
Power	480v, 3-Phase

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SUITES 110-190



\$0.85 PSF
Monthly Lease
Rate



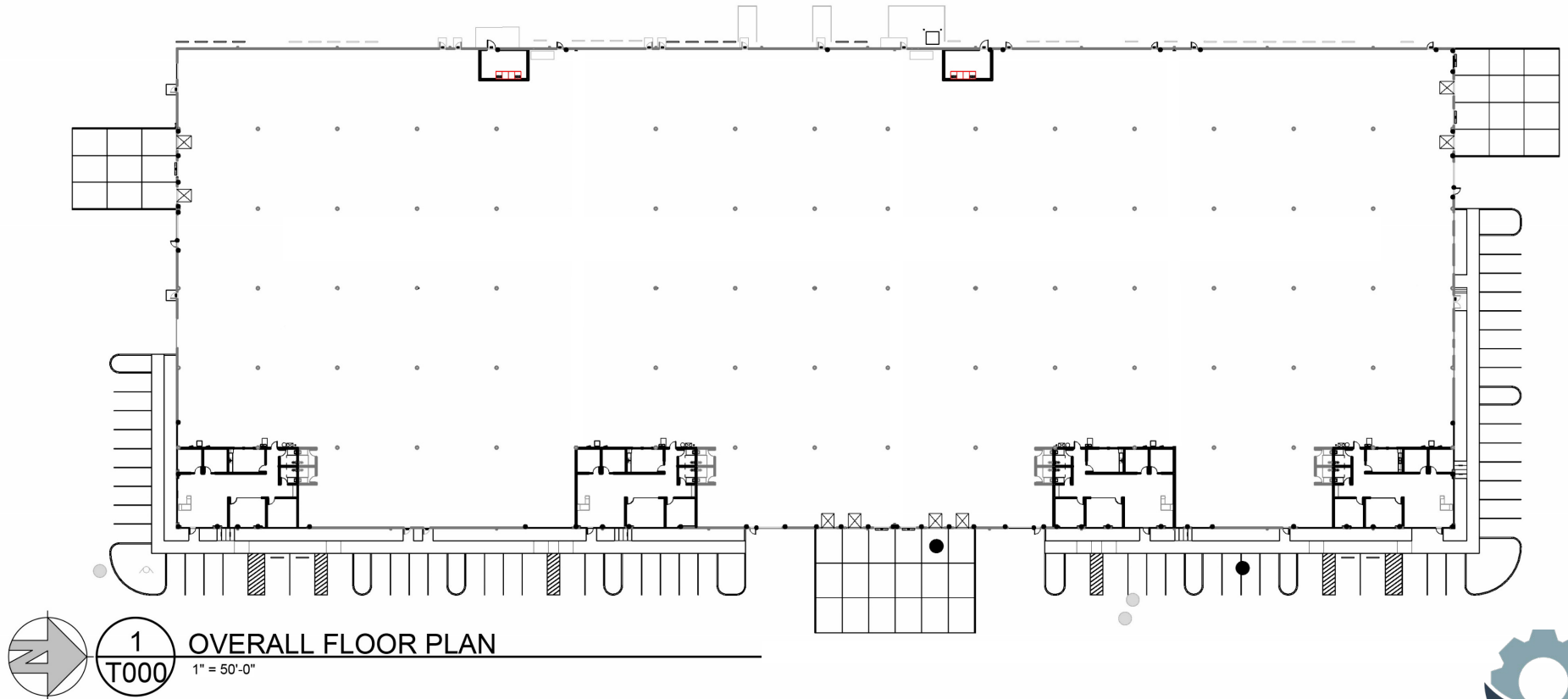
\$0.17 PSF
CAM Charges



\$143,213
Monthly Rent

Suites	110-190
Total SF	±140,405
Office SF	±8,811
Warehouse SF	±131,594
Loading Doors	13 Dock, 4 Grade
Power	480v, 3-Phase

