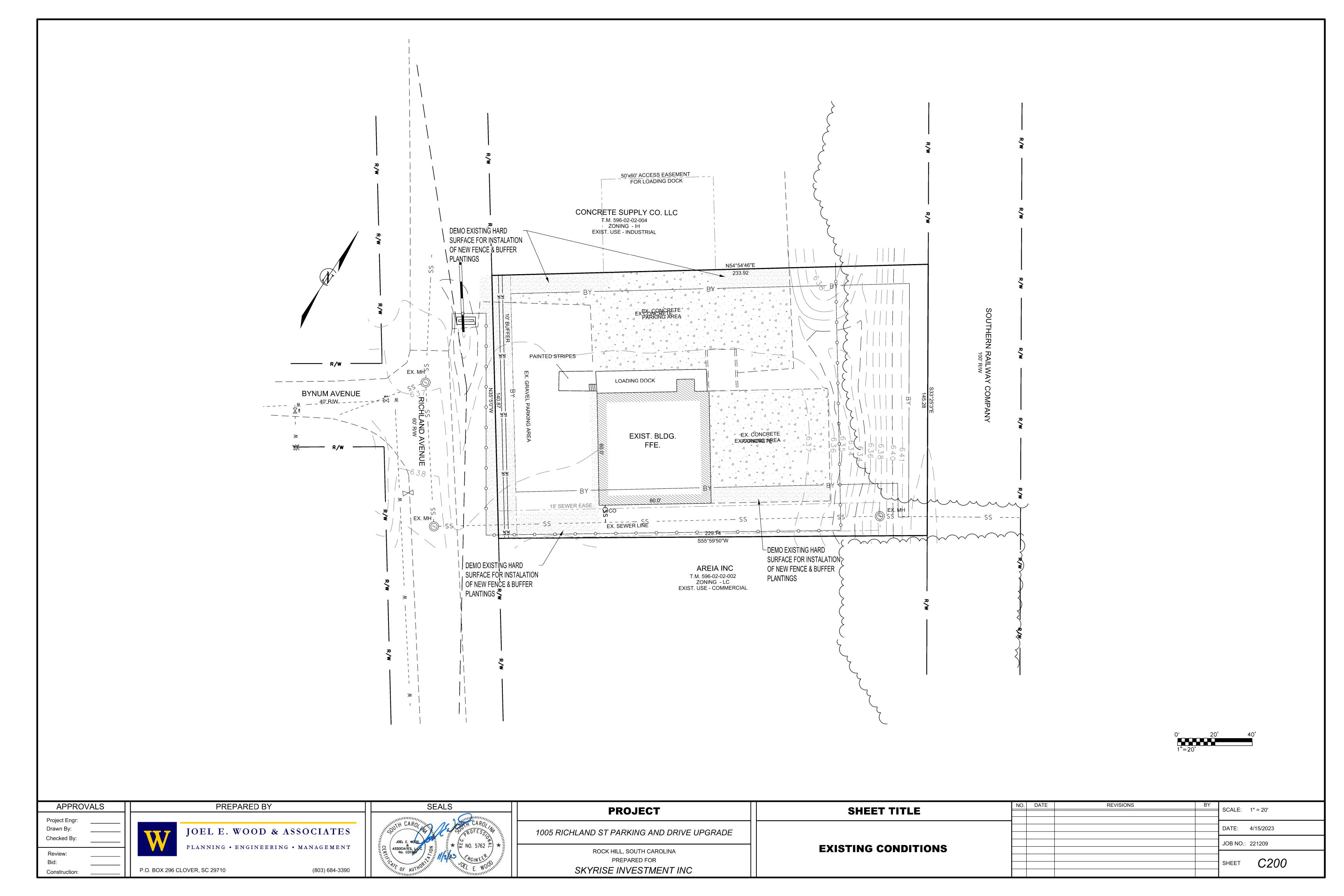
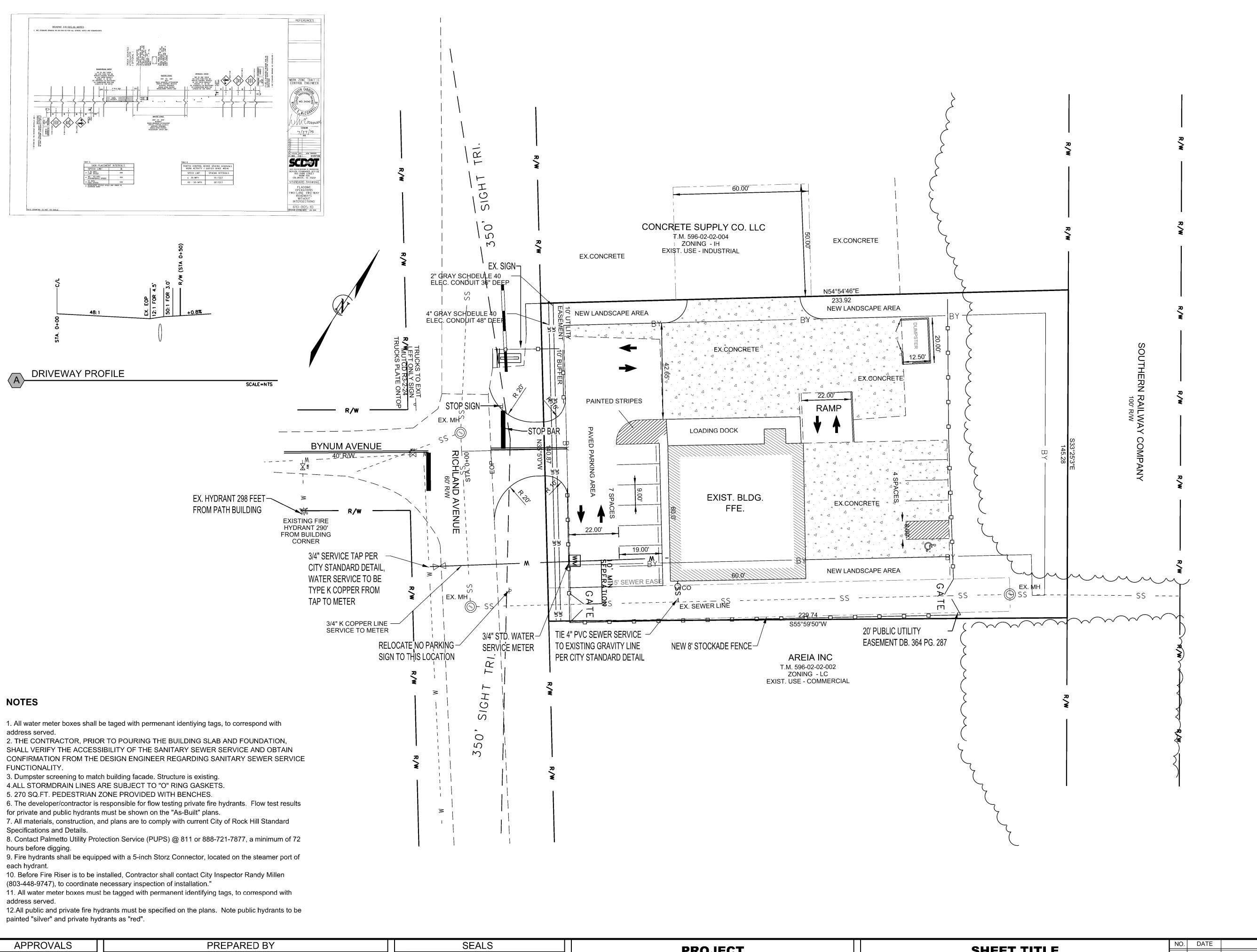
A* /		DEVELOR	PMENT ST	TANDARD:	 S:	GENERAL NOTES:	CONSTRUCTION SEQUENCE	STABILIZATION REQUIREMENT	-S
	all the state of t					DEVELOPER: (SAME AS OWNER)	A. CALL CITY OF ROCK HILL INFRASTRUCTURE (803-329-5515) TO SCHEDULE A PRE-CONSTRUCTION CONFERENCE AND TO RECIEVE A LAND DISTURBANCE PERMIT. NO CONSTRUCTION CAN BEGIN WITHOUT A PRE-CONSTRUCTION CONFERENCE. B. CONTACT CIY OF ROCK HILL INFRASTRUCTURE (803-329-5515) 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.	FERTILIZER - APPLY A MINIMUM OF 1,000 POUNDS PER ACRE OF A COMPLETE 10-10-10 FERTILIZER (23 POIUNDS PER 1,000	MULCHING - COVER ALL SEEDED AREAS WITH MULCH IMMEDIATELY UPON COMPLETION OF THE SEEDING
0		ITEM		REQUIRED	PROVIDED	PROPERTY OWNER: SKYRISE INVESTMENT INC 1005 RICHLAND ST	C. DEMARK ANY SENSITIVE AREAS SLATED FOR PROTECTION SUCH AS TREES, WETLANDS, STREAMS, ETC. D. BEGIN CLEAR AND GRUB FOR INSTALLATION OF PERIMETER AND INITIAL PHASE EROSION SEDIMENT CONTROL BMP'S ONLY, SUCH AS: CONSTRUCTION ENTRANCE, SILT FENCING & INLET PROTECTION. E. CONTACT CITY INSPECTOR (803-329-5515) FOR FIELD INSPECTION AND APPROVAL OF PERIMETER AND INITIAL PHASE BPM'S. ** NO MASS GRADING CAN	SQUARE FEET) OR EQUIVALENT DURING PERMANENT SEEDING OF GRASSES UNLESS A SOIL TEST INDICATES A DIFFERENT REQUIREMENT. APPLY A MINIMUM OF 500 POUNDS PER ACRE OF	APPLICATION TO RETAIN SOIL MOISTURE AND REDUCE EROSION DURING ESTABLISHMENT OF VEGETATION. APPLY THE MULCH EVENLY IN SUCH A MANNER THAT IT PROVIDES A MINIMUM 75%
	in the second se	LOT AREA		NO MIN.	0.76 AC	ROCK HILL, SC 29730 PHONE NUMBER 704-243-8061	COMMENCE UNTIL INITIAL CONTROLS ARE IN PLACE AND CITY INSPECTOR HAS SIGNED OFF ON SAID CONTROLS.** F. AFTER CITY INSPECTOR GIVES APPROVAL FOR PERIMETER/INITIAL CONTROLS, CONTRACTOR SHALL SECURE A TOP SOIL STOCK PILE LOCATION. G. AFTER APPROVALS CONTRACTOR MAY PROCEED WITH THE OVER-LOT OR MASS GRADING, IN ACCORDANCE WITH APPROVED INITIAL PHASE	10-10-10 FERTILIZER (11.5 POUINDS PER 1,000 SQUARE FEET) OR EQUIVALENT DURING TEMPORARY SEEDING UNLESS A SOIL TEST INDICATES A DIFFERENT REQUIREMENT. INCORPORATE	COVERAGE. TYPICAL MULCH APPLICATIONS INCLUDE STRAW, WOOD FIBER, HYDROMULCHES, BFM, AND FGM. USE HYDROMULCHES WITH A MINIMUM BLEND OF 70% WOOD FIBERS.
	Rd (ST)	SITE AREA		NO MIN.	0.2 AC	DEED BOOK 20493; PAGE 336 PLAT BOOK E399; PAGE 8	SEDIMENT/EROSION CONTROL PLANS (STORMWATER POLLUTION PREVENTION PLAN). H. TOP SOIL SHALL BE SALVAGED AND STOCK PILED, AS REQUIRED. IF EXISTING CONDITIONS DO NOT YIELD ADEQUATE TOP SOIL, THEN CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING TOP SOIL FOR FINAL GRADES, FROM A PROPERLY PERMITTED LOCATION, OR SOD MAY BE UTILIZED TO SUPPLEMENT.	FERTILIZER AND LIME (IF USED) INTO THE TOP 4-6 INCHES OF THE SOIL BY DISKING OR OTHER MEANS WHERE CONDITIONS ALLOW.	THE MOST COMMONLY ACCEPTED MULCH USED IN
	a chorn	LOT WIDTH @ FRONT BLE	DG. SETBACK	N/A	140.87'	PERSON RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING STORMWATER MANAGEMENT & SEDIMENT REDUCTION PLAN:	I. FINALIZE GRADING FOR ROADWAYS AND INSTALL PERMANENT STORMWAER PIPING FOR ROADWAY AND THROUGH DRAINAGE SYSTEMS, IN ACCORDANCE WITH SECONDARY PHASES OF SEDIMENT/EROSION CONTROL PLANS. J. ESTABLISH FINAL GRADES FOR BUILDING PADS, PROPERTY LINE SWALES, THROUGH DRAINAGE SYSTEMS, ETC., AS REQUIRED, VERIFY GRADES DO NOT	DO NOT MIX THE LIME AND FERTILIZER PRIOR TO THE FIELD APPLICATION.	CONJUNCTION WITH PERMANENT SEEDING IS SMALL GRAIN STRAW. SELECT STRAW THAT IS DRY AND FREE FROM MOLD DAMAGE AND NOXIOUS WEEDS. THE STRAW MAY NEED TO BE
