



METRO AIR PARK

Landscape and Design Guidelines

Prepared for:

Metro Air Park Association

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I. INTRODUCTION

A. Purpose

The Metro Air Park Conceptual Plan as approved by the County of Sacramento under ordinance #SZC 93-0045 which created a SPA or Special Planning Area zone. The requirements of this SPA zone call for the preparation of these Landscape and Design Guidelines to ensure a high quality business park environment and the establishment of a landscape and lighting district which will provide funding for planting of open space areas, construction of project monuments and streetscapes, and on-going maintenance of common landscaped areas.

The Metro Air Park Landscape and Design Guidelines were prepared to set standards that, once implemented, will create a cohesive, environmentally sensitive development. These Design Guidelines are not intended to limit design, but to communicate an expected level of quality. The principal objective is to provide a sophisticated, mixed-use industrial and business park area.

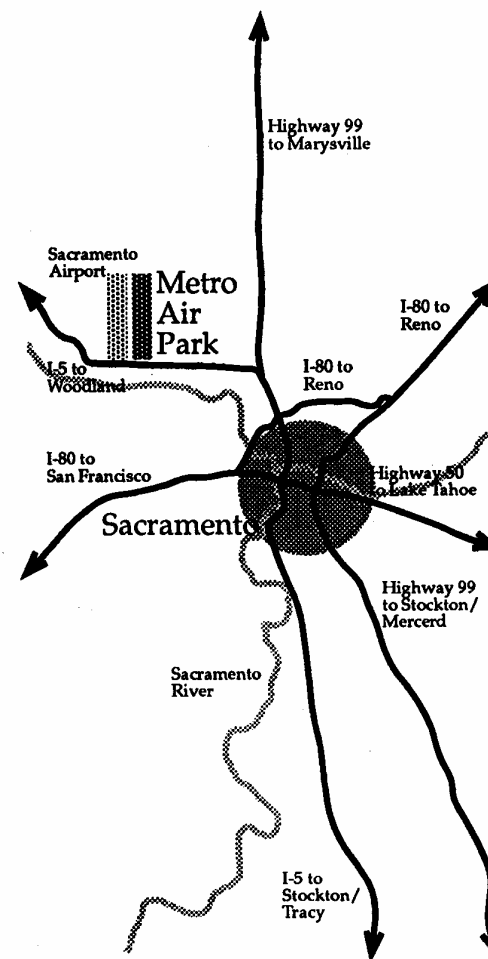
This document will be used to implement the general intent and spirit of the Metro Air Park Land Use Plan Summary Report as referenced in the SPA ordinance. As an implementation tool, these guidelines will encourage a distinct identity reflecting this project's relationship to the airport and the orientation of parcels towards open

space/recreation corridors. This plan acknowledges the mix of land uses approved by the Metro Air Park Special Planning Area Zoning Designation. The mix includes: Light Manufacturing and Distribution, Airport Manufacturing and Distribution, Professional and Corporate Offices, High Tech Research and Development, Commercial Uses and Recreation and Open Space.

B. Project Location

Metro Air Park is strategically located eight miles northwest of the City of Sacramento directly east of Sacramento International Airport between Interstate 5 and Elverta Road, both of which connect to the Highway 99 to the east. Interstate 5 and Elverta Road/Highway 99 provide excellent visibility into the development and access to a regional network of freeways serving the Central Valley and Northern California.

Exhibit 1.1 Regional Map



C. Project Summary

The land use summary, Table 1 below, indicates the distribution of land uses in the project. Light and Airport Manufacturing Distribution related categories make up 50% of the total area.

Table 1: Land Use Summary

Land Use	Acres (±)(net)	%Mix
Light Manufacturing and Distribution	551 ac.	33.3%
Airport Manufacturing and Distribution	277 ac.	16.7%
High Tech/R&D	144 ac.	8.7%
Professional/Corporate	109 ac.	6.6%
Commercial, Offices, Retail	300 ac.	18.1%
Recreation/Open Space	275 ac.	16.6%
Total:	1,656 ac.	100%

Legend

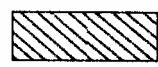




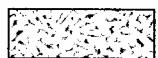
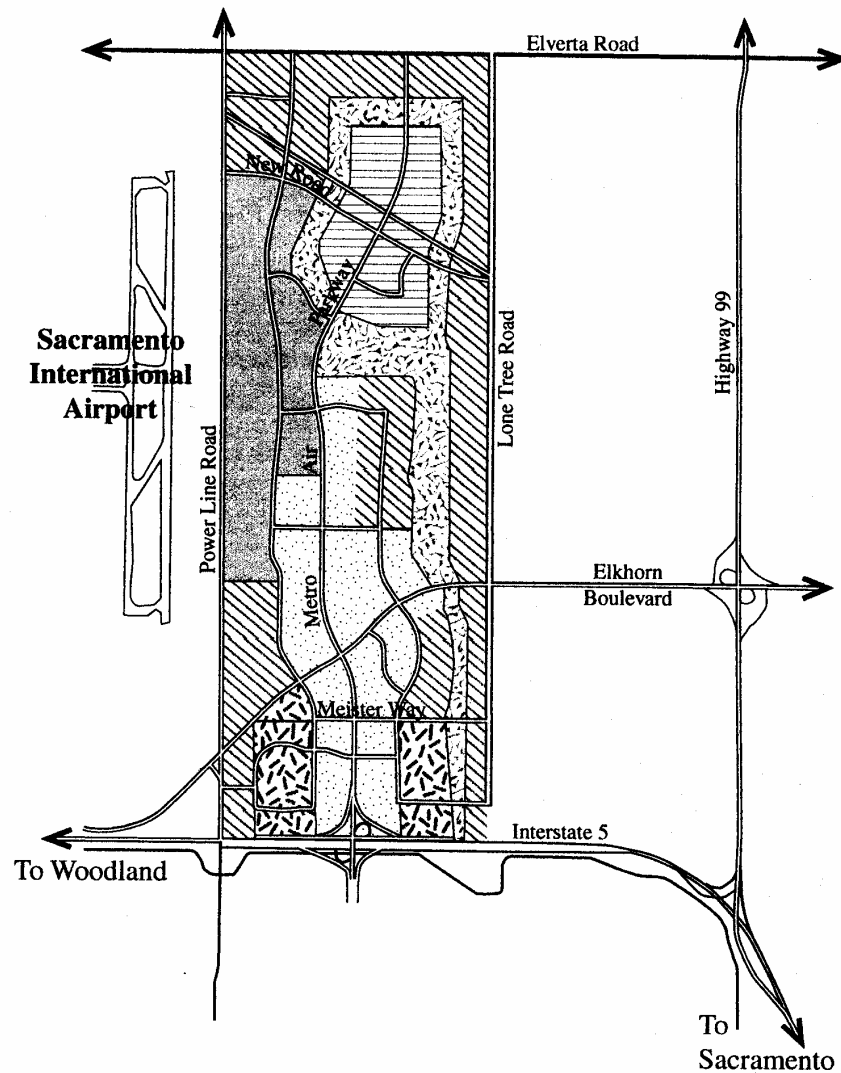
-  Light Manufacturing and Distribution
-  Airport Manufacturing and Distribution
-  High-Tech R&D
-  Professional Corporate
-  Commercial, Offices, Retail
-  Recreation/Open Space

Exhibit 1.2 Land Use Areas



II. SUBMISSION REQUIREMENTS AND REVIEW PROCEDURES

Purpose

Development may not take place on any property within the Metro Air Park Special Planning Area (SPA) until approval of a site development plan is obtained from the Project Planning Commission. Development plans shall follow the County Sacramento Zoning Code requirements, set forth in Title I, Section 110-80 through 110-86, Site Development Plan Review. The Metro Air Park Design Guidelines are intended to provide additional guidance on aesthetic issues in order to create a project that has a distinctive, cohesive high quality image. It is the responsibility of the project lead and/or developer to be familiar with all applicable project submittal requirements.

The following section describes the site plan process for the Metro Air Park Landscape and Lighting Assessment District. It is the responsibility of the project lead, and/or developer to obtain all applicable permits and approvals from local governing agencies.

A. FAA Review

Prior to approval of a Site Development Plan, the architect or applicant shall complete and submit Federal Aviation Administration (FAA) Form 7460-1 to the Northern California office of the FAA at the following address:

Federal Aviation Administration
San Francisco Airports District Office
831 Mitten Road, Room 210
Burlingame, CA 94010
(Phone: 650-876-2778)
(Fax: 650-876-2733)

B. Architectural Review Committee

The Architectural Review Committee (ARC) has been granted authority by the Covenants Conditions and Restrictions (CC&Rs) placed on the property to review all building plans and enforce of these guidelines. Plans must be submitted to the ARC before submittal to the County of Sacramento Building Department to allow confirmation of the allocated acreage for the proposed land use, and to insure that the proposed building and landscaping is consistent with these guidelines. The ARC shall respond back within fifteen (15) working days with comments and any necessary revisions, and shall endeavor to expedite processing of building permits where possible.

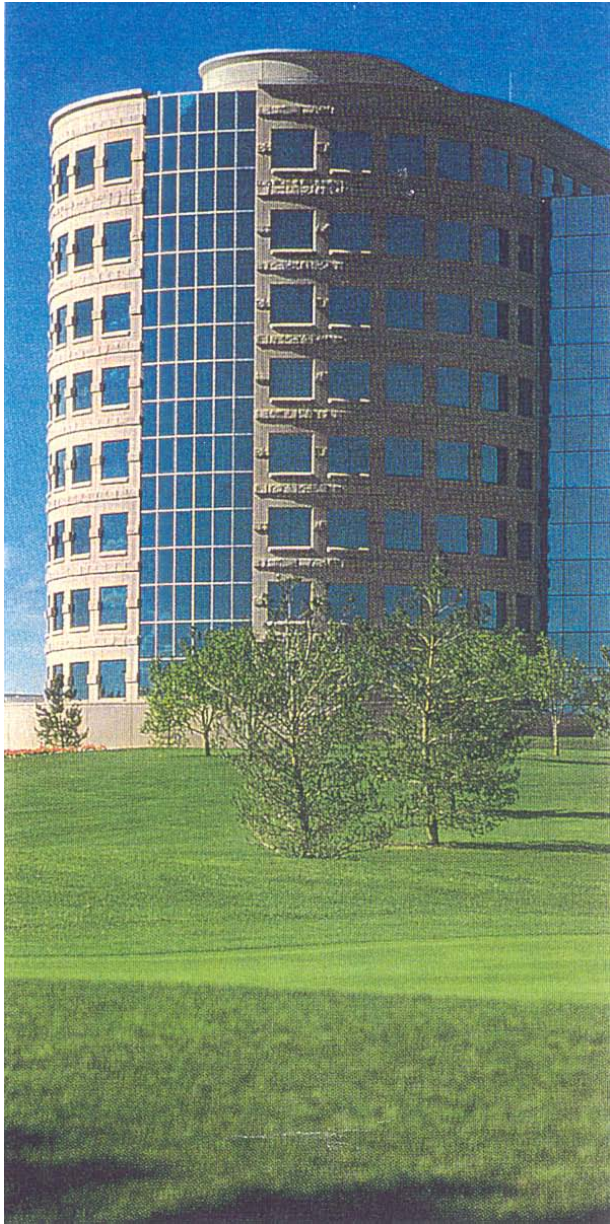
C. Developer Responsibilities

The developer and/or tenant of individual parcels of shall be responsible for the improvement and landscaping of the building site, including the parking lot, designated landscape setbacks along all public roads as well as the building. Landscape areas shall be planted in accordance with landscaping guidelines set forth in this document. Maintenance of private property shall be provided by the property owner, while participation in the Landscape and Lighting District will provide for the planting and long-term maintenance of open space corridors and public rights-of-way.

D. Projects Required to Submit

ARC review is required for any new construction in Metro Air Park including private parcels on public rights-of-way and easements. This requirement applies to but is not limited to any exterior additions to buildings, facade and signage remodeling; all changes in building occupancy that question permitted land designations; projects dealing with drainage, walkway, corridor, plaza area, pedestrian and auto circulation patterns; vegetation, building, walk and/or structure replacement; all changes to parking structures and on lots; or changes to or proposals for street furniture.





E. Required Plans

1. Site Plan

A drawing of the overall project shall be submitted at a minimum 1"=40' scale with the following information:

- Project address and title.
- Scale and north arrow.
- Dimensioned property lines, easements, rights-of-way and setbacks.
- Square footage of buildings, hardscape, parking and landscape areas.
- Building relationships, light illumination patterns, open space areas, circulation, walk and corridor connections.
- All areas and/or architectural elements that are to be preserved.

2. Architectural Plans

Five (5) sets of blueprints of fully dimensioned floorplans and elevations of buildings at a scale not less than 1/8" = 1'-0".

- a. Submitted plans shall identify: Materials; Colors, finishes and textures; proposed lighting fixtures make and placement; and signage elements and placement.
- b. Emergency Evacuation Plan
The proximity of the Sacramento Metropolitan Airport to the Metro Air Park development warrants a plan of emergency evacuation from the site. In its many years of operation, the Sacramento Metropolitan Airport has developed safety standards, techniques and procedures that have created a safe

environment. However, for the utmost protection of the site's daily inhabitants an emergency plan of plan evacuation shall be submitted. This plan of evacuation shall address and identify pedestrian exits to major corridors and out of the building and circulation routes to show efficient dispersal of traffic.

3. Renovation/Remodel Plans

In addition to the information required on architectural plans, when additions or alterations to existing buildings are planned, photographs of existing structural elements and surrounding conditions shall also be submitted to the architectural review committee. Architectural plans should clear how the addition or renovation will blend with the materials and colors of the existing building so that the line between new and old will be indiscernible.

4. Signage

Detailed plans at a scale of 1/2" = 1'-0" are required for the construction of signage elements. Submitted plans shall identify materials, textures, colors, lettering size, font style and illumination patterns.

5. Public Art

If Public Art is desired, a detailed site plan at a scale of 1" = 20'-0" or larger, indicating the location of the piece(s) in relationship to the building, parking and landscape area is required.



Detailed drawings, sketches, elevations and/or section, of the piece(s) at a scale of 1" = 1'-0" or larger is required to show materials, colors, finishes, textures, lighting elements and in illumination patterns.

6. Landscape Plans

Five (5) sets of blueprints of landscape plans at a scale of not less than 1"=20'-0" shall be submitted. Plans shall meet or exceed Sacramento County Code #0812 relating to water use and water conserving landscape requirements. The following items shall be included in the landscape submittal package:

- Address of the project and title.
- Scale and north arrow.
- Dimensioned property lines, easements, rights-of-way and setbacks.
- Square footages of landscape areas.
- Proposed and/or existing structures.
- Hardscape element locations, dimensions, heights, connections, materials finishes, textures and/or patterns.
- All notes, schedules, specifications, and legends.
- Name, address, telephone number of licensed Landscape Architect with license number, expiration date, and signature.

