

VICINITY MAP

INDEX table with columns SHEET NO. and DESCRIPTION.

Main project schedule table with columns C100 COVER & NOTES, C200 EXISTING CONDITIONS DEMO, C300 SITE PLAN, etc.

DEVELOPMENT STANDARDS:

Table of development standards with columns ITEM, REQUIRED, PROVIDED.

OFF-STREET PARKING table with columns PRINCIPLE USE, PARKING REQUIRED, BUILDING SQ.FT., # SPACES.

TOTAL SPACES REQUIRED FOR USE: 8

PARKING AREA SUMMARY table with columns ITEM, REQUIRED, PROVIDED.

BUFFERYARDS table with columns PROPOSED USE, ADJOINING USE, LANDSCAPED YARD.

GENERAL NOTES:

DEVELOPER: (SAME AS OWNER) SKYRISE INVESTMENT INC. PROPERTY OWNER: SKYRISE INVESTMENT INC. 1005 RICHLAND ST...

EROSION CONTROL NOTES

1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS...

CONSTRUCTION SEQUENCE

- A. CALL CITY OF ROCK HILL INFRASTRUCTURE (803-329-5515) TO SCHEDULE A PRE-CONSTRUCTION CONFERENCE... C. DEMARK ANY SENSITIVE AREAS... H. AFTER APPROVALS CONTRACTOR MAY PROCEED WITH THE OVERLAP OR MASS GRADING...

SITE DEVELOPEMENT NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION... 2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY... 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS... 10. THE SITE WILL NOT BE UTILIZED AT NIGHT...

STABILIZATION REQUIREMENTS

FERTILIZER - APPLY A MINIMUM OF 1,000 POUNDS PER ACRE OF A COMPLETE 10-10-10 FERTILIZER... MULCHING - COVER ALL SEEDED AREAS WITH MULCH IMMEDIATELY UPON COMPLETION OF THE SEEDED AREA... LIME - LIME IS NOT REQUIRED FOR TEMPORARY SEEDED AREAS...

SYMBOL LEGEND

Legend for various symbols including force main, sanitary sewer, storm drain, utility poles, setbacks, and other site features.

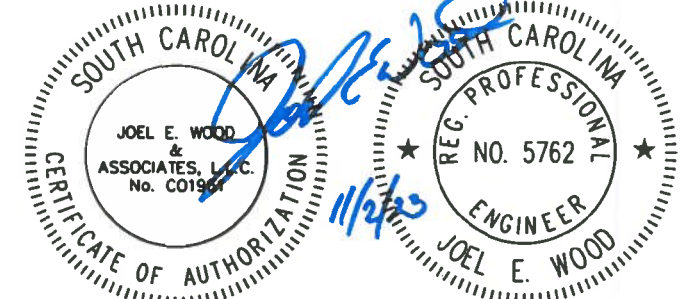
APPROVALS

Approval form with fields for Project Engr, Drawn By, Checked By, Review, Bid, Construction.

PREPARED BY

Logo and name for JOEL E. WOOD & ASSOCIATES, PLANNING • ENGINEERING • MANAGEMENT.