	are 3	STREET FRONTAG	MINOR	25 FT MIN 25 FT MIN	25'	(SAME AS DEVELOPER)	IMPEED OR RESTRICT ANY THROUGH DRAINAGE SYSTEMS OR SURFACE RUNOFF AND THAT ALL OFF SITE STORMWATER RUNOFF IS ACCOUNTED FOR. (CONTACT SWIPP ENGINEER AND CITY INSPECTOR IF EXISTING CONDITIONS PRESENT COMPLICATIONS WITH MEETING INTENT OF APPROVED SWIPP.) K. MAINTAIN REGULAR MAINTENANCE OF EROSION/SEDIMENT CONTROL BPM'S. L. CONTRACTOR SHALL STABILIZE ANY GRADES THAT HAVE BEEN COMPLETED WITH TEMPORARY OR PERMANENT STABILIZATION. (FOR EXAMPLE, IF A	THE MOST COMMONLY ACCEPTED MULCH USED IN CONJUNCTION WITH PERMANENT SEEDING IS SMALL GRAIN STRAW. SELECT STRAW THAT IS DRY AND FREE FROM MOLD	ANCHORED WITH NETTING OR ASPHALT EMULSIONS TO PREVENT IF FROM BEING BLOWN OR WASHED AWAY. APPLY STRAW MULCH BY HAND OR MACHINE AT THE RATE OF 2 TONS
	in se st. Rock Hit. Wed S (STA	FRONT SETBACK	MINOR	25 FT MIN 25 FT MIN	25'	TAX PARCEL NUMBER: 596-02-02-040 ZONING DISTRICT: IH	PORTION OF SITE IS BROUGHT TO GRADE AT AN EARLY PHASE AND MAY NOT BE SUBJECTED TO FURTHER DISTURBANCE, THEN FINAL STABILIZATION SHOULD BE COMPLETED IMMEDIATELY FOR THIS AREA). M. PROCEED WITH FINAL RESTORATION OF TOP SOIL AND FINE GRADING. N. COMPLETE FINAL MEASURES FOR STABILIZATION OF LOT. SEED. MUCLH. SOD. ETC.	DAMAGE AND NOXIOUS WEEDS. THE STRAW MAY NEED TO BE ANCHORED WITH NETTING OR ASPHALT EMULSIONS TO PREVENT IT FROM BEING BLOWN OR WASHED AWAY. APPLY	PER ACRE (90 POUNDS PER 1,000 SQUARE FEET). FREQUENT INSPECTIONS ARE NECESSARY TO CHECK THAT CONDITIONS FOR GROWTH ARE GOOD.
	Strate Second Concernia Co	SIDE SETBACK	FROM RES. ALL OTHER FROM RES.	100 FT MIN 100 FT MIN 10 FT MIN	100'	EXISTING STRUCTURES: (SEE PLAN) PROPOSED STRUCTURES: NONE	O. CONTACT CITY INFRASTRUCTURE INSPECTOR FOR PERMISSIO TO REMOVE TEMPORARY BMP'S, SUCH AS SILT FENCE, INLET PROTECTION, ETC., INCLUDING CONTOLS FOR THROUGH DRAINAGE AND OFF-SITE STORMWATER SYSTEMS. P. INSTALL OR CONVERT ANY APPLICABLE TEMPORARY BMP;S TO POST-CONSTRUCTION CONFIGURATION, SUCH AS: DETENTION BASIN OR RETENTION	STRAW MULCH BY HAND OR MACHINE AT THE RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET). FREQUENT	MATTING - ECBs ARE USED FOR THE TEMPORARY STABILIZATION OF SOIL IMMEDIATELY FOLLOWING SEEDING UNTIL THE
		REAR SETBACK	ALL OTHER	10 FT MIN	10' N/A	EASEMENTS: (SEE PLAN)	POND OUTLET STRUCTURE, RESTORATION OF DETENTION BASIN/RETENTION POND OUTLET STRUCTURE, RESTORATION OF DETENTION BASIN/RETENTION POND BOTTOM (SEDIMENT DEPOSITION REMOVAL), INSTALLATION OF CATCHBASIN INSTERTS, FINAL STABILIZATION, ETC., (CONTACT CITY INSPECTOR FOR PERMISSION TO CONVERT SEDIMENT PONDS TO FINAL DETENTION POND CONFIGURATION). Q. OBTAIN CITY APPROVAL FOR INFRASTRUCTURE AS-BUILTS, AS APPLICABLE.	INSPECTIONS ARE NECESSARY TO CHECK THAT CONDITIONS FOR GROWTH ARE GOOD.	VEGETATIVE COVER HAS GROWN AND BECOME ESTABLISHED. ECBs PROVIDE TEMPORARY PROTECTION BY DEGRADING OVER
		IMPERVIOUS SURF		IBC 85% MAX	56.3%	RIGHTS-OF-WAY: (SEE PLAN) DRAINAGE WAYS: (SEE PLAN)	R. CONTACT CITY OF ROCK HILL (803-329-5515) FOR PERMISSION TO FILE N.O.T. WITH SCDHEC	LIME - LIME IS NOT REQUIRED FOR TEMPORARY SEEDING UNLESS A SOIL TEST SHOWS THE SOIL pH IS BELOW 5.0. IT MAY BE DESIRABLE TO APPLY LIME DURING THE TEMPORARY	TIME. CLASS "A" ECBs SHALL BE USED FOR SLOPE APPLICATIONS 2H:1V OR FLATTER. CLASS "B" ECBs ARE FOR CHANNEL APPLICATIONS WITH SHEAR STRESS LESS THAN 1.75