Note: All elements of the landscape plans must be prepared by a California Registered Landscape Architect under the jurisdiction of the California Department of Consumer Affairs.

a. Landscape Removal

All existing conditions and/or vegetation scheduled to be removed from the site shall be identified on the demolition plan. Existing items to remain shall be graphically

distinguishable from items scheduled to be removed.

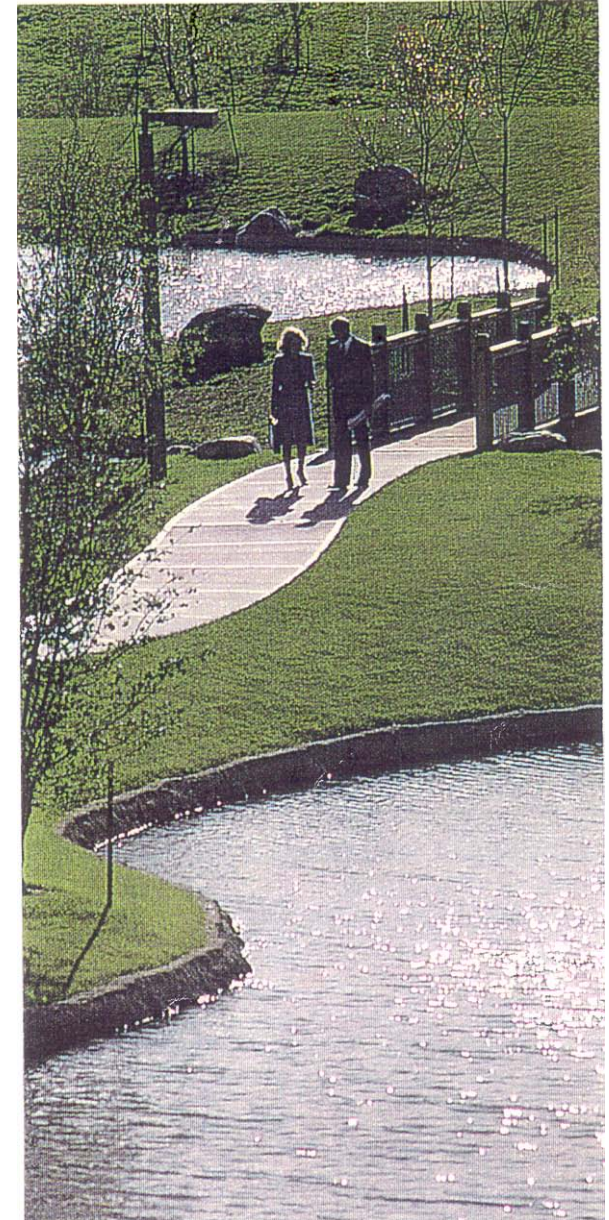
b. Landscape Grading Plan

The Landscape Grading Plan shall identify all existing and proposed contours, finish grades, top of walls, top of pilasters, high points, low points, swales, drainage patterns, drain inlets, drain outlets, catch basins, clean outs, connections, pipe sizes and slopes.

c. Irrigation Plans

Landscape irrigation plans shall indicate the following:

- All notes, specifications and legends.
- Materials, connections and hydrozones.
- Backflow preventer type(s), size, location and enclosure.
- Automatic controller type, size, location and footing/mount.
- Water schedules for plant establishment and long term maintenance.
- Plans shall meet or exceed Sacramento County Code #0812 relating to water use and water conserving landscape requirements.
- Location of all sprinkler heads, rotors, pipes, sleeves, electrical conduits and valves.
- Watering schedule that indicates, but is not limited to, station run times, days of operation and frequency of each valve for the four seasons.
- Precipitation rates for applicable sprinkler systems.
- Mainline directional flow and placement.





d. Landscape Planting Plan

Landscape Planting Plan shall indicate the following:

- All notes, specifications and legends. Plant genus, species and common name.
- Container size.
- Soil mix or mulch cover.
- Identify and locate berms, grades, plantings, drainage swales and easements.
- Hardscape elements.
- Shade calculations for parking lot areas.
- Street trees shall be provided per the Sacramento County Zoning Code.

e. Landscape Maintenance Guide

A Landscape Maintenance Guide that is developed by a Licensed Landscape Architect shall explain and describe procedures for:

- Pruning and thinning.
- Weeding.
- Planting and plant removal.
- Mowing and edging.
- Frost protection.
- Plant spacing.
- Disposal and mulching techniques.
- Fertilizer application.
- Soil amendment requirements.
- Herbicide application shall be as recommended by a pest control advisor.

f. Soil Report

A soils report shall be included as part of the landscape plan submittals. The soil testing shall be conducted by a soils laboratory and include analysis on soil texture, cation exchange capacity, soil fertility and provide recommendations for soil amendments to ensure the best chance of success for landscape plantings.

g. Shade Requirements

All parking lot areas shall meet or exceed the County of Sacramento Zoning Code for landscape shade requirements.

h. Water Conservation Requirements

All plans shall meet or exceed Sacramento County Water Conservation Ordinance Chapter 14.10 "Water Conserving Landscape Design Guidelines."

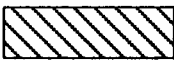
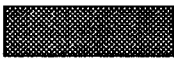
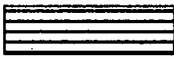
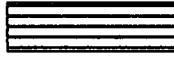
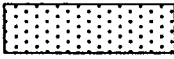

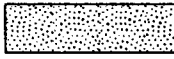


III. LAND USE DISTRICTS & SITE DEVELOPMENT STANDARDS

A. Land Use Concept

Land Use Districts have been established within Metro Air Park to provide land use buffers between the Airport and the center of the project, to capitalize on the proposed roadway network and freeway exposure, and to create a focus around an open space and recreation corridor. Districts have been configured to allow the most effective use of the site and proposed infrastructure.

B. Land Use Districts and Site Specific Development Standards

This section addresses the following approved and permitted land use districts as listed by the County of Sacramento Zoning Ordinance #SZC 93-0045 for the Metro Air Park Special Planning Area. Future developers or builders are responsible for checking with the County of Sacramento to conform to all applicable ordinances and codes not only in this design guideline but all pertinent documents.

	District 1A and 1B: <i>Light Manufacturing and Distribution</i>
	District 2A and 2B: <i>Airport Manufacturing and Distribution</i>
	District 3A: <i>Office-High Tech/R & D Core</i>
	District 3B: <i>Office-High Tech/R & D Periphery</i>
	District 4: <i>Office-Professional/Corporate</i>
	District 5A: <i>Office / Hotel / Retail / Services Core</i>
	District 5B: <i>Office / Hotel / Retail / Services North</i>
	District 5C: <i>Office / Hotel / Retail / Services Periphery</i>
	District 6: <i>Recreation and Open Space</i>

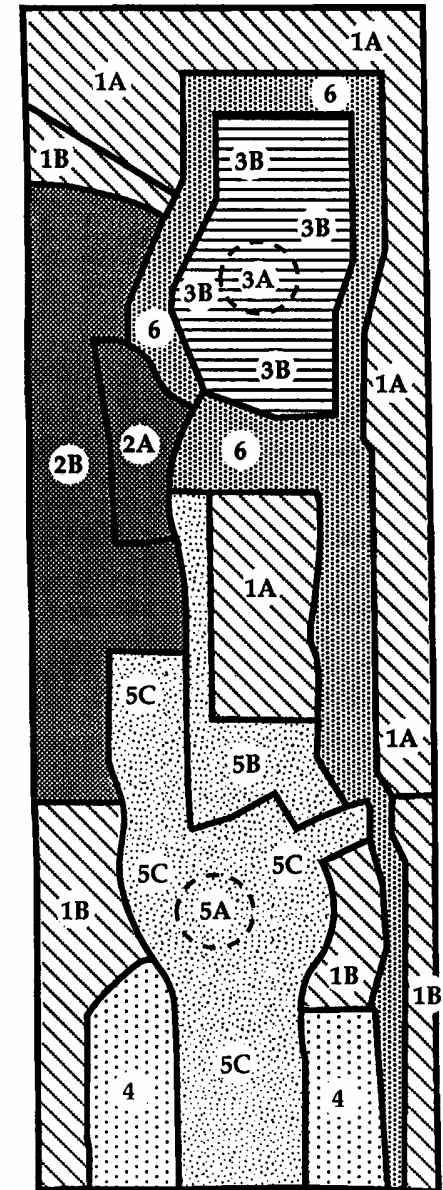


Exhibit 3.1 Metro Air Park



District 1A and 1B:

Light Manufacturing and Distribution

Approved and permitted land uses in District 1A and 1B, Light Manufacturing and Distribution, are as follows:

A. Airport and Related Uses:

1. Aviation schools.
2. Customhouse brokers/import-export services.
3. Freight forwarders.
4. Package delivery/baggage transfer service.
5. Air freight facility.
6. Newspaper-magazine stand.
7. Telegraph office.
8. Offices, when incidental to a permitted use and does not exceed 25% of the total floor area of the permitted use.
9. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

B. Industrial and Manufacturing Uses:

1. Machinery shop uses:
 - (a) Blacksmith shops.
 - (b) Cabinet or carpenter shops.
 - (c) Electric motor rebuilding.
 - (d) Machine shops.
 - (e) Sheet metal shops.
 - (f) Welding shops.
 - (g) Plumbing shops.
 - (h) Manufacturing, compounding, assembly or treatment of articles or merchandise from previously prepared metals.

2. Electric or neon sign manufacture.
3. Manufacturing, compounding assembly or treatment of articles or merchandise from previously prepared materials:
 - Bone, canvas, cellophane, cloth, cork, feathers, felt, fiber, fur, hair, horn, Glass, leather, paper (no milling), precious or semiprecious stone or metals, plaster, plastic, shells, textiles, tobacco, wood, yams.
4. Rubber and metal stamps, musical instruments, toys and novelties.
5. Printing shops, lithography, publishing.
6. Assembly of small electrical equipment and electronic equipment.
7. Assembly of plastic items from finished plastic.
8. Rubber fabrication or products made from finished rubber.
9. Photographic chemical processing and wholesale distribution.
10. Manufacturing, compounding or processing and wholesale distribution of:
 - Bakery goods, candy, dairy products, other food products (excluding fish, meat, sauerkraut, wine, yeast and rendering of fats and oils), perfume, toiletries, cosmetics, drugs.
11. Wholesaling and warehousing.
12. Storage building - mini.
13. Moving and storage.
14. General storage.
15. Videotape - editing, processing.
16. Offices, when incidental to a permitted use and does not exceed 25% of the total floor area of the permitted use.

17. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

C. Automotive Uses:

1. Auto rental or lease agency, including limousine service.
2. Auto wholesaler, office only (no on-site storage of vehicles).
3. Auto service station, primary (*1).
4. Auto service station, secondary (*1).
5. Auto wash self-service or automatic (*1).

D. Limited Retail Sales and Services Uses:

1. Eating/drinking/lodging:
 - (a) Restaurant/coffee shop/cafeteria (*2).
2. Entertainment/recreation services:
 - (a) Public parks and ancillary uses.
 - (b) Museum.
 - (c) Physical fitness studio (*2).
3. Food, drug, liquor sales:
 - (a) Coin-operated dispenser.
4. General merchandise sales:
 - (a) Newspaper-magazine stand.

E. Office and Professional Uses:

1. Building trades contractors office (*5).
2. Government aviation-related agencies (*5).
3. Airline administration offices (*5).
4. Post office complex (*5).
5. Aerial mapping and surveying (*5).
6. Messenger service (*5).
7. Travel service, ticket offices (*5).
8. Blueprinting-photostating services (*5).
9. Drafting Services (*5).



10. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

F. High Tech Research and Development Uses:

1. Laboratory, aircraft-related research and testing.
2. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.
3. Offices, when incidental to a permitted use and does not exceed 25% of the total floor area of the permitted use.

G. Parking Facilities:

Ground level and/or underground parking facilities. Multi-level facilities are subject to the conditions set forth in Zoning Code Sections 225-11 and 225-14.

*** Specific Ratio Requirements:**

1. Permitted use in this district, however, a maximum of ten (10) acres of auto related uses are allowed in the Metro Air Park SPA.
2. Permitted use in this district, however, a maximum of fifteen (15) acres of retail sales and service uses are allowed in the Metro Air Park SPA.
5. Permitted use in this district, however, a maximum of two-hundred ninety (290) acres of office-corporate headquarters are allowed in the Metro Air Park SPA.

Site Layout Guidelines

Minimum Lot Area:

The minimum lot area for this district shall be six-thousand (6,000) square feet.

Minimum Lot Width:

The minimum permitted lot width shall be one-hundred feet (100').

Minimum Floor Elevations:

All structures must comply with the Sacramento County Water Agency Drainage Ordinance No.1, as amended.

Building Setbacks:

The minimum building setback from any street right-of-way shall be fifty feet (50'). The minimum side yard setback is ten feet (10'), and the minimum rear yard is twenty-five feet (25').

Landscape Setbacks:

The minimum landscape setback to parking areas is twenty-five feet (25') for all yards where the zone is adjacent to residential, recreation or agricultural-residential; otherwise a rear or interior side yard setback is not required.

Maximum Building Height:

The maximum permitted building height shall be between one hundred and six feet (106') and one hundred and seventy-three feet (173') above mean sea level, which is the maximum allowed by Federal Aviation Regulations (Part 77). Changes to FAA regulations may reduce this maximum height standard, but any such changes shall not increase the maximum height standard to more than between one hundred and six feet (106') and one hundred and seventy-three feet (173') above mean sea

level. Final building height shall be determined prior to the issuance of a building permit.

Fencing and Screening:

All utility elements, storage, truck and parking areas shall be screened from public view and rights-of-way. This can be accomplished through the use of berms, landscape materials, and walls or fences. In the case of screening utility structures, allow access from the one side that is the least visible from public rights-of-way.

Landscaping:

On-site landscaping will be provided in accordance with the landscape design guidelines as defined in this document.

Parking:

Parking shall be provided in conformance with standards set forth in the Sacramento County Zoning Ordinance.

Open Space:

The open space and recreation corridor is located adjacent to this district and must be considered in the preparation of site plans. Each development shall be consistent with the concepts identified in the Recreation and Open Space section of this document.