SEALS



PROJECT

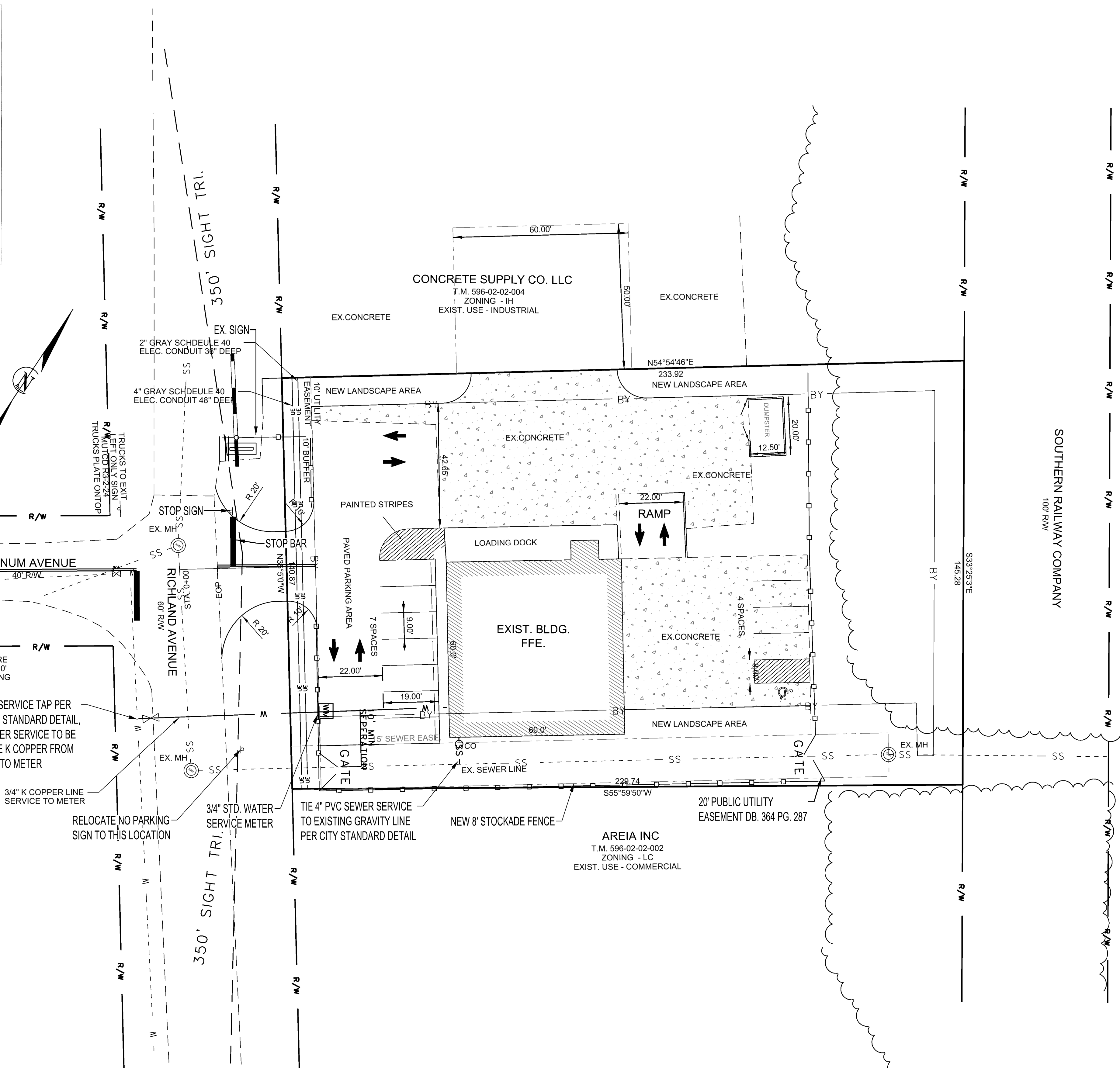
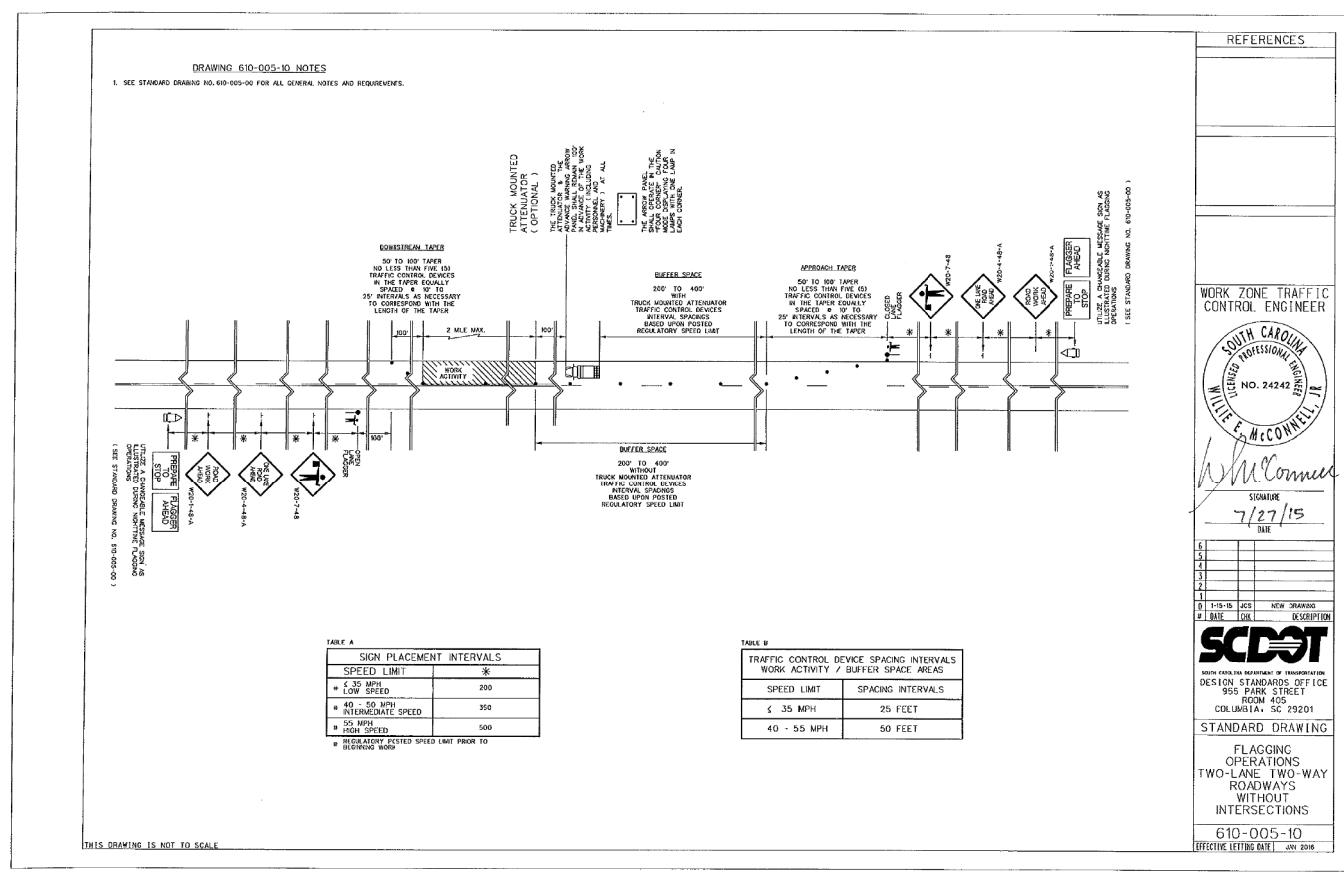
1005 RICHLAND ST PARKING AND DRIVE UPGRADE. ROCK HILL, SOUTH CAROLINA. PREPARED FOR SKYRISE INVESTMENT INC.