		IMPERVIOUS SURF		46 ACRES MAX.	0.42 AC	FLOODWAYS: (SEE PLAN) WETLANDS: PROJECT WILL COMPLY WITH ALL LOCAL, STATE,		SEEDING OPERATION TO BENEFIT THE LONG-TERM PERMANENT SEEDING. APPLY A MINIMUM OF 1.5 TONS OF LIME/ACRE (70 POUNDS PER 1.000 SQUARE FEET) IF IT IS TO BE USED. UNLESS A	POUNDS PER SQUARE FOOT. TRMs ARE USED WHERE VEGETATION ALONE WILL NOT HOLD A SLOPE OR STREAMBANK. TRMs ENABLE THE USE OF SOLUTIONS IN LIEU OF A HARD
	VICINITY MAP					AND FEDERAL REGULATIONS REGARDING PRESER- VATION OF WETLANDS.	SITE DEVELOPEMENT NOTES	SPECIFIC SOIL TEST INDICATES OTHERWISE, APPLY 1.5 TONS OF GROUND COURSE TEXTURED AGRICULTURAL LIME PER ACRE (70 POUNDS PER 1.000 SQUARE FEET) FOR PERMANENT SEEDING.	LINING. TYPE 1 TRMs SHOULD BE PLACED ON SLOPES 2H:1V OR FLATTER OR IN CHANNELS WHERE THE CALCULATED SHEAR STRESS IS 4 POUNDS PER SQUARE FOOT OR LESS AND THE
	INDEX					SIGNAGE: TO BE PERMITTED SEPARATELY ROAD IMPROVEMENTS: NO ROAD IMPROVEMENTS PROPOSED		SEEDING - LOOSEN THE SURFACE OF THE SOIL JUST BEFORE	DESIGN VELOCITY IS UP TO 10 FEET PER SECOND. TYPE 2 TRMs SHOULD BE USED ON SLOPES 1.5:1V OR FLATTER OR IN
SHEET	DESCRIPTION	UNITS/ACRE		NO MAX.	1	ON SITE WASTE DISPOSAL: NO WASTE TO BE BURIED ON SITE	 THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT PUPS AT (888) 721-7877 BEFORE DIGGING AS REQUIRED BY LAW. 	BROADCASTING THE SEED. EVENLY APPLY SEED BY THE MOST CONVENIENT METHOD AVAILABLE FOR THE TYPE OF SEED APPLIED AND THE LOCATION OF THE SEEDING. TYPICAL	CHANNELS WHERE THE CALCULATED DESIGN SHEAR STRESS IS 6 POUNDS PER SQUARE FOOT OR LESS AND THE DESIGN FLOW VELOCITY IS UP TO 15 FEET PER SECOND. TYPE 3 TRMs SHOULD
<i>NO</i> .	DESCRIP TION	BUILDING HEIGHT		60 FT. MAX	< 60'	CONSTRUCTION TO BEGIN APPROXIMATELY AS PER THE FOLLOWING SCHEDULE:	2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND SHALL COMPLY WITH ALL LOCAL STATE AND FEDERAL LAWS AND GUIDELINES.	APPLICATION METHODS INCLUDE BUT ARE NOT LIMITED TO CYCLONE SEEDERS, DROP SPREADERS, BROADCAST SPREADERS, HAND SPREADERS, CULTIPACKER SEEDER, AND	BE USED ON SLOPES 1H:1V OR FLATTER OR IN CHANNELS WHERE THE CALCULATED DESIGN SHEAR STRESS IS 8 POUNDS PER SQUARE FOOT OR LESS AND THE DESIGN FLOW VELOCITY
C100	COVER & NOTES	OFF-STREE				BEGIN: Oct. 2023 END: Oct. 2024	 TRAFFIC CONTROL SHALL COMPLY WITH THE "UNIFORM TRAFFIC CONTROL MANUAL" AND ALL SPECIFIC REQUIREMENTS ESTABLISHED IN ENCROACHMENT PERMITS. THE CONTRACTOR SHALL KEEP COPIES OF ALL APPROVED PLANS AND PERMITS AVAILABLE AT THE SITE 	HYDRO-SEEDERS. COVER APPLIED SEED BY RAKING OR DRAGGING A CHAIN OR BRUSH MAT, AND THEN LIGHTLY FIRM THE AREA WITH A ROLLER OR CULTIPACKER. DO NOT ROLL SEED	IS UP TO 20 FEET PER SECOND. MISCELLANEOUS - ESTABLISHED LAWNS AND LANDSCAPED
C200	EXISTING CONDITIONS DEMO	PRINCIPLE	USE CALCU		REQUIRED		AT ALL TIMES. 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS AT ALL TIE-IN POINTS FOR	THAT IS APPLIED WITH A HYDRO-SEEDER AND HYDRO-MULCH.	AREAS DAMAGED BY CONSTRUCTION SHALL BE RESTORED TO THEIR FORMER CONDITION.
C300	SITE PLAN	. Taivoil LL		BUILDING SQ.FT.	# SPACES		GRADING, DRIVEWAYS, AND UTILITIES PRIOR TO COMMENCING WITH THE PROPOSED CONSTRUCTION. IF DISCREPANCIES OR CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.	<u>IRRIGATION</u> - KEEP PERMANENT SEEDED AREAS ADEQUATELY MOIST. IRRIGATE THE SEEDED AREA IF NORMAL RAINFALL IS NOT ADEQUATE FOR THE GERMINATION AND GROWTH OF SEEDLINGS.	GROWTH OF RYE GRASS IN EARLY SPRING MUST BE