District 2A and 2B:

Airport Manufacturing and Distribution

Approved and permitted land uses in District 2A and 2B, Airport Manufacturing and Distribution, are as follows:

A. Airport and Related Uses:

1. Aircraft sales, lease, rent, storage, repair charter service.
2. Manufacturing, repair, assembly, sales distribution of aircraft engines, aircraft frames, aircraft parts, and components such as radios, transmitters and navigational equipment and aircraft ground support equipment.
3. Hangars, shops and warehousing of furnished parts, supplies, merchandise and equipment for aircraft and aircraft ground support equipment.
4. Air cargo warehousing and distribution facilities.
5. Aviation schools.
6. Customhouses brokers/import-export services.
7. Freight forwarders.
8. Package delivery/baggage transfer service.
9. Air freight facility.
10. Flight kitchens/caterers.
11. Newspaper-magazine stand.
12. Telegraph office.
13. Offices, when incidental to a permitted use and does not exceed 25% of the total floor area of the permitted use.
14. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

B. Industrial and Manufacturing Uses:

1. Machinery shop uses:
 - (a) Blacksmith shops.
 - (b) Cabinet or carpenter shops.
 - (c) Electric motor rebuilding.
 - (d) Machine shops.
 - (e) Sheet metal shops.
 - (f) Welding shops.
 - (g) Plumbing shops.
 - (h) Manufacturing, compounding assembly or treatment of articles or merchandise from previously prepared metals.
2. Electric or neon sign manufacturing.
3. Manufacturing, compounding assembly or treatment of articles or merchandise from previously prepared materials:
Bone, canvas, cellophane, cloth, cork feathers, felt, fiber, fur, hair, horn, glass, leather, paper (no milling), precious/semiprecious stone or metals, plaster, plastic, shells, textiles, tobacco, wood, yarns.
4. Rubber and metal stamps, musical instruments, toys and novelties.
5. Printing shops, lithography, publish.
6. Assembly of small electrical and electronic equipment.
7. Assembly of plastic items from finished plastic.
8. Rubber fabrication or products made from finished rubber.
9. Photographic chemical processing and wholesale distribution.
10. Manufacturing, compounding or processing of such products as:
Bakery goods, candy, dairy products, other food products (excluding fish,

meat, sauerkraut, wine, yeast, & rendering of fats and oils), perfume, toiletries, cosmetics, drugs.

11. Wholesaling and warehousing.
12. Storage building - mini.
13. Moving and storage.
14. General storage.
15. Videotape-editing, processing.
16. Offices, when incidental to a permitted use and does not exceed 25% of the total floor area of the permitted use.
17. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

C. Automotive Uses:

1. Auto rental or lease agency, including limousine service.
2. Auto wholesaler, office only (no on-site storage of vehicles).
3. Auto service station, primary (*1).
4. Auto service station, secondary (*1).
5. Auto wash self-service or automatic (*1).

D. Limited Retail Sales and Service Uses:

1. Eating/drinking/lodging:
 - (a) Restaurant/coffee shop/cafeteria (*2).
2. Entertainment/recreation services:
 - (a) Public parks and ancillary uses.
 - (b) Museums.
 - (c) Physical fitness studio (*2).
3. Food, drug, liquor sales:
 - (a) Coin-operated dispenser.
4. General merchandise sales:
 - (a) Newspaper-magazine stand.



E. Office and Professional Uses:

1. Building trades contractors office (*5).
2. Government aviation-related agencies (*5).
3. Airline, air cargo, aircraft or aircraft component manufacturing headquarters and offices (*5).
4. Airline administration office (*5).
5. Weather information service (*5).
6. Post office complex (*5).
7. Aerial mapping and surveying (*5).
8. Messenger service (*5).
9. Travel service, ticket offices (*5).
10. Blueprinting-photostating services (*5).
11. Drafting service (*5).
12. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

F. High Tech Research and Development Uses:

1. Laboratory, aircraft-related research and testing.
2. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.
3. Offices, when incidental to a permitted use and does not exceed 25% of the total floor area of the permitted use.

G. Parking Facilities:

Ground level and/or underground parking facilities. Multi-level facilities are subject to the conditions set forth in Zoning Code Sections 225-11 and 225-14.

*** Specific Ratio Requirements:**

1. Permitted use in this district, however, a maximum of ten (10) acres of auto related uses are allowed in the Metro Air Park SPA.

2. Permitted use in this district, however, a maximum of fifteen (15) acres of retail sales and service uses are allowed in the Metro Air Park SPA.
5. Permitted use in this district, however, a maximum of two-hundred ninety (290) acres of office-corporate headquarters are allowed in the Metro Air Park SPA.

Site Layout Guidelines**Minimum Lot Area:**

The minimum lot area for this district shall be six-thousand (6,000) square feet.

Minimum Lot Width:

The minimum permitted lot width shall be one hundred feet (100').

Minimum Floor Elevations:

All structures must comply with the Sacramento County Water Agency Drainage Ordinance No.1, as amended.

Building Setbacks:

The minimum front setback from the street right-of-way shall be fifty feet (50'). The minimum side yard setback is ten feet (10'), and the minimum rear yard is twenty-five feet (25').

Landscape Setbacks:

The minimum landscape setback to parking areas is twenty-five feet (25') for all yards where the zone is adjacent to residential, recreation or agricultural-residential; otherwise a rear or interior side yard setback is not required.

Maximum Building Height:

The maximum permitted building height shall be between one hundred and six feet (106') and one hundred and seventy-three feet (173') above mean sea level, which is the maximum allowed by Federal Aviation Regulations (Part 77). Changes to

FAA regulations may reduce this maximum height standard, but any such changes shall not increase the maximum height standard to more than between one hundred and six feet (106') and one hundred and seventy-three feet (173') above mean sea level. Final building height shall be determined prior to the issuance of a building permit.

Fencing and Screening:

All utility easements, storage, truck and parking areas shall be screened from public view and rights-of-way. This can be accomplished through the use of berms, live landscape materials, and walls/fences. In the case of screening utility structures, allow access from the one side that is least visible from public rights-of-way.

Landscaping:

On-site landscaping will be provided in accordance with the landscape design guidelines as defined in this document.

Parking:

Parking shall be provided in conformance with standards set forth in the Sacramento County Zoning Ordinance.

Open Space:

The open space and recreation corridor is located adjacent to this district and must be considered in the preparation of site plans. Each development shall be consistent with the concepts identified in the Recreation and Open Space section of this document.



District 3A:

Office-High Tech/R & D Core

Approved and permitted land uses in District 3A, Office-High Tech I R & D core, are as follows:

A. Airport and Related Uses:

1. Newspaper-magazine stand.

B. Industrial and Manufacturing Uses:

1. Printing shops, lithography, publish.
2. Assembly of small electrical & electronic equipment.
3. Assembly of plastic items from finished plastic.
4. Photographic chemical processing and wholesale distribution.
5. Wholesaling and warehousing.
6. Storage building - mini. .
7. Moving and storage.
8. Videotape-editing, processing.

C. Limited Retail Sales and Services Uses:

1. Personal services:
 - (a) Child care center
2. Food, drug, liquor sales:
 - (a) Coin-operated dispenser.
3. General merchandise sales:
 - (a) Electronic equipment store (*2).
 - (b) Newspaper-magazine stand.
 - (c) Office machines and equipment sale and minor repair (*2).

D. Office and Professional Uses:

1. Federal and state buildings.
2. Travel service, ticket offices (*5).
3. Drafting service (*5).

E. High Tech Research and Development Uses:

1. Research and development facilities:
 - (a) Medicine.
 - (b) Medical electronics and equipment.
 - (c) Computers, parts and chips, integrated circuits, programming software. (d) Automotive design.
 - (e) Physics.
 - (f) Chemistry.
 - (g) Biology.
2. Laboratory, medical, dental or optical.
3. Laboratory, research, experimental.
4. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a multi-tenant building and not occupying more than 15% of the total floor area.
5. Offices, when incidental to a permitted use and does not exceed 25% of the total floor area of the permitted use.

F. Parking Facilities:

Ground level and/or underground parking facilities. Multi-level facilities are subject to the conditions set forth in Zoning Code Sections 225-11 and 225-14.

***Specific Ratio Requirement**

2. Permitted use in this district, however, a maximum of fifteen (15) acres of retail sales and service uses are allowed in the Metro Air Park SPA.
5. Permitted use in this district, however, a maximum of two-hundred ninety (290) acres of office-corporate headquarters are allowed in the Metro Air Park SPA.

Site Layout Guidelines

Minimum Lot Area:

The minimum lot area for this district shall be fifteen-thousand (15,000) square feet.

Minimum Lot Width:

The minimum permitted lot width shall be one hundred feet (100').

Minimum Floor Elevations:

All structures must comply with the Sacramento County Water Agency Drainage Ordinance No.1, as amended.

Building Setbacks:

The minimum front setback from the public street right-of-way shall be thirty feet (30'). The minimum side and rear yard setbacks shall conform to MP standards set forth in Title III, Chapter 25, Article 1 of the Sacramento County Code. The minimum side yard shall not be less than ten feet (10'), and the minimum rear yard shall not be less than twenty-five feet (25').

Landscaping Setbacks:

The minimum landscape setback to parking area is twenty-five feet (25') for all yards where the zone is adjacent to residential, recreation or agricultural-residential; otherwise a rear or interior side yard setback is not required.



Maximum Building Height:

The maximum permitted building height shall be one hundred and seventy-three feet (173') above mean sea level, which is the maximum allowed by Federal Aviation Regulations (Part 77). Changes to FAA regulations may reduce this maximum height standard, but any such changes shall not increase the maximum height standard to more than one hundred and seventy-three feet (173') above mean sea level.

Fencing and Screening:

All utility elements, storage, truck and parking areas shall be screened from public view and rights-of-way. This can be accomplished through the use of berms, live landscape materials, and walls or fences. In the case of screening utility structures, allow access from the one side that is the least visible from public rights-of-way.

Landscaping:

On-site landscaping will be provided in accordance with the landscape design guidelines as defined in this document.

Parking:

Parking requirements are to meet the standards set forth in the Sacramento County Zoning Ordinance.

Open Space:

The open space and recreation corridor is located adjacent to this district and must be considered in the preparation of site plans. Each development shall be consistent with the concepts identified in the Recreation and Open Space section of this document.



District 3B:

Office-High Tech/R & D Periphery

Approved and permitted land uses in District 3B, Office-High Tech/R&D Periphery, are as follows:

A. Airport and Related Uses:

1. Newspaper-magazine stand.

B. Industrial and Manufacturing Uses:

1. Machinery shop uses:
Blacksmith shops; cabinet or carpenter shops; electric motor rebuilding; machine shops; sheet metal shops; welding shops; plumbing shops; manufacturing compounding, assembly, or treatment of articles or merchandise from previously prepared metals (*6).
2. Electric or neon sign manufacture (*6).
3. Manufacturing, compounding, assembly or treatment of articles or merchandise from the following previously prepared materials:
Bone, canvas, cellophane, cloth, cork feathers, felt, fiber, fur, hair, horn, glass, leather, paper (no milling), precious/semiprecious stone or metals, plaster, plastic, shells, textiles, tobacco, wood, yarns (*6).
4. Printing shops, lithography, publish.
5. Assembly of small electrical and electronic equipment.
6. Assembly of plastic items from finished plastic.
7. Rubber fabrication or products made from finished rubber (*6).
8. Photographic chemical processing and wholesale distribution.

9. Manufacturing, compounding or processing of such products as:
Bakery goods, candy, dairy products, other food products (excluding fish, meat, sauerkraut, wine, yeast, & rendering of fats and oils), perfume, toiletries, cosmetics, drugs (*6).
10. Wholesaling and warehousing.
11. Storage building - mini.
12. Moving and storage.
13. Videotape-editing, processing.
14. Offices, when incidental to a permitted use and does not exceed 25% of the total floor area of the permitted use.
15. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a multi-tenant building and not occupying more than 15% of the total floor area.

C. Automotive Uses:

1. Auto service station, primary (* 1).
2. Auto service station, secondary (* 1).
3. Auto wash self-service or automatic (* 1).

D. Limited Retail Sales and Service Uses:

1. Personal services:
 - (a) Child care center.
2. Food, drug, liquor sales:
 - (a) Coin-operated dispenser.
3. General merchandise sales:
 - (a) Electronic equipment store (*2).
 - (b) Newspaper-magazine stand.
 - (c) Office machines and equipment sale and minor repair (*2).

E. Office and Professional Uses:

1. Federal & state buildings.
2. Airline administration offices (*5).
3. Travel service, ticket offices (*5).
4. Blueprinting-photostating services (*5).
5. Drafting service (*5).
6. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a multi-tenant building and not occupying more than 15% of the total floor area.

F. High Tech Research and Development Uses:

1. Research and development facilities:
 - (a) Medicine.
 - (b) Medical electronics and equipment.
 - (c) Computers, parts and chips, integrated circuits, programming software.
 - (d) Automotive design.
 - (e) Physics.
 - (f) Chemistry.
 - (g) Biology.
2. Laboratory, medical, dental, or optical.
3. Laboratory, research, experimental.
4. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.
5. Offices, when incidental to a permitted use and does not exceed 25% of the total floor area of the permitted use.



G. Parking Facilities

Ground level and/or underground parking facilities. Multilevel facilities are subject to the conditions set forth in Zoning Code Sections 225-11 and 225-14.

*** Specific Ratio Requirements:**

1. Permitted use in this district, however, a maximum of ten (10) acres of auto related uses are allowed in the Metro Air Park SPA.
2. Permitted use in this district, however, a maximum of fifteen (15) acres of retail sales and service uses are allowed in the Metro Air Park SPA.
5. Permitted use in this district, however, a maximum of two-hundred ninety (290) acres of office-corporate headquarters are allowed in the Metro Air Park SPA.
6. Permitted subject to issuance of a Conditional Use Permit by the appropriate authority; however, a maximum of 69 net acres of Industrial and Manufacturing uses shall be permitted in Districts 3B, 4, 5B, and 5C.

Site Layout Guidelines**Minimum Lot Area:**

The minimum lot area for this district shall be fifteen-thousand (15,000) square feet.

Minimum Lot Width:

The minimum permitted lot width shall be one hundred feet (100').

Minimum Floor Elevations:

All structures must comply with the Sacramento County Water Agency Drainage Ordinance No.1, as amended.

Building Setbacks:

The minimum front setback from the public street right-of-way shall be thirty feet (30'), the minimum side and rear yard setbacks shall conform to MP standards set forth in Title III, Chapter 25, Article 1 of the Sacramento County Code. However, the minimum side yard shall not be less than ten feet (10'), and the minimum rear yard shall not be less than twenty-five feet (25').

Landscape Setbacks:

The minimum landscape setback to parking areas is twenty-five feet (25') for all yards where the zone is adjacent to residential, recreation or agricultural-residential; otherwise a rear or interior side yard setback is not required.

Maximum Building Height:

The maximum permitted building height shall be one hundred and seventy-three feet (173') above mean sea level, which is the maximum allowed by Federal Aviation Regulations (Part 77). Changes to FAA regulations may reduce this maximum height standard, but any such changes shall not increase the maximum height standard to more than one hundred and seventy-three feet (173') above mean sea level.