SHEET TITLE

COVER & NOTES

Table with columns NO., DATE, REVISIONS, BY, SCALE: N.T.S., DATE: 4/15/2023, JOB NO: 221209, SHEET C100.





**CITY OF ROCK HILL NOTES:**

a- If necessary, slopes which exceed eight (8) feet should be stabilized with synthetic or vegetative mats, in addition to hydroseeding. It may be necessary to install temporary slope drains during construction. Temporary berms may be needed daily until the slope is brought to grade.

b- Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than fourteen (14) days after work has ceased, except as stated below. Where stabilization by the 14th day is precluded by snow cover or frozen ground conditions, stabilization measures must be initiated as soon as practicable. Where construction activity on a portion of the site is temporarily ceased, and earth-disturbing activities will be resumed within 14 days, temporary stabilization measures do not have to be initiated on that portion of the site.

c- After construction activities begin, inspections must be conducted at a minimum of at least once every calendar week, with no time period between inspections exceeding 5 days, and must be conducted until final stabilization is reached on all areas of the construction site. Contractor shall assess all BMPs within 24 hours of the end of a storm event of 1.0 inch or greater, as well as during the first rain event after the initiation of construction activities and subsequent BMP installation. Inspection frequencies for portions of the construction site that have reached temporary or final stabilization may be reduced to at least once every month, as long as the stabilization is maintained and there is no additional disturbance in these areas. Inspections for BMPs, such as sediment basins, ponds and/or traps, which may receive flow from land development and/or construction on individual lots, may be required to resume, if areas that drain to them become disturbed during future construction. Any temporary BMP that also serves to mitigate for peak flows, or is to be converted to a permanent post-development stormwater mitigation facility, must also be subject to regular inspections, throughout the course of construction or development, until said facilities have been converted to a post-development configuration and a N.O.T. is filed.