C301	GARBAGE TRUCK TURNING PATH	STORAGE 1	FACTOR SP./ EMPLOYEE	8 EMPLOYEES	8		6. ANY DEVIATION FROM THE APPROVED PLANS WITHOUT WRITTEN VERIFICATION IS AT THE SOLE RISK OF THE CONTRACTOR.	WATER SEEDED AREAS AT CONTROLLED RATES THAT ARE LESS THAN THE RATE AT WHICH THE SOIL CAN ABSORB WATER TO PREVENT RUNOFF. RUNOFF OF IRRIGATION WATER WASTES	SUPRESSED TO PREVENT RYE FROM CHOKING OUT PERMANENT GRASS SUCH AS BERMUDA, BAHIA, OR FESCUE.
C302	BOX TRUCK TURNING PATH		NO OFFICE			EROSION CONTROL NOTES	 ALL PARKING SPACES SHALL HAVE WHEEL STOPS OR CONCRETE CURB AND GUTTER. ALL STRIPING SHALL BE MINIMUM 4" WIDE LINES PAINTED WITH AN APPROVED TRAFFIC TYPE PAINT. SIGNAGE FOR THE SITE WILL BE PERMITTED SEPARATELY. 	WATER AND CAN CAUSE EROSION. RE-SEEDING - RE-SEED AREAS WHERE SEEDING DOES NOT	FILL, COVER AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED.
C500			EQUIRED FOR USE:		8	IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATCH IN ADDITION TO LIVED CONTROL TO MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE BRAINS BURNING.	10. THE SITE WILL NOT BE UTILIZED AT NIGHT. (IF NECESSARY LIGHTING WILL BE PERMITTED SEPARATELY BY THE ARCHITECT OR LIGHTING CONSULTANT. EQUIPMENT FOR LIGHTING PARKING FACILITIES WILL BE ARRANGED SO THAT LIGHT DOES NOT INTERFERE WITH TRAFFIC. IS SHIELDED OR DIRECTED AWAY FROM ADJOINING	GROW QUICKLY, THICK ENOUGH, OR ADEQUATELY TO PREVENT EROSION. INSPECT SEEDED AREAS FOR FAILURE, MAKE NECESSARY REPAIRS AND RE-SEED OR OVERSEED WITH THE	\sim
	GRADING & EROSION CONTROL PLAN	PARKING	AREA SUM		BB 61 17 = 1	MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE. 2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE	RESIDENCES AND PRODUCES NO GLARE ACROSS RESIDENTIAL PROPERTY BOUNDARIES.) 11. THERE SHALL BE NO ON-SITE DISPOSAL OF DEBRIS, CELLULOSE MATERIAL, OR OTHER WASTE.	SAME GROWING SEASON IF POSSIBLE. IF THE GRASS COVER IS SPARSE OR PATCHY, RE-EVALUATE THE CHOICE OF GRASS AND	
C600	LANDSCAPE PLAN	VAN ACCESSIBLE H	HC (16×20)	REQUIRED 1	PROVIDED 1	CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW. a) WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION	12. THIS PROJECT WILL NOT BE IMPACTED BY LONG RANGE ROAD PLANS.13. AREAS ADJACENT TO CURB CUTS SHALL BE LANDSCAPED OR HAVE CURBING INSTALLED TO CONTROL VEHICLES AND PEDESTRIAN ACCESS.	QUANTITIES OF LIME AND FERTILIZER APPLIED. FINAL STABILIZATION BY PERMANENT SEEDING REQUIRES THAT IT BE COVERED BY A 70% COVERAGE RATE.	
C700	SITE DETAILS	HANDICAPPED (13x)	(- ()	0	0	MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE. b) WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES	14. ALL UTILITY SERVICES SHALL BE PLACED UNDERGROUND OR ACCESSED FROM REAR PROPERTY LINES. 15. LOADING DOCKS AND DUMPSTERS WILL BE SCREENED FROM PERPENDICULAR VIEW OF ARTERIAL TRAFFIC	INSPECTION & MAINTENANCE - INSPECT EVERY 7 CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT	Know what's below .
C701	EROSION CONTROL DETAILS	PARALLEL (9x24)		0	0	WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE. 3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC	FLOW. 16. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL THE PROPOSED DEVELOPMENT IS IN COMPLIANCE WITH THE APPROVED PLAN.	PRODUCES $\frac{1}{2}$ INCH OR MORE OF PRECIPITATION. INSPECTIONS SHOULD VERIFY THAT CONDITIONS FOR GROWTH ARE GOOD.	Call before you dig.