Fencing and Screening:

All utility elements, storage, truck and parking areas shall be screened from public view and rights-of-way. This can be accomplished through the use of berms, live landscape materials, and walls or fences. In the case of screening utility structures, allow access from the one side that is the least visible from public rights-of-way.

Landscaping:

On-site landscaping will be provided in accordance with the landscape design guidelines as defined in this document.

Parking:

Parking requirements are to meet the standards set forth in the Sacramento County Zoning Ordinance.

Open Space:

The open space and recreation corridors are located adjacent to this district and must be considered in the preparation of site plans. Each development shall be consistent with the concepts identified in the Recreation and Open Space section of this document.



District 4:

Office-Professional/Corporate

Approved and permitted land uses in District 4, Office-Professional/Corporate, are as follows:

A. Airport and Related Uses:

1. Newspaper-magazine stand.
2. Telegraph office.

B. Industrial and Manufacturing Uses:

1. Machinery shop uses:
Blacksmith shop; cabinet or carpenter shops; electric motor rebuilding; machine shops; sheet metal shops; welding shops; plumbing shops; manufacturing, compounding, assembly, or treatment of articles or merchandise from previously prepared metals (*6).
2. Electric or neon sign manufacture (*6).
3. Manufacturing, compounding, assembly or treatment of articles or merchandise from the following previously prepared materials:
Bone, canvas, cellophane, cloth, cork 1 feathers, felt, fiber, fur, hair, horn, glass, leather, paper (no milling), precious/semiprecious stone or metals, plaster, plastic, shells, textiles, tobacco, wood, yarns.(*6).
4. Rubber and metal stamps, musical, instruments, toys and novelties (*6).
5. Printing shops, lithography, publish.
6. Assembly of small electrical and electronic equipment (*6).
7. Assembly of plastic items from finished plastic (*6).

8. Rubber fabrication or products made from finished rubber (*6).
9. Photographic chemical processing and wholesale distribution (*6).
10. Manufacturing, compounding or processing of such products as:
Bakery goods, candy, dairy products, other food products (excluding fish, meat, sauerkraut, wine, yeast & rendering of fats and oils), perfume, toiletries, cosmetics, drugs (*6).
11. Wholesaling & warehousing (*7).
12. Storage building - mini (*7).
13. Moving and storage (*7).
14. General storage (*7).
15. Videotape-editing, processing.
16. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

C. Automotive Uses:

1. Auto wholesaler, office only
(No on-site storage of vehicles).

D. Limited Retail Sales and Service Uses:

1. Personal services:
 - (a) Barbershop (*2).
 - (b) Bathhouse - sauna, turkish, steam, spa and tanning (*2).
 - (c) Beauty Shop (*2).
 - (d) Reducing-body building studio (*2).
 - (e) Shoe shine parlor (*2).
2. Eating, drinking, lodging:
 - (a) Delicatessen (*2).
 - (b) Restaurant/coffee shop/cafeteria (*2).

3. Entertainment, recreation services:
 - (a) Public parks and ancillary uses.
 - (b) Museum.
 - (c) Physical fitness studio (*2).
4. Food, drug, liquor sales:
 - (a) Coin-operated dispenser.
5. General merchandise sales:
 - (a) Electronic equipment store (*2).
 - (b) Newspaper-magazine stand.
 - (c) Office machines and equipment sale and minor repair (*2).

E. Office and Professional Uses:

1. Accountants, bookkeepers office (*5).
2. Bank, savings and loan, finance, loan, credit office (*5).
3. Building trades contractors office (*5).
4. Business or professional office (*5).
5. Collection, counseling, personnel office (*5).
6. Corporate office (*5).
7. Insurance office (*5).
8. Interior decorator (*5).
9. Public relations or advertising office (*5).
10. Federal & state buildings, facilities and grounds.
11. Airline administration offices (*5).
12. Travel service, ticket offices (*5).
13. Drafting service (*5).
14. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a multi-tenant building and not occupying more than 15% of the total floor area.



F. High Tech Research and Development Uses:

1. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a multi-tenant building and not occupying more than 15 % of the total floor area.
2. Offices, when incidental to a permitted use and does not exceed 25% of the total floor area of the permitted use.

G. Parking Facilities:

Ground level and/or underground parking facilities. Multilevel facilities are subject to the conditions set forth in Zoning Code Sections 225-11 and 225-14.

*** Specific Ratio Requirements:**

2. Permitted use in this district, however, a maximum of fifteen (15) acres of retail sales and service uses are allowed in the Metro Air Park SPA.
5. Permitted use in this district, however, a maximum of two-hundred ninety (290) acres of office-corporate headquarters are allowed in the Metro Air Park SPA.
6. Permitted subject to issuance of a Conditional Use Permit by the appropriate authority; however, a maximum of 69 net acres of Industrial and Manufacturing uses shall be permitted in Districts 3B, 4, 5B, and 5C.
7. Permitted, however a maximum of sixty-nine (69) net acres of industrial and manufacturing uses shall be permitted in Districts 4, 5A, 5B and 5C.

Site Layout Guidelines**Minimum Lot Area:**

The minimum lot area for this district shall be fifteen-thousand (15,000) square feet.

Minimum Lot Width:

The minimum permitted lot width shall be one hundred feet (100').

Minimum Floor Elevations:

All structures must comply with the Sacramento County Water Agency Drainage Ordinance No. 1, as amended.

Building Setbacks:

The minimum front setback from the public street right-of-way shall be forty feet (40'). The minimum side and rear yard setbacks from the property line shall conform to the Commercial and Business and Professional standards set forth in Title III, Chapter 15, Article 5 of the Sacramento County Code. However, the minimum side yard shall not be less than ten feet (10'), and the minimum rear yard shall not be less than twenty-five feet (25').

Landscape Setbacks:

The minimum landscape setback to parking areas is twenty-five feet (25') for all yards where the zone is adjacent to residential, recreation or agricultural-residential; otherwise a rear or interior side yard setback is not required.

Maximum Building Height:

The maximum permitted building height shall be one hundred and seventy-three feet (173') above mean sea level, which is the maximum allowed by Federal Aviation Regulations (Part 77). Changes to FAA regulations may reduce this maximum height standard, but any such changes shall not increase the maximum height standard to more than one hundred and seventy-three feet (173') above mean sea level.

Fencing and Screening:

All utility elements, storage, truck and parking areas shall be screened from public view and rights-of-way. This can be accomplished through the use of berms, landscape materials, and walls or fences. In the case of screening utility structures, allow access from the one side that is the least visible from public rights-of-way.

Landscaping:

On-site landscaping will be provided in accordance with the landscape design guidelines as defined in this document herein.

Parking:

Parking requirements to meet the standards set forth in the Sacramento County Zoning Ordinance.

Open Space:

The open space and recreation corridor is located adjacent to this district and must be considered in the preparation of site plans. Each development shall be consistent with the concepts identified in the Recreation and Open Space section of this document.



District 5A:

Office/Hotel/Retail/Services Core

Approved and permitted land uses in District 5A, Office/Hotel/Retail/Services Core, are as follows:

A. Airport and Related Uses:

1. Newspaper-magazine stand.
2. Telegraph office.

B. Industrial and Manufacturing Uses:

1. Rubber and metal stamps, musical instruments, toys and novelties (*6).
2. Printing shops, lithography, publish.
3. Videotape-editing, processing.

C. Limited Retail Sales and Service Uses:

1. Personal Services:
 - (a) Barbershop (*2).
 - (b) Bathhouse - sauna, turkish, steam, spa and tanning (*2).
 - (c) Beauty shop (*2).
 - (d) Reducing-body building studio (*2).
 - (e) Shoe shine parlor (*2).
2. Eating, drinking, lodging:
 - (a) Bar-tavern (*2).
 - (b) Bakery, pastry shop (*2).
 - (c) Brew pub (no wholesale or off-sale of beer, wine or alcohol) (*2).
 - (d) Catering services (*2).
 - (e) Delicatessen (*2).
 - (f) Soda fountain-ice cream parlor (*2).
 - (g) Restaurant/coffee shop/cafeteria (*2).

3. Entertainment/Recreation Services:

- (a) Art gallery.
- (b) Art studio.
- (c) Coin-operated amusement machine (as defined in Zoning Code Section 1.30-43.5) incidental to a permitted use.
- (d) Public parks and ancillary uses.
- (e) Museum.
- (f) Physical fitness studio (*2).

4. Food, drug, liquor sales:

- (a) Bakery, pastry shop (*2).
- (b) Candy Store (*2).
- (c) Coin-operated dispenser.
- (d) Drug store - nonprescription drugs and sundries (*2).
- (e) Liquor store (*2).
- (f) Prescription pharmacy (*2).

5. General merchandise sales:

- (a) Book-record store (*2).
- (b) Curio-novelty shop (*2).
- (c) Electronic equipment store (*2).
- (d) Florist (*2).
- (e) Gift-card shop (*2).
- (f) Jewelry store-sales, repair (*2).
- (g) Newspaper-magazine stand.
- (h) Office machines and equipment sale and minor repair (*2).

D. Office and Professional Uses:

1. Insurance office (*5).
2. Federal and state buildings, facilities and grounds.
3. Travel service, ticket offices (*5).
4. Drafting service (*5).

E. Parking Facilities:

Ground level and/or underground parking facilities. Multilevel facilities are subject to the conditions set forth in Zoning Code Sections 225-11 and 225-14.

*** Specific Ratio Requirements:**

2. Permitted use in this district, however, a maximum of fifteen (15) acres of retail sales and service uses are allowed in the Metro Air Park SPA.
5. Permitted use in this district, however, a maximum of two-hundred ninety (290) acres of office-corporate headquarters are allowed in the Metro Air Park SPA.
6. Permitted subject to issuance of a Conditional Use Permit by the appropriate authority; however, a maximum of 69 net acres of Industrial and Manufacturing uses shall be permitted in Districts 3B, 4, 5B, and 5C.



Site Layout Guidelines

Minimum Lot Area:

The minimum lot area for this district shall be ten thousand (10,000) square feet.

Minimum Lot Width:

The minimum permitted lot width shall be sixty feet (60').

Minimum Floor Elevations:

All structures must comply with the Sacramento County Water Agency Drainage Ordinance No.1, as amended.

Building Setbacks:

The minimum front, side and rear yard setbacks from the property line shall conform to BP Zone standards set forth in Title III, Chapter 15, Article 5 of the Sacramento County Zoning Code. However, the minimum front and side street setbacks shall not be less than twenty-five feet (25'), the rear yard shall not be less than twenty-five feet (25'), and the interior side yard shall not be less than twenty feet (20').

Landscape Setbacks:

The minimum landscape setback to parking areas is twenty-five feet (25') for all yards where the zone is adjacent to residential, recreation or agricultural-residential; otherwise a rear or interior side yard setback is not required.

Maximum Building Height:

The maximum permitted building height shall be one hundred and seventy-three feet (173') above mean sea level, which is the maximum allowed by Federal Aviation Regulations (Part 77). Changes to FAA regulations may reduce this maximum height standard, but any such changes shall not increase the maximum height standard to more than one hundred and seventy-three feet (173') above mean sea level.

Fencing and Screening:

All utility elements, storage, truck and parking areas shall be screened from public view and rights-of-way. This can be accomplished through the use of berms, live landscape materials, and walls or fences. In the case of screening utility structures, allow access from the one side that is the least visible from public rights-of-way.

Landscaping:

On-site landscaping will be provided in accordance with the landscape design guidelines as defined in this document herein.

Parking:

Parking requirements to meet the standards set forth in the Sacramento County Zoning Ordinance.

Open Space:

The open space and recreation corridor is located adjacent to this district and must be considered in the preparation of site plans. Each development shall be consistent with the concepts identified in the Recreation and Open Space section of this document.



District 5B:

Office/Hotel/Retail/Services North

Approved and permitted land uses in District 5B, Office/Hotel/Retail/Services North, are as follows:

A. Airport and Related Uses:

1. Newspaper-magazine stand.
2. Telegraph office.

B. Industrial and Manufacturing Uses:

1. Machinery shop uses:
Blacksmith shop; cabinet or carpenter shops; electric motor rebuilding; machine shops; sheet metal shops; welding shops; plumbing shops; manufacturing, compounding, assembly, or treatment of articles or merchandise from previously prepared metals (*6).
2. Electric or neon sign manufacture (*6).
3. Manufacturing, compounding, assembly or treatment of articles or merchandise from the previously prepared materials:
Bone, canvas, cellophane, cloth, cork feathers, felt, fiber, fur, hair, horn, glass, leather, paper (no milling), precious/semiprecious stone or metals, plaster, plastic, shells, textiles, tobacco, wood, yarns.
4. Rubber and metal stamps, musical instruments, toys and novelties (*6).
5. Assembly of small electrical and electronic equipment (*6).
6. Assembly of plastic items from finished plastic (*6).
7. Rubber fabrication or products made from finished rubber (*6).

8. Photographic chemical processing and wholesale distribution (*6).
9. Manufacturing, compounding or processing of such products as:
Bakery goods, candy, dairy products, other food products (excluding fish, meat, sauerkraut, wine, yeast, & rendering of fats and oils), perfume, toiletries, cosmetics, drugs (*6).
10. Wholesaling and warehousing (*7).
11. Storage building - mini (*7).
12. Moving and storage (*7).
13. General storage (*7).
14. Videotape-Editing, Processing.
15. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

C. Automotive Uses:

1. Auto wholesaler, office only
(no on-site storage of vehicles).

D. Limited Retail Sales and Service Uses:

1. Personal services:
 - (a) Barbershop (*2).
 - (b) Bathhouse - sauna, turkish, steam, spa and tanning (*2).
 - (c) Beauty shop (*2).
 - (d) Child care center.
 - (e) Reducing-body building studio (*2).
 - (f) Shoe shine parlor (*2).
2. Eating/drinking/lodging:
 - (a) Bar-tavern (*2).
 - (b) Brew pub (no wholesale or off-sale of beer, wine or alcohol) (*2).
 - (c) Delicatessen (*2).

- (d) Hotels without convention facilities (*4).
- (e) Restaurant, coffee shop, cafeteria (*2).
- (f) Retail use less than five-hundred (500) square feet, auxiliary to hotel use.
- (g) Motels (*4).
3. Entertainment/recreation services:
 - (a) Coin-operated amusement machine (as defined in Zoning Code Section 130-43.5) incidental to a permitted use.
 - (b) Public parks and ancillary uses.
 - (c) Museum.
 - (d) Physical fitness studio (*2).
4. Food, drug, liquor sales:
 - (a) Coin-operated dispenser.
5. General merchandise sales:
 - (a) Curio-novelty shop (*2).
 - (b) Electronic equipment store (*2).
 - (c) Newspaper-magazine stand.
 - (d) Office machines and equipment sale and minor repair (*2).