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Trade Area



Area Demographics

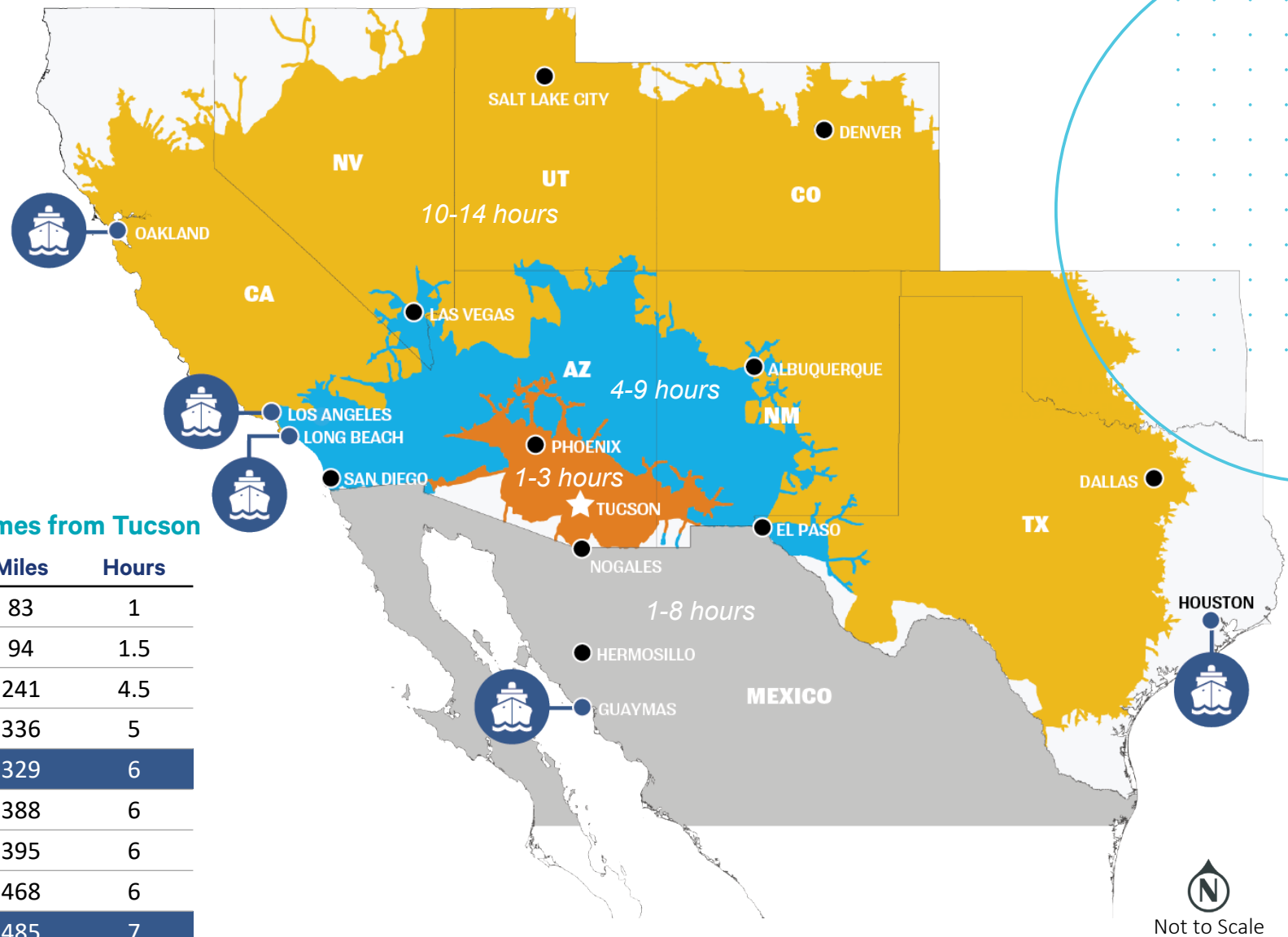
	1 MILE	3 MILES	5 MILES
2024 Estimates			
Population	9,111	69,674	204,492
Households	3,186	23,795	74,539
Avg. Household Income	\$59,158	\$66,628	\$71,269
Daytime Population	11,090	92,730	250,948



Not to Scale



Regional Drive Times



Highway Drive Times from Tucson

Location	Miles	Hours
Nogales	83	1
Phoenix	94	1.5
Hermosillo	241	4.5
El Paso	336	5
Guaymas	329	6
San Diego	388	6
Las Vegas	395	6
Albuquerque	468	6
Los Angeles	485	7
Long Beach	495	7
Salt Lake City	757	11
Oakland	838	13
Dallas	971	13
Houston	1,082	15

Julian Commerce Center

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**JULIAN COMMERCE
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