C702	STORM DRAIN DETAILS	STANDARD (9x19)		7	10	INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48	 17. ADDITIONAL INFORMATION WILL BE REQUIRED FOR CITY OF ROCK HILL BUILDING AND CODES ON HANDICAP PARKING. 18. THE SITE IS SUBJECT TO THE CITY OF ROCK HILL TREE ORDINANCE. (SEE LANDSCAPE NOTES FOR ADDITIONAL 		
C703	LANDSCAPE DETAILS	COMPACT (8.5x19) TOTAL SPACES		8	11	HOURS OF IDENTIFICATION. 4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY	INFORMATION). 19. ALL TREES WILL BE PLANTED IN ACCORDANCE WITH THE TREE ORDINANCE AND SHALL MEET THE AMERICAN		
		INTERIOR LANDSCA	APING RATIO	SEE PLANS	SEE PLANS	AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.	STANDARD FOR NURSERY STOCK (ANSI, 1990, PART I). 20. ALL TREES ARE TO BE NURSERY GROWN, BURLAP AND BALL (B&B) PREFERRED. MINIMUM TREE SIZE IS 2 INCH CALIPER (MEASURED 6" ABOVE ROOT BALL). 8' MINIMUM HEIGHT FOR SINGLE STEM.		
		INTERIOR LANDSCA	APING AREA	SEE PLANS	SEE PLANS	5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL	21. ALL TREES ARE TO BE NURSERY GROWN, BURLAP AND BALL (B&B) PREFERRED. MINIMUM TREE SIZE IS 8 FEET IN HEIGHT, WITH A MAXIMUM OF THREE TO FIVE STEMS OR TRUNKS.		
		LIGHTING		REQ'D. FOR NIGHT USE	(SEE PLAN)	DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED. 6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM	22. PLANTING SHALL MEET STANDARD PLANTING DETAILS (TREE ORDINANCE GUIDELINES APPENDIX). EACH TREE SHALL BE ADEQUATELY WATERED AND MULCHED. STAKING AND GUYING ARE OPTIONAL; TRUNK WRAP CAN BE USED BUT IS NOT ENCOURAGED. NO EXPOSED WIRES SHALL DIRECTLY TOUCH TREE TRUNK OR BRANCHES.		
		SURFACE SIGNS WILL BE PER	RMITTED SEPARATEL	PAVED OR GRAVEL	SEE PLANS	CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.	23. THE MAINTENANCE OF REQUIRED BUFFERYARDS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL SUCH YARDS WILL BE PROPERLY MAINTAINED SO AS TO ASSURE CONTINUED BUFFERING. DEAD TREES		
		BUFFERYARDS	3			7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C REG. 72-300 ET SEQ. AND SCR100000.	WILL BE REMOVED; DEBRIS AND LITER WILL BE CLEANED; AND FENCES WILL BE MAINTAINED AT ALL TIMES. FAILURE TO DO SO IS A VIOLATION OF THIS CHAPTER AND MAY BE REMEDIED BY THE ZONING ADMINISTRATOR IN THE MANNER PRESCRIBED FOR OTHER VIOLATIONS.		
		PROPOSED USE	ADJOINING USE	LANDSCAPED REQUIRED) YARD PROVIDED	8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.	24. PROPERTY OWNERS MUST FOLLOW A ROUTINE SCHEDULE OF WATERING, FERTILIZATION, PEST CONTROL AND PRUNING. PERIODICALLY AFTER THE DATE OF ORIGINAL APPROVAL OF THE DEVELOPMENT, THE SITE SHALL BE RE-INSPECTED FOR CONTINUED COMPLIANCE WITH THE ORIGINAL REQUIREMENTS OF THIS		
<u> </u>			ROADS	10'	10'	9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED	CHAPTER. TREES, WHICH ARE DETERMINED TO BE DEAD, DISEASED, DAMAGED OR MALNOURISHED ACCORDING TO GUIDELINE A, SHALL BE CORRECTED.		
<u> </u>		STORAGE	INDUSTRIAL/ COMMERCIAL	10'	10'	BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS. 10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH	25. TREES THAT DIE AS A RESULT OF THE CONTRACTORS'S NEGLIGENCE TO THESE SPECIFICATIONS SHALL BE REMOVED AND REPLACED BY THE OWNER WITH A NEW TREE PLANTER PER MITIGATION TREE CHART IN THE TREE ORDINANCE GUIDELINES AND AS DIRECTED BY THE APPROPRIATE AUTHORITY.		