E. Office and Professional Uses:

1. Accountants, bookkeepers office (*5).
2. Bank, savings and loan, finance, loan, credit office (*5).
3. Building trades contractors office (*5).
4. Business or professional office (*5).
5. Collection, counseling, personal office (*5).
6. Corporate office (*5).
7. Insurance office (*5).
8. Interior decorator office (*5).
9. Public relations or advertising office (*5).
10. Real estate office (*5).



11. Federal and state buildings, facilities and grounds.
12. Airline administration office (*5).
13. Travel service, ticket offices (*5).
14. Blueprinting-photostating services.
15. Drafting service (*5).
16. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

F. High Tech Research and Development Uses:

1. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

G. Parking Facilities:

Ground level and/or underground parking facilities. Multilevel facilities are subject to the conditions set forth in Zoning Code Sections 225-11 and 225-14.

*** Specific Ratio Requirements:**

2. Permitted use in this district, however, a maximum of fifteen (15) acres of retail sales and service uses are allowed in the Metro Air Park SPA.
4. Permitted use in this district, however, a maximum of five (5) acres of hotels without convention facilities are allowed in the Metro Air Park SPA.
5. Permitted use in this district, however, a maximum of two-hundred ninety (290) acres of office-corporate headquarters are allowed in the Metro Air Park SPA.
6. Permitted subject to issuance of a Conditional Use Permit by the appropriate authority; however, a maximum of 69 net acres of Industrial and Manufacturing uses

shall be permitted in Districts 3B, 4, 5A, 5B, and 5C.

7. Permitted, however a maximum of sixty-nine (69) net acres of industrial and manufacturing uses shall be permitted in Districts 4, 5A, 5B and 5C.

Site Layout Guidelines

Minimum Lot Area:

The minimum lot area for this district shall be fifteen-thousand (15,000) square feet.

Minimum Lot Width:

The minimum permitted lot width shall be one hundred feet (100').

Minimum Floor Elevations:

All structures must comply with the Sacramento County Water Agency Drainage Ordinance No.1, as amended.

Building Setbacks:

The minimum front, side and rear yard setbacks from the public street right-of-way shall conform to BP Zone standards set forth in Title III, Chapter 15, Article 5 of the Sacramento County Zoning Code.

Landscape Setbacks:

The minimum landscape setback to parking areas for front yards is (25'), for side yards is (25') and rear yards is (25') where the zone and the boundary line of any adjacent residential, interim residential, interim estate, recreation, agricultural/residential, or interim ag-res zone, otherwise a rear or interior side yard is not required.

Maximum Building Height:

The maximum permitted building height shall be one hundred and seventy-three feet (173')

above mean sea level, which is the maximum allowed by Federal Aviation Regulations (Part 77). Changes to FAA regulations may reduce this maximum height standard, but any such changes shall not increase the maximum height standard to more than one hundred and seventy-three feet (173') above mean sea level.

Fencing and Screening:

All utility elements, storage, truck and parking areas shall be screened from public view and rights-of-way. This can be accomplished through the use of berms, live landscape materials, and walls or fences. In the case of screening utility structures, allow access from the one side that is the least visible from public rights-of-way.

Landscaping:

On-site landscaping will be provided in accordance with the landscape design guidelines as defined in this document herein.

Parking:

Parking requirements to meet the standards set forth in the Sacramento County Zoning Ordinance.

Open Space:

The open space and recreation corridor is located adjacent to this district and must be considered in the preparation of site plans. Each development shall be consistent with the concepts identified in the Recreation and Open Space section of this document.



District 5C:

Office/Hotel/Retail/Services Periphery

Approved and permitted land uses in District 5C, Office/Hotel/Retail/Services Periphery, are as follows:

A. Airport and Related Uses:

1. Newspaper-magazine stand.
2. Telegraph office.

B. Industrial and Manufacturing Uses:

1. Machinery shop uses:
Blacksmith shop; cabinet or carpenter shops; electric motor rebuilding; machine shops; sheet metal shops; welding shops; plumbing shops; manufacturing, compounding, assembly, or treatment of articles or merchandise from previously prepared metals (*6).
2. Electric or neon sign manufacture (*6).
3. Manufacturing, compounding, assembly or treatment of articles or merchandise from the previously prepared materials:
Bone, canvas, cellophane, cloth, cork feathers, felt, fiber, fur, hair, horn, glass, leather, paper (no milling), precious/semiprecious stone or metals, plaster, plastic, shells, textiles, tobacco, wood, yarns.
4. Rubber and metal stamps, musical instruments, toys and novelties (*6).
5. Assembly of small electrical and electronic equipment (*6).
6. Assembly of plastic items from finished plastic (*6).
7. Rubber fabrication or products made from finished rubber (*6).
8. Photographic chemical processing and wholesale distribution (*6)

9. Manufacturing, compounding or processing of such products as:
Bakery goods, candy, dairy products, other food products (excluding fish, meat, sauerkraut, wine, yeast, & rendering of fats and oils), perfume, toiletries, cosmetics, drugs (*6).
10. Wholesaling and warehousing (*7).
11. Storage building - mini (*7).
12. Moving and storage (*7).
13. General storage (*7).
14. Videotape-Editing, Processing.
15. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

C. Automotive Uses:

1. Auto wholesaler, office only (no on-site storage of vehicles).
2. Auto service station, primary (*1).
3. Auto service station, secondary (*1).
4. Auto wash self-service or automatic (*1).

D. Limited Retail Sales and Service Uses:

1. Personal services:
 - (a) Barbershop (*2).
 - (b) Bathhouse - sauna, turkish, steam, spa and tanning (*2).
 - (c) Beauty shop (*2).
 - (d) Child care center.
 - (e) Reducing-body building studio (*2).
 - (f) Shoe shine parlor (*2).
2. Eating/drinking/lodging:
 - (a) Bar-tavern (*2).
 - (b) Brew pub (no wholesale or off-sale of beer, wine or alcohol) (*2).

- (c) Catering services (*2).
 - (d) Delicatessen (*2).
 - (e) Drive-in cafe (*2).
 - (f) Hotels with convention facilities (*3).
 - (g) Hotels without convention facilities (*4).
 - (h) Restaurant/coffee shop/cafeteria (*2).
 - (i) Retail use less than five-hundred (500) square feet, auxiliary to hotel use.
 - (j) Motels (*4).
3. Entertainment/recreation services:
 - (a) Coin-operated amusement machine (as defined in Zoning Code Section 130-43.5) incidental to a permitted use.
 - (b) Public parks and ancillary uses.
 - (c) Museum.
 - (d) Physical fitness studio (*2).
 4. Food, drug, liquor sales:
 - (a) Coin-operated dispenser.
 5. General Merchandise Sales:
 - (a) Curio-novelty shop (*2).
 - (b) Electronic equipment store (*2).
 - (c) Newspaper-magazine stand.
 - (d) Office machines and equipment sale and minor repair (*2).

E. Office and Professional Uses:

1. Accountants, bookkeepers office (*5).
2. Bank, savings and loan, finance, loan, credit office (*5).
3. Building trades contractors office (*5).
4. Business or professional office (*5).
5. Collection, counseling, personal office (*5).
6. Corporate office (*5).
7. Insurance office (*5).



8. Interior decorator office (*5).
9. Medical or dental office (*5).
10. Public relations or advertising office (*5).
11. Real estate office (*5).
12. Federal and state buildings, facilities.
13. Airline administration office (*5).
14. Travel service, ticket offices (*5).
15. Blueprinting-photostating services.
16. Drafting service (*5).
17. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

F. High Tech Research and Development Uses:

1. Coffee shop, snack bar, delicatessen, cafeteria when located as one tenant in a building and not occupying more than 15% of the total floor area.

G. Parking Facilities:

Ground level and/or underground parking facilities. Multilevel facilities are subject to the conditions set forth in Zoning Code Sections 225-11 and 225-14.

*** Specific Ratio Requirements:**

1. Permitted use in this district, however, a maximum of ten (10) acres of auto related uses are allowed in the Metro Air Park SPA.
2. Permitted use in this district, however, a maximum of fifteen (15) acres of retail sales and service uses are allowed in the Metro Air Park SPA.
3. Permitted use in this district, however, a maximum of twenty (20) acres of hotels with convention facilities are allowed in the Metro Air Park SPA.

4. Permitted use in this district, however, a maximum of five (5) acres of hotels without convention facilities are allowed in the Metro Air Park SPA.
5. Permitted use in this district, however, a maximum of two-hundred ninety (290) acres of office-corporate headquarters are allowed in the Metro Air Park SPA.
6. Permitted subject to issuance of a Conditional Use Permit by the appropriate authority; however, a maximum of sixty-nine (69) net acres of Industrial and Manufacturing uses shall be permitted in Districts 3B, 4, 5A, 5B, and 5C.
7. Permitted, however a maximum of sixty-nine (69) net acres of industrial and manufacturing uses shall be permitted in Districts 4, 5A, 5B and 5C.

Site Layout Guidelines

Minimum Lot Area:

The minimum lot area for this district shall be fifteen-thousand (15,000) square feet.

Minimum Lot Width:

The minimum permitted lot width shall be one-hundred feet (100').

Minimum Floor Elevations:

All structures must comply with the Sacramento County Water Agency Drainage Ordinance No.1, as amended.

Building Setbacks:

The minimum front, side and rear yard setbacks from the property line shall conform to BP Zone standards set forth in Title III, Chapter 15, Article 5 of the Sacramento County Zoning Code.

Landscape Setbacks:

The minimum landscape setback to parking areas is twenty-five feet (25') for all yards where the zone is adjacent to residential, recreation or agricultural-residential; otherwise a rear or interior side yard setback is not required.

Maximum Building Height:

The maximum permitted building height shall be one hundred and seventy-three feet (173') above mean sea level, which is the maximum allowed by Federal Aviation Regulations (Part 77). Changes to FAA regulations may reduce this maximum height standard, but any such changes shall not increase the maximum height standard to more than one hundred and seventy-three feet (173') above mean sea level.

Fencing and Screening:

All utility elements, storage, truck and parking areas shall be screened from public view and rights-of-way. This can be accomplished through the use of berms, live landscape materials, and walls or fences. In the case of screening utility structures, allow access from the one side that is the least visible from public rights-of-way.

Landscaping:

On-site landscaping will be provided in accordance with the landscape design guidelines as defined in this document herein.



Parking:

Parking requirements to meet the standards set forth in the Sacramento County Zoning Ordinance.

Open Space:

The open space and recreation corridor is located adjacent to this district and must be considered in the preparation of site plans. Each development shall be consistent with the concepts identified in the Recreation and Open Space section of this document.

Light Rail Station/Plaza:

To the extent feasible it is encouraged that the site plan and building(s) proposed on the parcel(s) (potentially at the southwest corner of Meister Way and Metro Parkway), adjacent to the future Light Rail Station/Plaza be designed to encourage pedestrian mobility throughout the Station/Plaza. In an effort to create a unique transit station, building(s) surrounding the Station/Plaza should be designed to “frame” the Station / Plaza and create an architectural edge to the Station/Plaza.



District 6:***Recreation and Open Space*****Intent**

The Recreation and Open Space District provides an environmental corridor through the entire development and is intended to:

- Enhance the environmental quality of the developed areas by providing adjacent open space and recreational opportunities for employees and visitors.
- Provide a buffer between different land use areas.
- Allow storm drainage facilities to be integrated into a natural or improved open space setting that stretches from one end of Metro Air Park to the other.

Approved and permitted land uses in District 6, Recreation and Open Space are as follows:

A. Limited Retail Sales and Service Uses:

1. Entertainment, recreation services:
 - (a) Public parks and ancillary uses.
 - (b) Golf course and ancillary uses including clubhouse complex.
2. Food, drug, liquor sales:
 - (a) Coin-operated dispensers.

B. Parking Facilities:

Ground level and/or underground parking facilities. Multilevel facilities are subject to the conditions set forth in Zoning Code Sections 225-11 and 225-14.

Site Layout Guidelines**Vegetation:**

The Recreation and Open Space District shall incorporate a mix of native and ornamental plants. The plant pallets included in this document include vegetation well studied for the Central Valley environment.

Drainage:

The storm drainage system within the Recreation and Open Space District is designed to appear as a natural amenity and is integrated into the design of the golf course. Low level flows provide wetlands habitat for wildlife as well as hazards to create a challenging golf course.

Site Connections:

Appropriate building orientation and pedestrian connections to the Recreation and Open Space District are strongly encouraged on all parcels adjacent to this amenity. A system of trails and walkways will meander through this open space corridor.

Open space elements located on adjacent parcels such as plazas and fountains, arcades, outdoor eating areas or recreation areas shall be designed to link with recreation and open space corridor.

Fencing and Screening:

All utility elements, storage, truck and parking areas shall be screened from public view and rights-of-way. This can be accomplished through the use of berms, live landscape materials, and walls or fences. In the case of screening utility structures, allow access from the one side that is the least visible from public rights-of-way.

Landscaping:

On-site landscaping will be provided in accordance with the landscape design guidelines as defined in this document.

Parking:

Parking shall be provided in conformance with standards set forth in the Sacramento County Zoning Ordinance.

Open Space:

The open space and recreation corridor is located adjacent to this district and must be considered in the preparation of site plans. Each development shall be consistent with the concepts identified in the Recreation and Open Space section of this document.



C. General Site Development Standards

The following General site Development Standards are applicable to all development within each of the Land Use Districts.

1. Off-Street Parking

Description:

All uses and buildings within Metro Air Park will provide adequate on-site parking. Off-street parking areas shall be in conformance with the provisions for off street parking, Sections 330-01 to 330-100 of the Sacramento County Zoning Code.

Guidelines:

Parking areas adjacent to streets shall be screened with a combination of solid evergreen shrubs and berms.

Planting "islands" or "tree wells" are required in large parking areas to allow tree planting to provide shade.

Planting islands a minimum of four feet in width shall at a minimum be installed at the ends of all parking rows. These islands shall be planted with trees and low growing, drought-resistant groundcover or shrubs. Trees shall provide at least 50% shade at noon when fully mature. Refer to recommended plant list in the Appendix for parking lot shade trees.

All parking spaces should be clearly outlined on the surface of the parking facility with painted white lines or stone, brick, textured or smooth concrete banding.

Under no circumstance is on-street parking allowed on: Elkhorn Boulevard, Metro Air Parkway, or New Road Drive.

All handicap accessible stalls shall be indicated with the proper identification markings and signage.

The project planning commission may approve a reduction in off-street parking as part of the TSM measures intended to achieve a peak period commute rate of 1.5 persons per vehicle set forth in an adopted TSM plan as required by Section 505-39 of this ordinance.