d- Provide silt fence and/or other control devices as may be required to control soil erosion during utility construction. All disturbed areas shall be cleaned, graded and stabilized with grassing immediately after the utility installation. Fill cover and temporary seeding at the end of each day are recommended. Contractor must implement and maintain "seasonal" seeding to assure proper stabilization and vegetation, throughout the construction period. If water is encountered while trenching, the water should be filtered to remove any sediments before being pumped back into any stormwater systems, water courses and waters of the state (WoS) or waters of the United States (WolS).

e- All erosion control devices shall be properly maintained during all phases of construction until the completion of all construction activities and all disturbed areas have been stabilized. Additional control devices may be required during construction in order to control erosion and/or off-site sedimentation. All temporary control devices shall be removed once construction is complete and the site is stabilized.

f- The contractor must take necessary action to minimize the tracking of mud onto paved roadway from construction areas and the generation of dust. The contractor shall daily remove mud/silt from pavement, as may be required.

g- Residential subdivisions require erosion control features for infrastructure as well as for individual lot construction. Individual property owners shall follow these plans during construction or obtain approval of an individual plan in accordance with SC Reg. 72-300 Seq. and SCR 103000.

h- Temporary diversion berms and/or ditches will be provided as needed during construction to protect work areas from upslope runoff and/or divert sediment laden water to appropriate traps or stable outlets.

i- All WoS or WolS, including wetlands, are to be flagged or otherwise clearly marked in the field. A double row of silt fence is to be installed in all areas where a 50-foot buffer cannot be maintained between the disturbed area and all WoS and a 100-foot minimum buffer for WolS. One row of silt fence must be wire-backed. A 25-foot no disturbance zone shall be maintained between the last row of silt fence and all WoS and a minimum 50-foot no disturbance zone for WolS. Buffers and no disturbance zones shall be measured from top of creek bank.

j- Litter, construction debris, oils, fuels and building products with significant potential for impact (such as stockpiles of freshly treated lumber) and construction materials that could be exposed to storm water must be prevented from becoming a pollutant source in storm water discharges.

k- A copy of the SWPPP (including civil construction plans and supporting documents), inspections records, and rainfall data must be retained at the construction site or a nearby location easily accessible during normal business hours, from the date of commencement of construction activities to the date that final stabilization is reached.

l- Initiate stabilization measures on any exposed steep slope (3H:1V or greater) where land-disturbing activities have permanently or temporarily ceased, and will not resume for a period of seven (7) calendar days.

m- Minimize soil compaction and, unless infeasible, preserve and stockpile topsoil for reuse.

n- Inspection Reports must include the following:

1. The inspection date;
2. Names, titles, and the qualifications of personnel making the inspection if not previously given in an inspection report, unless those qualifications change;
3. All discharge points;
4. Weather information and a description of any discharges occurring at the time of the inspection;
5. Total rainfall since last inspection;
6. Location(s) of discharges of sediment or other pollutants from the Site;
7. Location(s) of BMPs that need maintenance;
8. Location(s) of BMPs that failed to operate as designed or proved inadequate for a particular location;
9. Location(s) where additional BMPs are needed that did not exist at the time of inspection;
10. Corrective action required including any changes to the OS-SWPPP necessary and implementation dates;
11. Site Name, Operator Name and permit number; and
12. Verification that all BMPs and stormwater controls identified in the OS-SWPPP have been installed and are operating as designed;
13. Determine if the construction sequence is being followed;
14. Status of corrective actions undertaken following previous inspection to include date(s) each item was addressed;
15. List of items that have carried over from previous inspection reports that were not addressed.

o- If existing BMPs need to be modified or if additional BMPs are necessary to comply with the requirements of this permit and/or SC's Water Quality Standards, implementation must be completed before the next storm event whenever practicable. If implementation before the next storm event is impracticable, the situation must be documented in the SWPPP and alternative BMPs must be implemented as soon as reasonably possible.

p- A Pre-Construction Conference must be held for each construction site with an approved On-Site SWPPP prior to the implementation of construction activities. For non-linear projects that disturb 10 acres or more this conference must be held on-site unless the Department has approved otherwise.

q- Minimize the discharge of pollutants from equipment and vehicle washing, wheel wash water, and other wash waters. Wash waters must be treated in a sediment basin or alternative control that provides equivalent or better treatment prior to discharge.