			COMMERCIAL			AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.	26. THE TYPE OF OPEN SPACE PROVIDED IS BUFFERS. OPEN SPACE WILL BE OWNED, MAINTAINED, AND ADMINISTERED BY THE PROPERTY OWNER.		
			1			11. A COPY OF THE SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FORM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.	27. LAND DESIGNATED AS COMMON OPEN SPACE MAY NOT BE SEPARATELY SOLD OR DEVELOPED. OPEN SPACE AREAS SHALL BE MAINTAINED SO THAT THEIR USE AND ENJOYMENT AS OPEN SPACE ARE NOT DIMINISHED OR DESTROYED.		
						12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V 0R GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS. 13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.	28. THE DEVELOPER OR PROPERTY OWNER, BASED ON INFORMATION PROVIDED, HAS CONFIRMED THROUGH A TITLE SEARCH AND A REVIEW OF THE HISTORIC SURVEY OF YORK COUNTY MAINTAINED BY THE YORK COUNTY CULTURAL AND HERITAGE COMMISSION STAFF THAT NO KNOWN ABANDONED CEMETERIES EXIST		
						14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES	ON THE PROPERTY.		
						EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE. 15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESES DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).	SYMBOL LEGEND	•	
						16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED: a) WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL; b) WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS; c) FUELS, OILS, OR OTHER POLLUTANTS USED IN	-FSS	BACK	
						VEHICLE AND EQUIPMENT OPERATIONS AND MAINTENANCE; AND d) SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING. 17. AFTER CONSTRUCTION ACTIVITIES BEGIN. INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY	- FSS - PROPOSED FORCE MAIN NPDES NPD	TS OF DISTURBANCE E H/C SYMBOL LANDS	TEMP. ROCK SEDIMENT DIKE
						CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.	- W W EXISTING WATER 000000000000000000000000000000000000		T.C.E.E. CONSTRUCTION ENTRANCE
						18. IF EXISTING BMP'S NEED TO BE MODIFIED OR IF ADDITIONAL BMP'S ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION	PROPOSED WATER 100 EXISTING CONTOUR HIGH		GRAVEL RIP-RAP FILTER BERM
						MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMP'S MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE. 19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP	100 EXISTING CONTOUR LOW	шш , -,	
						PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.		P. DIVERSION BERM YARD INLET (YI)	INLET PROTECTION
							— cas— cas— cas— cas— PROPOSED GAS	STORM DRAIN MANHOLF	TEMPORARY ROCK CHECK DAM
							-UT	W HEADWALL	
							-ur————————————————————————————————————	LIGHT POLE	
							PROPOSED STORM DRAIN GAS GAS GAS GAS GAS GAS GAS GA	── SIGN	
							——***—*** PROPOSED DOUBLE SILT FENCE *** *** *** ** *** *** *** *	EXISTING FIRE HYDRANT	
							— RIGHT OF WAY — 87 — 87 — 87 — 87 — BUFFER YARD	274.50 SPOT ELEVATION	
<u> </u>				<u>,</u>			T T TOUT EN TAND	I NO DATE DELIGIOUS	DV
		REPARED BY			ишин.	SEALS PROJECT	SHEET TITLE	NO. DATE REVISIONS	SCALE: N.T.S.
Project E Drawn By	JOEL E	. WOOD 8	& ASSOCI	ATES	THEOUTH CAR	1005 RICHLAND ST PARKING AND DRIVE UPGRADE			DATE: 4/15/2023
Checked	By:	• ENGINEER			JOEL E. W. ASSOCIATES.	NO. 5762 A * E	COVER & NOTES		JOB NO.: 221209
Review: Bid:					BILE CAN No. CO19	ROCK HILL, SOUTH CAROLINA PREPARED FOR			SHEET C100
Construct	D O DOY 200 OLOVED CO 20740)	(803	3) 684-3390	THE OF AU	SKYRISE INVESTMENT INC			