2. Noise Attenuation

Description:

Special consideration shall be given to noise attenuation due to Metro Air Park's location in relation to the Sacramento Metro Airport and runway facilities. During the construction documentation of a building, specifically for office, commercial, research and development uses, the project applicant shall submit to the Department of Environmental Review and Assessment (DERA) at the County of Sacramento, plans identifying design measures which will reduce interior noise levels for office areas and areas where the public will be received. The interior noise level of these buildings shall be a maximum of 45 decibels. It is highly recommended that the decibel level be lower than the maximum allowed.

Guidelines:

All noise attenuation measures shall utilize approved industrial standards and pose no harmful effects to the surrounding environment and building occupants.

3. Building Exteriors

Description:

Architecture is one of the strongest elements in defining a sense of place. Careful consideration will be given by the Design Review Committee to assure a high quality design.

Guidelines:

Windows on structures shall line up with adjacent windows to create design consistency and express human scale.

The use of architectural elements such as recessed entries and windows, columns and walls shall be balanced to create visually interesting structures.

Windows facing south and west shall be recessed or incorporate shade structures and/or shading from trees. In the case where shade structures are to be added, it is recommended that all windows incorporate the same element in context with the architectural design of the building.

Building entrances shall be architecturally apparent, visible from the street, and accessible from parking lots.

Balconies or terraces on second story buildings are encouraged to add visual interest and create environments conducive to a variety of uses.

All sides of a building shall receive the same level of detail and architectural enrichment. Loading or distributing areas may provide less detail if effectively screened from public view.



Parapets on flat roofs shall be high enough to hide roof top equipment from pedestrian level.

Exterior materials for buildings should reflect and expand on the character of Sacramento and reflect a contemporary image.

Simple corrugated tin or metal buildings are not recommended in Metro Air Park. Such a structure may be allowed only where the industrial use would call for this building type. Additional screening measures may be required by the Metro Air Park Design Review Committee.

4. Outside Storage and Service Areas

Guidelines:

Outside storage of materials, merchandise, products, parts or equipment, other than company vehicles, shall not be permitted unless screened from public roadway view.

All permitted storage structures and service areas shall be screened from public roadways.

No storage areas shall be allowed within any landscape or open space easement or within front yard setback areas.

A combination of solid fencing and plant materials shall be used as a screening technique.

All loading activity, including turn around and maneuvering, shall be designed to occur on the site. Loading areas shall be located and/or screened in such a manner as to not be visible from any public street. Screening materials along Power Line Road are not required to include walls or solid fencing.

5. Fences and Walls

Guidelines:

Fences and walls are strongly discouraged in highly visible areas next to public right-of-ways, but may be allowed under extenuating circumstances where the need exists to utilize a wall or fence for security. When utilized, walls should be viewed as an extension of the architecture.

Along public rights-of-way and open space corridors, no solid walls or fences are to be used.

- a. All fences and walls designed shall be screened with landscaping and berms.
- b. Fences and walls should not exceed six feet (6') in height.
- c. All walls are to be structurally engineered and insured.
- d. The use of chain link fencing is prohibited.

Unightly areas such as truck service areas, storage areas and loading areas shall be screened from public rights-of-way and open space corridors.

Fencing and walls adjacent to streets shall not be located any closer to the street than the minimum building setback line.

6. Safety

Guidelines:

A 24 hour private security service will monitor and provide police service to the Metro Air Park development. Included with this service, each tenant shall be provided with the name, phone number and on-site address of the security firm providing the safety service.

A dialogue with the Sheriff's Department Crime Prevention Unit shall be established by the tenant's architect/designer and security service to ensure the implementation of appropriate crime prevention construction and design.

One acre of land shall be provided on site to accommodate a city designed fire protection facility.

7. Floor Area Ratios

Maximum floor area ratios, by use type:

- a. Manufacturing – 0.30
- b. Distribution – 0.43
- c. High Tech/R&D – 0.30
- d. Airport Related – 0.26
- e. Office – 0.36
- f. Retail Commercial – 0.24
- g. Automotive Related – 0.24
- h. Single Tenant/Corp. HQ – 0.48
- i. Hotel – 35 rooms per acre
- j. Motel – 30 rooms per acre



IV. SIGNAGE

Consistent application of sign criteria will be utilized in Metro Air Park. The guidelines below establish a hierarchy of criteria to regulate and control the size, location, type and quality of signage. The intent of these guidelines is to inform, direct visitors, accommodate public safety and orchestrate circulation through the plan area.

A. General Guidelines

1. All signs will be maintained in good condition, including the display surface. Signage shall be legible, kept clean and free of graffiti and/or other disfigurement.
2. Only wall mounted or monument signs allowed. Pole or pylon signs to identify buildings or tenants are prohibited.
3. All signage shall be designed free of bracing, angle-iron, guy wire, cables and/or similar devices.
4. Signage shall be of professional quality, utilizing materials, finishes, and accent elements that match adjacent architectural and site design.
5. Structures that accommodate several tenants shall utilize a single monument sign that identifies the overall project name and individual tenants.
6. Color palettes for signage shall match and accent other graphics, signs and themes in the area to achieve project consistency.
7. The height and width of all signs shall be measured from the highest and widest point of the sign and the area of signs shall be calculated from the height and width of the sign surface.

A simple font style such as Helvetica Medium shall be used for all signs in public rights-of-way to contribute towards a well coordinated project appearance.
8. All signs shall conform to these standards or be removed.

B. Metro Air Park Project Monument Signs

The guidelines below shall regulate the location, development and maintenance of permanent monument signage within Metro Air Park. The hierarchy of signs are as follows:

1. Entrances

- a. Monument signs will identify the Metro Air Park at its five primary entrances.
- b. The dimension of the signage wall shall be a maximum of twenty-six feet (26') in height.
- c. The dimension of the signage text shall be less than twenty-four inches (24") in height.

- d. The gateway/entrance signage shall be limited to the identification of "Metro Air Park" only.
- e. Accent lighting shall be concealed behind the text or located flush with grade to provide uplighting.
- f. Vegetation used in these areas shall be developed in a hierarchy and planted in groupings to make strong highlighting statements that will serve as a backdrop and accent the monumentation signage.

2. Major Intersections

- a. The dimension of the signage wall shall be a maximum of twenty-six feet (26') in height.
- b. The dimension of the signage text shall be less than twenty-four inches (24") in height.
- c. Sign will be symmetrically placed on each corner of the intersection except where the corner is located off-site.
- d. The material used for these signage elements shall match adjacent corners in color, style and character of adjacent structures.



- f. Accent lighting shall be concealed behind the text or located flush with grade to be used as signage uplighting.
- g. Vegetation used in these areas shall be developed in a hierarchy and planted in groupings to make strong highlighting statements that will serve as a backdrop and accent the monumentation signage.

C. Driveway Monument Address Signs

1. Single Tenant

- a. Signs in this section will provide street addressing for buildings at major street driveway entries.
- b. The signage dimensions shall be a maximum of four feet (4') in height by six feet (6') in width. Sign depth is to be one foot (1').
- c. The maximum area of the signage face shall be 12 square feet (s.f.).
- d. The font shall be a maximum of six inches (6") in height and shall indicate the street address number and tenant.
- e. Accent lighting shall be concealed behind the text or located flush with grade to be used as signage uplighting.
- f. For individual parcels or a group of parcels with one user, one sign is required at the major entry(s) for each street. The signage shall be positioned perpendicular to but located outside the street right-of-way in the landscape

easement area. Signage shall be located outside the sight line requirements as per the County of Sacramento standards and placed to the right of the exit lane.

2. Multi-Tenant

- a. For multi-tenant office and retail buildings one sign is required at the major entry(s) on each street. The signage shall be positioned perpendicular to but located outside the street right-of-way in the landscape easement area. Signage shall be located outside the sight line requirements as per the County of Sacramento standards and placed to the right of the exit lane. Signage shall be setback a minimum of ten feet (10') from the back of walk.
- b. The signage dimensions shall be a maximum of six feet (6') in height and six feet (6') in width. The depth of the monument sign is limited to one foot (1').
- c. The maximum signage face shall be twenty square feet (20 s.f.).
- d. The signage itself shall consist of the overall name of the project with a font height of eight inches (8"). The individual tenant sign fonts and the street address shall be four inches (4") in height.

- e. The font type shall be Helvetica Medium or similar font consistent with the Metro Air Park theme.
- f. Accent lighting shall be concealed behind the text or located flush with the finish grade to be used as signage uplighting.
- g. Vegetation used in these areas shall be developed in a hierarchy and planted in groupings to make strong highlighting statements that accent the multi-use building monument signage.

D. On-Site Directional Signs

- 1. This type of signage element shall be used to provide on site directional information. It shall not be used for any type of advertising.
- 2. The maximum sign face shall be four square feet (4 s.f.). The signage dimensions shall be a maximum of four feet (4') in height and three feet (3') in width. The depth is limited to one foot (1').
- 3. The font type shall be Helvetica Medium or similar font consistent with the Metro Air Park theme.
- 4. Lighting, if desired, shall be flush with finish grade and be used as signage uplighting.



E. Major or Single Tenant Building Signs

1. These signage guidelines apply to single tenant buildings with office, hotel, research and development, light manufacturing uses or buildings dominated by one tenant.
2. The major tenant within a building shall be identified on the building wall. Corporate logos may be incorporated within this identification as part of the sign.
3. The location of the signage shall be 2 feet (2') below the building cornice or top of parapet.
4. One building sign is allowed for each street frontage up to a total of two signs.
5. The building identification and logo are to be twelve inches (12") in height for a one story building, adding an additional four inches (4") in height to the text for each additional story. A maximum height of three feet (3') is allowed for the signage.
6. Illuminated or back lit letters and logo are encouraged for major buildings signs.
7. An additional sign may be allowed at the front of the building at street level only when a major multi-tenant building is to be identified.

F. Multi-Tenant Building Signs

1. These signage guidelines apply to multi-tenant commercial, retail R&D, light manufacturing and distribution developments.
2. Signage shall be located perpendicular to building entries and below the roof line. A dimension of twelve inches (12") in height by four feet (4') in length may be used.
3. One sign per tenant shall be allowed. An additional sign may be located on a building front in the case of tenant facing multiple streets.

G. Building Address Signs

1. This type of signage shall identify individual buildings on a parcel of land.
2. Signage and materials for the building address sign shall match and be incorporated into the architecture.
3. The dimension of the font signage shall be four inches (4") in height.
4. The font type shall be Helvetica Medium or similar font.
5. Accent lighting shall be concealed beyond the text and/or logo.
6. An address may follow a company name on the automobile direction signage.
7. Address signage shall be approved by Fire and Sheriff Departments.



V. LIGHTING

A. Purpose and Intent

The design of lighting along public rights-of-way within Metro Air Park shall serve as a unifying element in the architectural theme of the community as well as provide safety for site users.

The development of a hierarchy in lighting standards will play an important role in defining the character of Metro Air Park.

B. General Guidelines

1. Throughout the development white lighting is recommended. No bright colored, blinking or flashing lights will be allowed.
2. Lighting elements shall accent and highlight the area's architecture, pedestrian areas and hardscape.
3. If painting light fixtures is desired, to accent or carry the architectural theme, one uniform color shall be used throughout the entire Metro Air Park Project area.
4. Lighting shall conform to all applicable governing codes and illumination standards.
5. Design and placement of lighting shall minimize glare onto adjacent properties, buildings, rights-of-way and roadways.
6. If neon lighting is to be used in corporate signage design, it shall be limited to single illumination and/or incorporated in corporate graphics. Flashing neon and regular illuminating lights will not be allowed.
7. Concrete footings are required for light fixtures placed in planting areas and shall be constructed flush with the ground plane. For poles mounted in parking lots, footings/bases shall extend two feet (2') above a paved surface. Electrical utility and service connections shall be located below grade.
8. Light standards are limited to a height of thirty feet (30') maximum for roadways with an eighty-four foot (84') right-of-way or larger street, and twenty-five feet (25') for other pole mounted light fixtures. Sixteen (16') feet of clearance shall be provided over all public roadways.
9. Trees shall be selectively pruned around light sources to allow for nighttime security illumination. For additional tree pruning information refer to the Landscape Maintenance section of the design guidelines.
10. The lighting design shall provide a horizontal luminance on pavement of a minimum 0.8 footcandles with a maximum uniformity ratio of 6 to 1 for parking and pedestrian areas.
11. To highlight architectural features accent lighting shall be encouraged. Indirect or hidden light sources may be used to wash' walls. Overhead, down and interior lighting, from architectural sources, that spill into outdoor spaces shall be allowed. The accent light source shall be located flush with building architecture, screen above or located below grade.
12. Building entrances shall provide a minimum of 5.0 footcandles.
13. Holiday lighting may used for winter holiday display, starting in mid-November and shall be removed by mid-January.
14. To provide maximum safety for pedestrian and vehicular movement along travel ways, lighting shall meet the requirements of governing codes and standards. A concentration of light sources shall be focused on intersection, crosswalks, pedestrian travel ways and connections.
15. For all pedestrian travel ways the maximum height of light fixtures shall be twenty feet (20') with a minimum clearance of ten feet (10') provided above walkways.



C. Parking Lot Lighting

In many circumstances lighting fixtures, in these parking areas, will be hidden by vegetation. Light fixtures in these areas could employ a less detailed standard.

1. Specific area developments shall use lighting elements that complement the development or building theme.
2. For all parking areas the maximum height of light fixtures shall be twenty feet (20') with a minimum clearance often feet (10') provided above parking stalls and pedestrian connections.
3. Lighting bases/footings that accent adjacent architecture shall be used. To protect the lighting fixtures a twenty-four (24") inch base footing shall be used where a vertical curb does not separate the standard from parking areas.

D. Plaza Area Lighting

Plaza and open area lighting is important to allow safe, nighttime activity.

1. Plaza area lighting shall be predominately positioned downward and located to prevent excessive illumination onto adjacent buildings and properties.
2. Bases for pole mounted fixtures shall be flush with the ground plane.
3. All electrical services to the light fixtures shall be located under ground.
4. Services to wall mounted fixtures shall be located behind the fixture itself. No external electrical service connections shall be allowed.

Exhibit 5.1 Light Bollard



VI. STREETSAPES

Purpose

Streetscapes within Metro Air Park will serve as a unifying element, creating a coordinated project statement. The landscape pattern has been designed to reinforce the hierarchy of roads within the project, and accentuate key access points.

All landscape elements that are placed in these corridors shall follow the general landscape requirements set forth in this document and are to be maintained by the Metro Air Park Landscape and Lighting Assessment District.

A. General Landscape Requirements

All vegetation is to be watered by an automated irrigation system in conformance, at a minimum, with the Sacramento County standards and guidelines.

Refer to the General Landscape and Irrigation Design Guidelines for additional information and requirements.