r- Minimize the discharge of pollutants from dewatering of trenches and excavated areas. These discharges are to be routed through appropriate BMPs (sediment basin, filter bag, etc.).

s- BMP measures for concrete truck washout shall be in accordance with the following: Concrete trucks shall not typically be washed out on site. If concrete truck washout is permitted on site, coordinate location and BMPs with site inspector. Do not dispose of concrete truck washout waste by dumping into a sanitary sewer, storm drain or onto soil or pavement that carries storm water runoff. Concrete truck washout shall be disposed of in accordance with the following:

- designated area that will later be backfilled (slurry pit)
- designated area where concrete wash can harden and be disposed of as solid waste.
- location that is not subject to water runoff, and more than 50 feet away from a storm drain, open ditch, or receiving water way.
- pump excess concrete in concrete pump bin back into concrete mixer truck.
- concrete washout from concrete pumper bins can be washed into concrete pumper trucks and discharged into designated washout area or properly disposed of offsite.

t- The following discharges from sites are prohibited:

- Wastewater from washout of concrete, unless managed by an appropriate control;
- Wastewater from washout and cleanup of slucco, paint, form release oils, curing compounds and other construction materials;
- Fuels, oils, or other pollutants used in vehicle and equipment operation and maintenance; and
- Soaps or solvents used in vehicle and equipment washing.

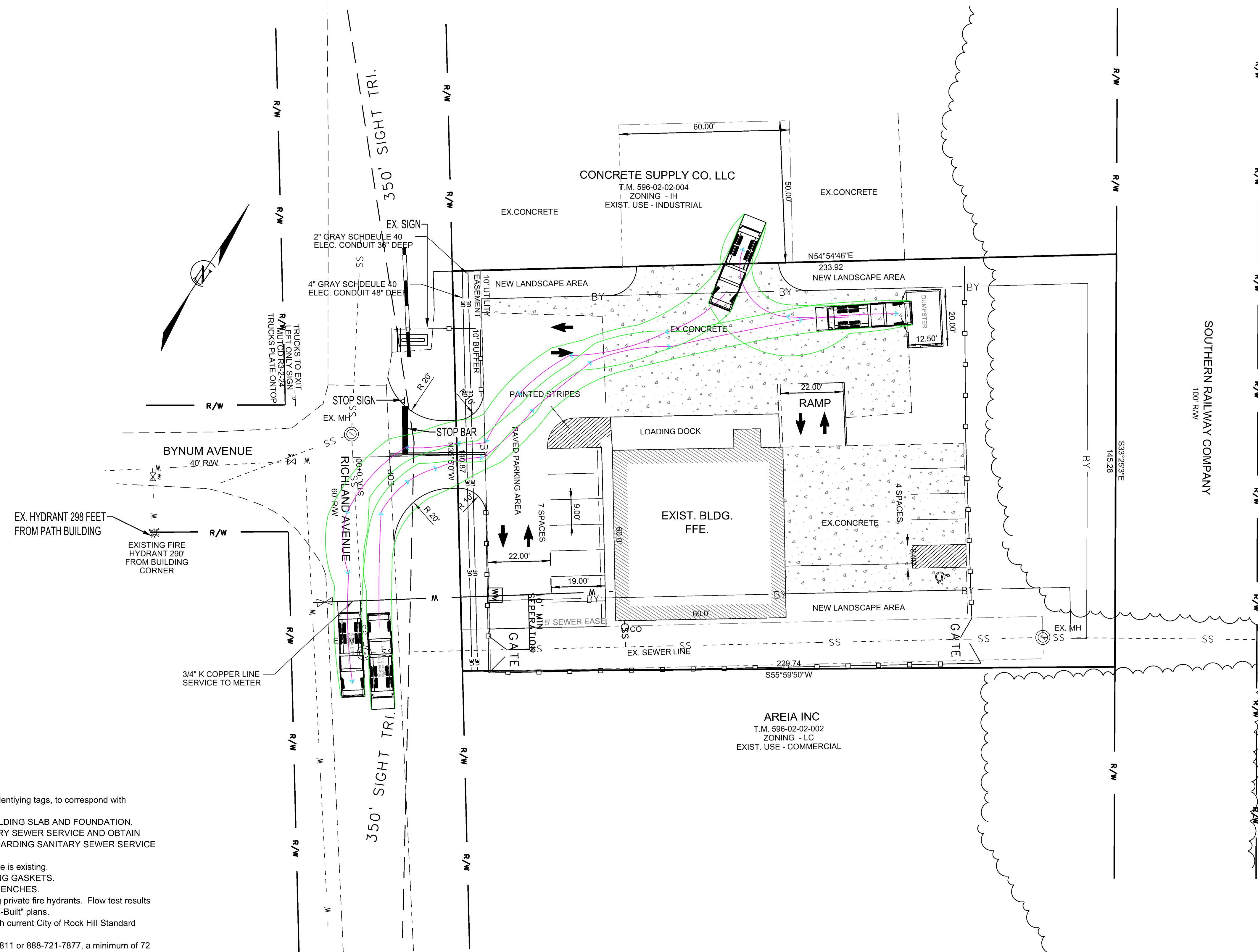
u- All chemical spills, oil spills, or fish kills must be reported to SCDHEC Land & Waste Management Emergency Response - call the 24-hour emergency response line at 1-888-461-0125.