CITY OF ROCK HILL NOTES:

initiated on that portion of the site.

a- If necessary, slopes which exceed eight (8) feet should be stabilized with synthetic or vegetative mats, in addition to hydroseeding. It may be necessary to install temporary slope drains during construction. Temporary berms may be needed daily until the slope is brought to

b- Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than fourteen (14) days after work has ceased, except as stated below:

Where stabilization by the 14th day is precluded by snow cover or frozen ground conditions, stabilization measures must be initiated as soon as practicable. Where construction activity on a portion of the site is temporarily ceased, and earth-disturbing

activities will be resumed within 14 days, temporary stabilization measures do not have to be

c- After construction activities begin, inspections must be conducted at a minimum of at least once every calendar week, with no time period between inspections exceeding 9 days, and must be conducted until final stabilization is reached on all areas of the construction site. Contractor shall assess all BMPs within 24 hours of the end of a storm event of 1.0 inch or greater, as well as during the first rain event after the initiation of construction activities and subsequent BMP installation. Inspection frequencies for portions of the construction site that have reached temporary or final stabilization may be reduced to at least once every month, as long as the stabilization is maintained and there is no additional disturbance in these areas. Inspections for BMPs, such as sediment basins, ponds and/or traps, which may receive flow from land development and/or construction on individual lots, may be required to resume, if areas that drain to them become disturbed during future construction. Any temporary BMP that also serves to

mitigate for peak flows, or is to be converted to a permanent post-development stormwater mitigation facility, must also be subject to regular inspections, throughout the course of construction or development, until said facilities have been converted to a post-development configuration and a N.O.T. is filed. If site inspections or other information identify BMPs that are damaged, inappropriately or

incorrectly installed, or not operating effectively, then maintenance must be performed as soon as practicable, or as reasonably possible and no less than 48 hours from the time of identification (preferably before the next storm event). d- Provide silt fence and/or other control devices as may be required to control soil erosion during utility construction. All disturbed areas shall be cleaned, graded and stabilized with grassing immediately after the utility installation. Fill cover and temporary seeding at the end of each day are recommended. Contractor must implement and maintain "seasonal" seeding to assure proper

trenching, the water should be filtered to remove any sediments before being pumped back into any stormwater systems, water courses and waters of the state (WoS) or waters of the United e- All erosion control devices shall be properly maintained during all phases of construction until the completion of all construction activities and all disturbed areas have been stabilized. Additional control devices may be required during construction in order to control erosion and/or

stabilization and vegetation, throughout the course of construction. If water is encountered while

offsite sedimentation. All temporary control devices shall be removed once construction is complete and the site is stabilized. f- The contractor must take necessary action to minimize the tracking of mud onto paved roadway from construction areas and the generation of dust. The contractor shall daily remove mud/soil from pavement, as may be required.

g- Residential subdivisions require erosion control features for infrastructure as well as for individual lot construction. Individual property owners shall follow these plans during construction or obtain approval of an individual plan in accordance with SC Reg. 72-300 Seq. and SCR100000.

h- Temporary diversion berms and/or ditches will be provided as needed during construction to protect work areas from upslope runoff and/or divert sediment laden water to appropriate traps or stable outlets.