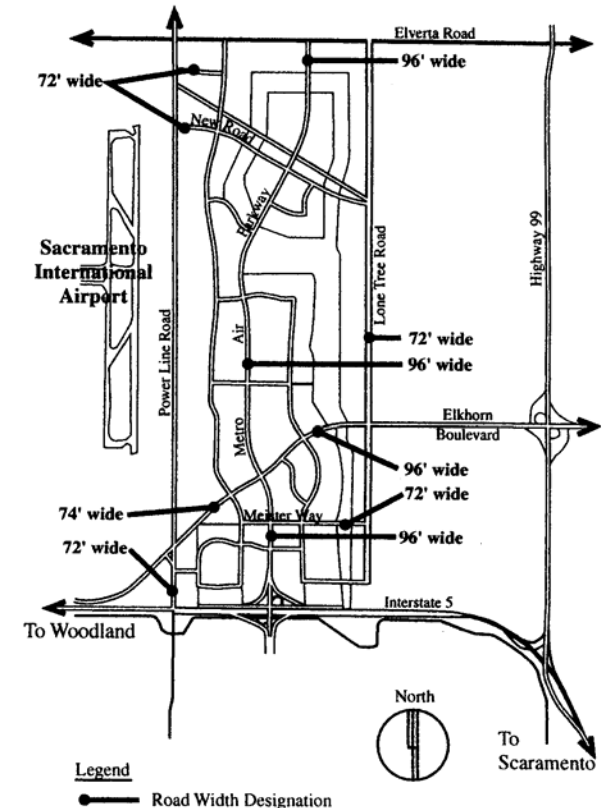
An integration of plantings between streetscapes and the interior of the developments is required.

Native California plantings shall be retained and/or integrated into the streetscape.

Grading and berming should be used in conjunction with plant materials to effectively screen parking, loading and storage areas.

Landscape materials shall be carefully placed at driveways to avoid obstructing sightlines.

Exhibit 6.1 Metro Air Park Road Widths



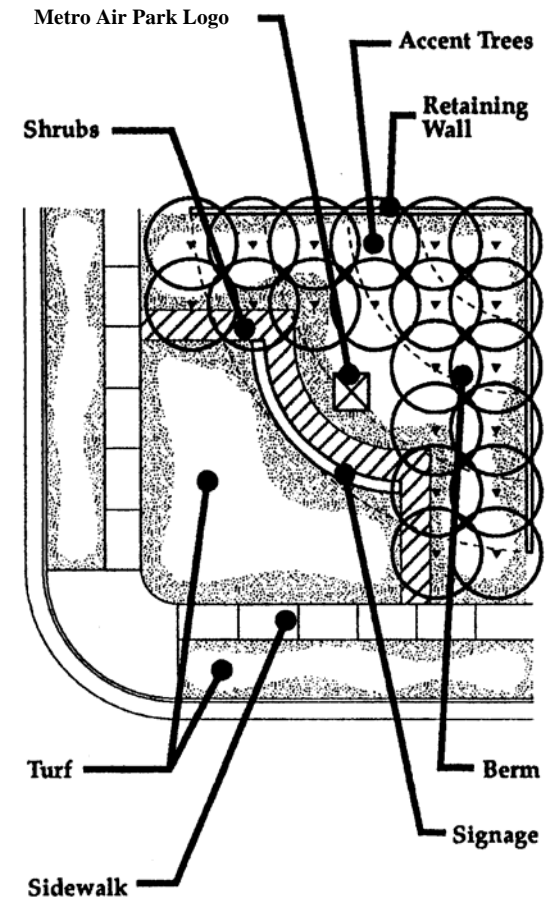
B. Metro Air Park Entrances

Five primary entrances or gateways have been identified for special treatment to enhance the sense of arrival into Metro Air Park. These gateways will have signage monuments that have coordinated landscape and hardscape elements to create a unifying, common theme for the plan area. A detailed design of the entry monument signs will be prepared with improvement plans during the first phase of construction. All five entries will receive a similar treatment to create an overall project marketing statement. The gateways are located at:

1. Interstate 5 and Metro Air Parkway.
2. Elkhorn Boulevard and Power Line Road.
(Signage located on the north side of Elkhorn Boulevard only.)
3. Lone Tree Road and Elkhorn Boulevard.
4. Elverta Road and Metro Air Parkway.
5. Meister Way and Lone Tree Road.
(Signage located on the north side of Elkhorn Boulevard only.)

Entries are to be designed utilizing the following criteria:

- The enhanced gateways shall make use of a layered combination of plant materials and seasonal color, flowering accent trees, and evergreen backgrounds. Refer to the appendix for plant selection information.
- Turf, groundcovers, annual and/or perennial shrubs used in these areas shall be planted in formal groupings to make a strong entrance statement. Planting shall be carefully located to avoid obscuring entry signage.
- Enhanced paving shall be used in gateway areas to highlight walk ways, crossings, and/or median extensions.
- Gateway monumentation shall incorporate vertical and horizontal elements that identify the entry into Metro Air Park. The location of each entry monument shall be placed outside of site line requirements as specified by the County of Sacramento.
- Monumentation shall include the project logo and name.



C. Major intersections

As part of the overall project marketing statement, the two key intersections along Metro Air Parkway internal to the Plan Area have been identified for special treatment. These intersections are located at Metro Air Parkway, Elkhorn Boulevard and New Road.

- The intersections shall make use of a layered combination of plant materials and/or seasonal color, strong evergreen characteristic and flowering accent features.

Turf, groundcover, annual and/or perennial shall be planted in formal groupings to accent intersection and gateway themes. Refer to the approved plant list in Appendix A.

- Enhanced paving shall be used in the intersection areas to accent walkways and/ or identify cross walks.
- The intersections are encouraged to incorporate the use of bollards or other light standards to allow night visibility of pedestrians.

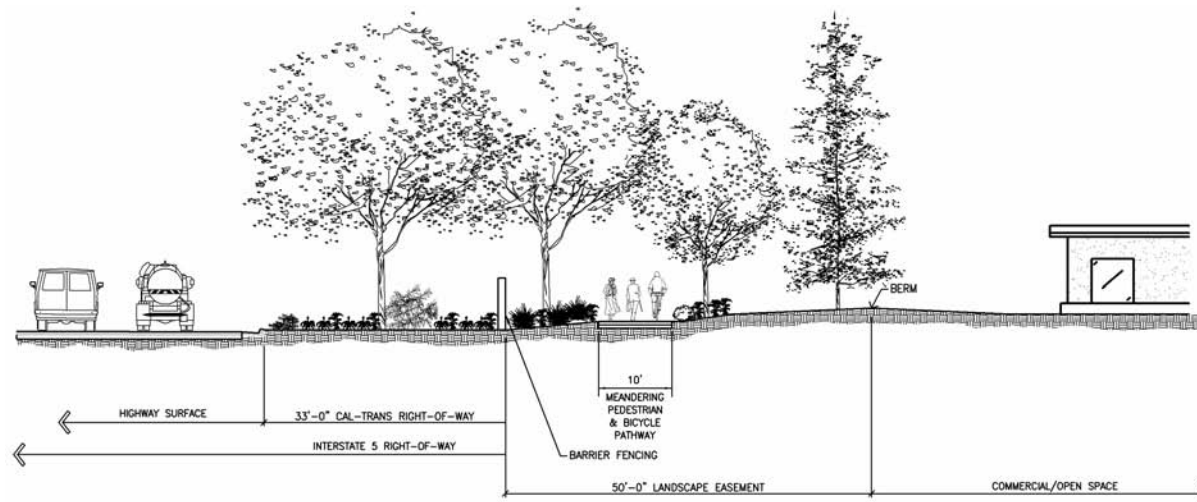
D. Freeway Edge

A fifty (50) foot landscape easement north of the Interstate 5 right-of-way has been created to provide a landscape buffer.

Landscaping is also proposed within the adjacent thirty-three (33) foot California Department of Transportation (Caltrans) right-of-way to create a landscape corridor over (80') wide.

Plantings proposed within the Interstate 5 Caltrans right-of-way must conform with the Caltrans guidelines for landscape improvements.

Within the fifty (50) foot landscape easement, a ten (10) foot wide meandering pedestrian/bicycle path will be developed.



FREEWAY FRONTAGE STREET SECTION

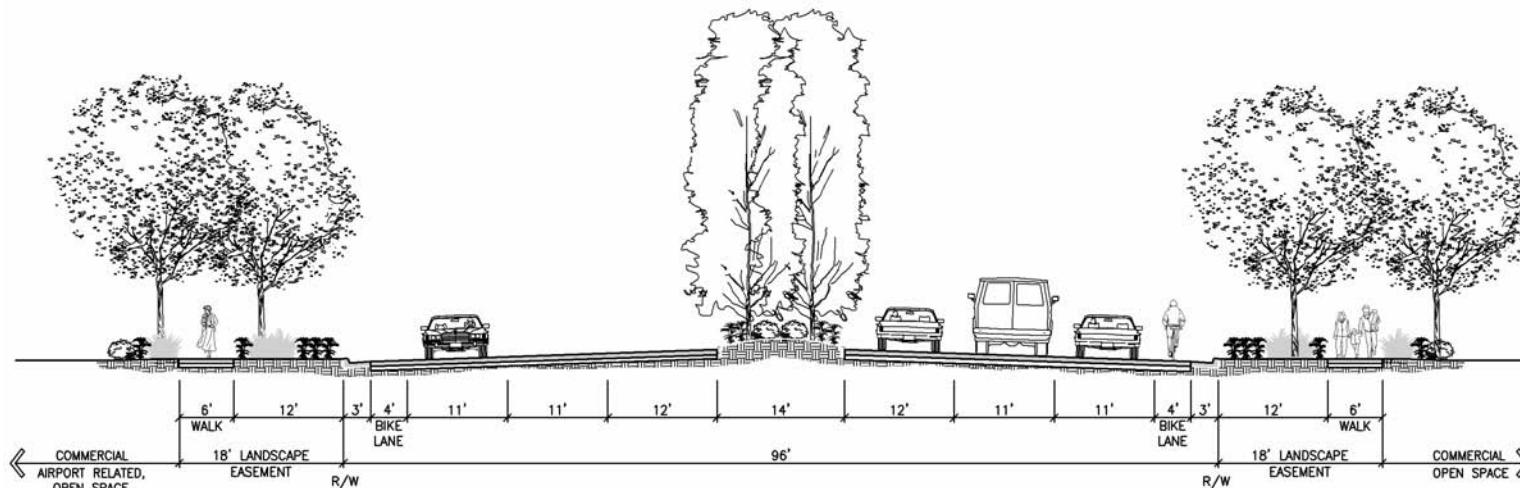
E. Metro Air Parkway

Metro Air Parkway provides a six lane divided thoroughfare from Elverta Road to Interstate 5 and when developed will provide a landscape element that will unify the project through the consistent use of trees and other plant materials. The road section as illustrated below provides a fourteen (14) foot wide landscape median, one twelve (12) foot lane and two eleven (11) foot lanes, a four (4) foot wide bike lane, three (3) foot wide curb and gutter, a twelve (12) foot landscape corridor and a six (6) foot wide walk adjacent to the landscape corridors on each side. The sidewalk shall be setback twelve (12) feet from the face of curb to allow planting, except at intersections and driveways.

The median shall be planted with accent trees, shrubs, and evergreen groundcovers. The landscape easement adjacent to the roadway shall be planted with a double row of large deciduous or evergreen shade trees spaced forty (40) feet on center. This tree spacing shall provide shade for pedestrians and identify this street as the primary thoroughfare for the site.

Shrub plantings shall make use of a layered combination of plant materials, and should be utilized to screen parking areas or headlights from the opposing traffic lanes.

Turf and groundcovers will be used in long continuous "drifts" along the roadway, avoiding a distinction between the public right-of-way and private parcels. The sidewalk will be used as a dividing line between plant materials.



**EXHIBIT - METRO AIR PARKWAY
ELKHORN BOULEVARD (METRO AIR PARKWAY TO SR99)**



F. Elkhorn Boulevard

Elkhorn Boulevard shall be widened to a maximum of four lanes, from Metro Air Parkway to Airport Boulevard and widened to six lanes from Metro Air Parkway to SR 99, including necessary improvements and signalization at the SR 99 interchange to accommodate project traffic. This roadway shall have a maximum fourteen (14) foot wide landscape median, one twelve (12) foot lane, two eleven (11) foot lanes, four (4) foot bike lane, three (3) foot curb and gutter, twelve (12) foot wide landscape area and a six (6) foot wide meandering walkway per travel direction (See Metro Air Parkway detail).

Shrub plantings shall make use of a layered combination of heights, accents, screening effects, deciduous and evergreen vegetation. Large shrub massings shall be planted throughout this corridor.

Groundcover shall be planted in large groupings and be of a hardy species. Turf shall be used only as an accenting element throughout this corridor and be of the type specified in the recommended plant list.

Meandering walks shall be located a minimum five (5) feet from the back of curb. Refer to the County of Sacramento, Department of Public Works Transportation Division, for meandering walk information.

**G. Elverta Road
Lone Tree Road
Meister Way (east of Metro Air Parkway)
New Road Drive*
Power Line Road**

This type of roadway shall have one twelve (12) foot turn lane, one twelve (12) foot and one eleven (11) foot traffic lane, four (4) foot bike lane, three (3) foot curb and gutter, eight (8) foot landscape easement and a six (6) foot wide meandering walkway per travel directions.

A single row of shade trees shall be planted on either side of the road. The tree planting shall identify this corridor as a secondary roadway and have incorporated into its plan consideration for industrial delivery truck heights.

Shrub plantings shall make use of a layered combination of heights and evergreen screening techniques. Large shrub massing shall be planted throughout this section of roadway.

Evergreen ground cover shall be planted in large massings and be of a hardy species. Turf shall be used only as an accenting element throughout this area and be of the type specified in the recommended plant list.