v- Temporary toilet facilities shall be provided for all construction workers and site visitors in accordance with 2006 International Plumbing Code General Regulations, Section 311 (or current revision). Portable facilities shall be placed on level ground and away from storm drainage systems (ditches, catch basins, etc.). Disposal and handling of sanitary waste must comply with SCDHEC requirements.

w- Final grades for grassed and landscaped areas shall require a minimum 4" of clean top soil, free of debris and contaminants, and preferably of native origin.

- NOTES**
1. All water meter boxes shall be tagged with permanent identifying tags, to correspond with address served.
  2. THE CONTRACTOR, PRIOR TO POURING THE BUILDING SLAB AND FOUNDATION, SHALL VERIFY THE ACCESSIBILITY OF THE SANITARY SEWER SERVICE AND OBTAIN CONFIRMATION FROM THE DESIGN ENGINEER REGARDING SANITARY SEWER SERVICE FUNCTIONALITY.
  3. Dumpster screening to match building facade. Structure is existing.
  4. ALL STORMDRAIN LINES ARE SUBJECT TO "O" RING GASKETS.
  5. 270 SQ.FT. PEDESTRIAN ZONE PROVIDED WITH BENCHES.
  6. The developer/contractor is responsible for flow testing private fire hydrants. Flow test results for private and public hydrants must be shown on the "As-Built" plans.
  7. All materials, construction, and plans are to comply with current City of Rock Hill Standard Specifications and Details.
  8. Contact Palmetto Utility Protection Service (PUPS) @ 811 or 888-721-7877, a minimum of 72 hours before digging.
  9. Fire hydrants shall be equipped with a 5-inch Storz Connector, located on the steamer port of each hydrant.
  10. Before Fire Riser is to be installed, Contractor shall contact City Inspector Randy Millen (803-448-9747), to coordinate necessary inspection of installation.
  11. All water meter boxes must be tagged with permanent identifying tags, to correspond with address served.
  12. All public and private fire hydrants must be specified on the plans. Note public hydrants to be painted "silver" and private hydrants as "red".

APPROVALS	PREPARED BY	SEALS	PROJECT	SHEET TITLE	NO.	DATE	REVISIONS	BY	
Project Engr: _____ Drawn By: _____ Checked By: _____	<p><b>JOEL E. WOOD &amp; ASSOCIATES</b> PLANNING • ENGINEERING • MANAGEMENT P.O. BOX 296 CLOVER, SC 29710 (803) 684-3390</p>		<p><b>1005 RICHLAND ST PARKING AND DRIVE UPGRADE</b></p> <p>ROCK HILL, SOUTH CAROLINA PREPARED FOR <b>SKYRISE INVESTMENT INC</b></p>	<p><b>SITE PLAN</b></p>					
Review: _____ Bid: _____ Construction: _____									
				SCALE: 1" = 20'		DATE: 4/15/2023		JOB NO.: 221209	
								SHEET <b>C300</b>	



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Review: _____ Bid: _____ Construction: _____			ROCK HILL, SOUTH CAROLINA PREPARED FOR <b>SKYRISE INVESTMENT INC</b>					
					SCALE: 1" = 20'			
					DATE: 4/15/2023			
					JOB NO.: 221209			
					SHEET <b>C301</b>			