i- All WoS or WoU.S., including wetlands, are to be flagged or otherwise clearly marked in the field. A double row of silt fence is to be installed in all areas where a 50-foot buffer cannot be maintained between the disturbed area and all WoS and a 130-foot minimum buffer for WoU.S. One row of silt fence must be wire-backed. A 25-foot no disturbance zone shall be maintained between the last row of silt fence and all WoS and a minimum 50-foot no disturbance zone for WoU.S. Buffers and no disturbance zones shall be measured from top of creek bank. j- Litter, construction debris, oils, fuels and building products with significant potential for impact (such as stockpiles of freshly treated lumber) and construction chemicals that could be exposed to storm water must be prevented from becoming a pollutant source in storm water discharges.

k- A copy of the SWPPP (including civil construction plans and supporting documents), inspections records, and rainfall data must be retained at the construction site or a nearby location easily accessible during normal business hours, from the date of commencement of construction activities to the date that final stabilization is reached. I- Initiate stabilization measures on any exposed steep slope (3H:1V or greater) where land-

disturbing activities have permanently or temporarily ceased, and will not resume for a period of seven (7) calendar days. m- Minimize soil compaction and, unless infeasible, preserve and stockpile topsoil for reuse.

n- Inspection Reports must include the following: The inspection date; 2. Names, titles, and the qualifications of personnel making the inspection if not previously given

in an inspection report, unless those qualifications change; All discharge points

4. Weather information and a description of any discharges occurring at the time of the

Total rainfall since last inspection; 6. Location(s) of discharges of sediment or other pollutants from the Site;

7. Location(s) of BMPs that need maintenance; 8. Location(s) of BMPs that failed to operate as designed or proved inadequate for a particular

9. Location(s) where additional BMPs are needed that did not exist at the time of inspection; 10. Corrective action required including any changes to the OS-SWPPP necessary and

11. Site Name, Operator Name and permit number; and

12. Verification that all BMPs and stormwater controls identified in the OS-SWPPP have been installed and are operating as designed.

13. Determine if the construction sequence is being followed;

14. Status of corrective actions undertaken following previous inspection to include date(s) each item was addressed;

15. List of items that have carried over from previous inspection reports that were not addressed. o- If existing BMPs need to be modified or if additional BMPs are necessary to comply with the requirements of this permit and/or SC's Water Quality Standards, implementation must be completed before the next storm event whenever practicable. If implementation before the next

storm event is impracticable, the situation must be documented in the SWPPP and alternative BMPs must be implemented as soon as reasonably possible. p- A Pre-Construction Conference must be held for each construction site with an approved On-Site SWPPP prior to the implementation of construction activities. For non-linear projects that

disturb 10 acres or more this conference must be held on-site unless the Department has approved q- Minimize the discharge of pollutants from equipment and vehicle washing, wheel wash water,

and other wash waters. Wash waters must be treated in a sediment basin or alternative control that provides equivalent or better treatment prior to discharge. r- Minimize the discharge of pollutants from dewatering of trenches and excavated areas. These

discharges are to be routed through appropriate BMPs (sediment basin, filter bag, etc.). s- BMP measures for concrete truck washout shall be in accordance with the following: Concrete trucks shall not typically be washed out on site. If concrete truck washout is permitted on site, coordinate location and BMP's with site inspector. Do not dispose of concrete truck washout waste by dumping into a sanitary sewer, storm drain or

onto soil or pavement that carries storm water runoff. Concrete truck washout shall be disposed of in accordance with the following:

- designated area that will later be backfilled (slurry pit) - designated area where concrete wash can harden and be disposed of as solid waste. - location that is not subject to water runoff, and more than 50 feet away from a storm drain, open ditch, or receiving water way.

- pump excess concrete in concrete pump bin back into concrete mixer truck. - concrete washout from concrete pumper bins can be washed into concrete pumper trucks and discharged into designated washout area or properly disposed of offsite. t- The following discharges from sites are prohibited:

- Wastewater from washout of concrete, unless managed by an appropriate control; - Wastewater from washout and cleanout of stucco, paint, form release oils, curing compounds and other construction materials; - Fuels, oils, or other pollutants used in vehicle and equipment operation and maintenance; and

- Soaps or solvents used in vehicle and equipment washing. u- All chemical spills, oil spills, or fish kills must be reported to SCDHEC Land & Waste

Management Emergency Response – call the 24-hour emergency response line at 1-888-481v- Temporary toilet facilities shall be provided for all construction workers and site visitors in

accordance with 2006 International Plumbing Code General Regulations, Section 311 (or current revision). Portable facilities shall be placed on level ground and away from storm drainage systems (ditches, catch basins, etc.). Disposal and handling of sanitary waste must comply with SCDHEC requirements.

w- Final grades for grassed and landscaped areas shall require a minimum 4" of clean top soil, free of debris and contaminants, and preferably of native origin.

APPROVALS	PREPARED BY	SEALS	PROJECT	SHEET TITLE	D. DATE REVISIONS BY	Y SCALE: 1" = 20'
Project Engr:		annum, a minimum,	PROJECT	SHEET TITEE		
Drawn By:	JOEL E. WOOD & ASSOCIATES	JOEL E. WOOD ASSOCIATES, LAC. No. CO1997 AS	1005 RICHLAND ST PARKING AND DRIVE UPGRADE			DATE: 4/15/2023
Checked By:	JOEL E. WOOD & ASSOCIATES					
	PLANNING • ENGINEERING • MANAGEMENT		ROCK HILL, SOUTH CAROLINA	SITE PLAN		JOB NO.: 221209
Review:			PREPARED FOR			0200
Construction	P.O. BOX 296 CLOVER, SC 29710 (803) 684-3390	THE OF AUTHORITIES E. WOODING	SKYRISE INVESTMENT INC			SHEET C300
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