**New Road Drive shall be four (4) lanes from Power Line Road to Lone Tree Road.*

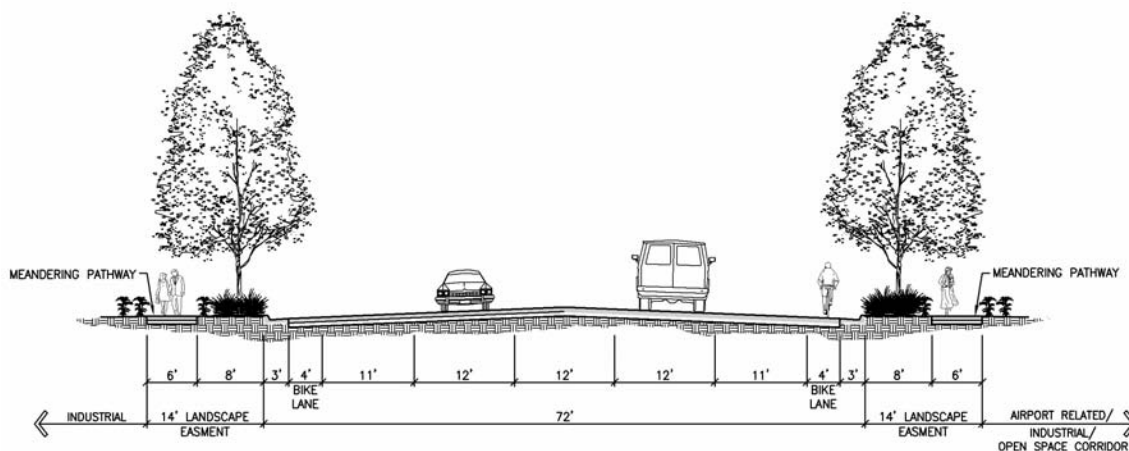


EXHIBIT - ELVERTA ROAD/LONE TREE ROAD/MEISTER WAY (EAST OF METRO AIR PARKWAY)/*NEW ROAD DRIVE/POWER LINE ROAD



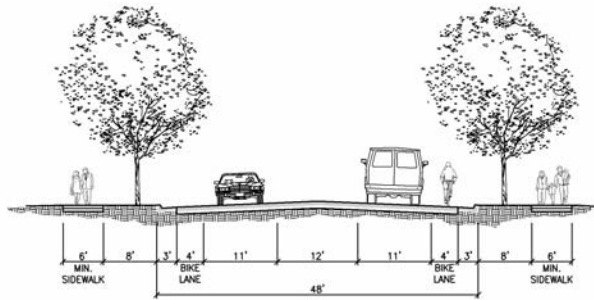


Exhibit - Collector Street

H. Collector Streets

Collector roadways will have one twelve (12) foot painted median or turn lane, and one eleven (11) foot lane, a four (4) foot wide bike lane, a three (3) foot curb and gutter, and a fourteen (14) foot wide landscape area with a six (6) foot wide meandering walk located within.

A single row of shade trees shall be planted forty (40) feet on center. The tree planting shall identify this street as a collector and have a strong relationship to the pedestrian. The sidewalk shall be setback a minimum of 5' feet from the face of curb.

I. Transportation Facilities

Metro Air Park was designed to accommodate light rail and bus service to the development. The light rail line is proposed to enter the site from Meister Way and proceed to Elkhorn Boulevard where it will follow this corridor in a southwestern direction. Bus stop facilities shall be located as development occurs. For additional information refer to the Regional Transit "Design Guidelines for Buses and Light Rail Facilities."

1. Bus Stop Design Guidelines

A bus stop is a curbside area specifically designated for passenger loading and unloading. It is commonly identified by a bus stop sign, a red curb marking, and where demand merits, benches or shelters. The different types of bus stops and specific considerations under which they are recommended are described below:

Farside Stops: Farside stops are located beyond street intersections. Farside stops shall be used whenever practical.

Mid-block Stops: Mid-block stops are located between roadway intersections. Mid-block stops must be accompanied by a pedestrian crosswalk.

Near-side Stops: Near-side stops are located immediately preceding street intersections. Near-side stops, while not recommended, may be considered where little distance exists between signalized intersections or where curb side parking is permitted.

Recommended bus stop placement is:

Recommended Spacing - 1/4 mile or 1320 feet apart maximum.

Urban Areas - 880 feet apart maximum.

Intensive land use areas such as Downtown Sacramento - 440 feet apart maximum.

Intermediate placement distances may be considered on a case-by-case basis depending on the density of the market area served.

Bus Stop Curbs: Curbs at bus stops shall be 6 inches high to facilitate passenger boarding and unloading. If the curb is too high, it will interfere with the operation of the wheelchair lift and front kneel feature of new buses.

Bus stop curbs will be painted red with signs positioned to clearly identify the area as "no parking" or "no stopping except for buses."

A striped, white 8-10 inch line will be used to indicate and separate the bus stop from adjacent traffic lanes. The pavement shall be stenciled "Bus Stop."

2. Light Rail Design Guidelines

The dimensions noted below represent the preferred minimums to accommodate light rail. The dimensions presume that future light rail systems will be double tracked

For Track Only: Preferred minimum clearance envelope - 40 feet wide (50 feet wide where no adjacent roadways exist) by 25 feet high.

For Truck and Station: Preferred minimum clearance envelope - 60 feet wide by 25 feet high.

In those situations where the preferred clearance envelope cannot be accommodated, reduced dimensions may be allowed on a case-by-case basis subject to review and approval by Regional Transit (RT).

The right-of-way width must encompass all necessary facilities.

For additional Light Rail design guideline information and requirements refer to "Design Guidelines for Bus and Light Rail Facilities." Available through Regional Transit, (916) 321-2800.

A major public art piece will be included within the Light Rail Station/Plaza.



J. Street Furniture

Purpose

Bollards, benches, trash receptacles, etc. shall be considered as hardscape elements. These hardscape elements should reflect the Metro Air Park campus setting and overall site characteristic of each core area. All material used for such hardscape elements shall accent and highlight each core's architecture.

Guidelines

1. The following materials are acceptable for use as hardscape elements:
 - Painted metal
 - Brick
 - Concrete
 - Wood
2. At street intersections, bollards are to be designed relative to that as described in the Metro Air Park Entrance section of the guidelines.
3. Benches should complement architectural, lighting and community themes throughout the Metro Air Park area developments.
4. Hardscape elements and details that are site specific shall relate to the theme and character of the developments.
5. A maximum of three (3) periodical and pick/up overnight delivery stands, vending and newspaper machines shall be allowed per community area.

This type of street furniture shall be kept in a constant state of aesthetic cleanliness and working function. The Metro Air Park Lighting and Assessment District or other appropriate maintenance entity shall notify the manufacturers in case vandalism and/or malfunctions of the device occur.

6. The location and proximity of spacing between this type of street furniture in Section "5" shall be a minimum of fifteen-hundred (1500') feet per each development core.
7. Seat walls shall be designed with materials that complement and accent architectural and core themes.
8. Drinking fountains shall be constructed of durable materials and finished with vandal-resistant products.
9. Picnic tables or elements on which persons will eat shall be constructed of durable materials that complement that area's architecture and core theme.
10. All street furniture, at a minimum, shall meet all applicable governing codes and standards regarding health, safety, welfare, and accessibility for the public. Also, street furniture shall be of vandal-proof resistance.
11. A list of all materials, plants, finishes, etc., and locations to obtain used/designed street furnishings shall be given to the Metro Air Park Lighting and Assessment District or other appropriate maintenance entity.
12. Public Art will enhance the Light Rail Station/Plaza as an integral component of its design.
13. Decorative pots shall accent the area's theme and complement adjacent street furnishings. All decorative pots when used in conjunction with vegetation shall be installed with an automatic irrigation system and have adequate drainage so as not to stain adjacent paving or furnishings.
14. Bus stops/shelters shall be designed using the overall Metro Air Park concept and made of durable materials providing shelter from rain, sun and wind. These shelters shall have seating and be visible inside to aid in public security. Refer to Light Rail and Bus Stop Facilities element within the site layout section of this document for more information.
15. Light rail stops/shelters shall be designed using the overall Metro Air Park concept and made of durable materials providing shelter from rain, sun and wind. These shelters shall have seating and be visible inside to aid in public security. Refer to Light Rail and Bus Stop Facilities element within the site layout section of this document for more information.



VII. GENERAL LANDSCAPE AND IRRIGATION DESIGN GUIDELINES

Purpose

Residential developments within Metro Air Park are allowed a degree of self-expression within the parameters of these guidelines; however, common elements should be highlighted to unify the project. Consistent use of plant materials and hardscape elements will strengthen the sense of community. The need for a coordinated appearance is most critical at public rights-of-way and less critical internal to a project.

A. General Requirements

1. Individual property owners will be required to construct their fair share of the streets and landscape easements as they develop their properties based on the streetscapes defined in this document.
2. Fifteen gallon container or equal shall be the minimum tree size allowed. Larger tree containers such as 24" and 36" box are recommended at key focal areas to more quickly provide an established appearance.
3. A root barrier shall be provided where trees are located five feet (5') from adjacent walls or paving.

4. Tree plantings shall not interfere with night illumination, site line visibility at driveways or intersections or be located within minimum clearance zones of service utilities.
5. Groundcover and shrubs planted adjacent to public right-of-ways and landscape easements shall blend with existing plantings and shall be used to screen parking courts, utility services, loading and unloading areas.
6. One gallon container or equal shall be the minimum shrub size allowed.
7. Landscape plans shall be submitted and prepared separately for private developments and those areas in the maintenance district.

B. Water Conservation

The Metro Air Park Association is committed to providing landscape design that exceeds ordinary standards and basic vegetation pallets. Construction and improvements that occur within the development shall implement water-conserving planting designs and shall be consistent with Sacramento County Code, Chapter 14.10, "Water Conserving Landscape Design Guidelines".

1. A maximum twenty (20%) of the total landscaping for an individual development shall be turf. A drought tolerant Fescue blend shall be used for turf planting. Activities that are part of recreational amenities shall be exempt from the twenty percent (20%) turf limitation.
2. To meet this turf percentage requirement the Landscape Architect shall calculate the square footage area of turf and divide that number by the total landscape area of the site. It is the responsibility of the Landscape Architect to accurately calculate and schedule the turf area. The contractor/ developer shall not be held responsible for making this determination.
3. The use of hydrozones where vegetation is grouped based on water requirements in an effort to reduce water use by designing separate irrigation systems, is strongly encouraged.
4. The selection of a plant pallet should take into consideration the use of California native plant material, drought-tolerance, and fire resistance.



C. Irrigation Design

Irrigation techniques that encourage water conservation are strongly encouraged.

1. A California Registered Landscape Architect and/or Certified Irrigation Designer shall design all irrigation systems within the development.
2. An automatically controlled underground irrigation system shall be used to irrigate all landscape areas.
3. The use of reclaimed water is strongly encouraged to irrigate landscape areas throughout the site if it is available. Materials used in a non-potable irrigation system must be appropriately labeled and color identified per local codes and requirements.
4. All above ground equipment shall be winterized, to prevent freezing, with insulation and/or enclosures. Anti-drain valves shall be provided at the lowest elevation in the irrigation system.
5. Landscape areas shall be individually valved in relation to each respective hydrozone. Hydrozones shall consider solar orientation exposure, slope and soil conditions and other constraints.
6. The installation of all backflow preventers shall meet all local applicable codes and standards. All back flow preventers shall be located in shrub areas and screened from public view.
7. All turf areas must be irrigated with pop-up spray or rotary impact heads. A minimum riser of six inches (6") shall be used for all spray and rotor heads. Sprinkler spacing shall insure head to head coverage.
8. Low precipitation spray heads and rotors are encouraged. Micro-irrigation equipment, moisture sensing devices and/or pressure regulating bubblers is recommended.
9. Irrigation shall be designed to prevent overspray onto adjacent walks, walls, pavement streets and other non-vegetated areas.
10. Pop-up spray heads and rotors shall be used. No fixed risers shall be installed adjacent to rights-of-ways.
11. Automatic controllers shall be capable of manual shut-off and include, at a minimum, a fourteen (14) day calendar and two independent programs.
12. For each of the four seasons, watering schedules shall be submitted with the landscape documents. Run times, days of operation and duration of irrigation for each valve shall be developed. Optimum run times shall be developed by the Metro Air Park Design Review Committee.
13. Irrigation systems within public right of ways shall operate independently from private projects.

D. Recreation and Open Space Requirements

A recreation and open space corridor has been designated within the Metro Air Park to create a multi-use corridor that allows for a system of interconnecting buffers and green areas. Off-street pedestrian routes will provide connections between uses.

Plazas and courtyards are encouraged along this corridor on private parcels to emphasize and take advantage of the open space orientation of this project.



The recreation corridor north of Elkhorn Boulevard contains recreational trails and an 18-hole golf course. To create a challenging and interesting course and to accent the greens within the golf course, ponds, lakes and lagoons shall be developed in coordination with the storm drainage system. An informal design character is encouraged with naturalistic groves of trees and shrubs complimenting water treatments or providing dense vegetation to screen land uses. For a list of approved plant materials refer to Appendix A-Plant List.

The golf course clubhouse is located within the recreational corridor, south of the northern commercial "island" and on the east side of the Metro Air Parkway. The first nine holes of the course will have a double fairway and the second nine holes will be designed as a "looping" single fairway course.

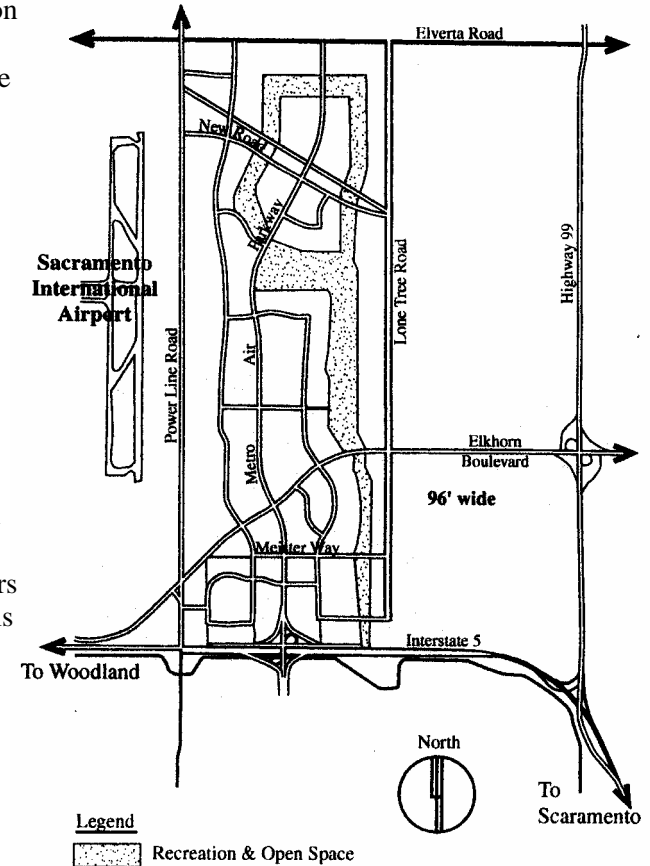
The corridor south of Elkhorn Boulevard will provide natural open space, incorporating recreation trails and wetland areas.

Landscaping along the open space/recreation corridors will be designed and installed to create a cohesive and uniform background for key architectural elements such as the clubhouse or hotels.

Transition to Open Space

Private parcels shall provide landscaping in coordination with the open space and recreation corridor creating a transition that allows the open space corridor to visually extend from the open space into privately developed areas. Utilizing the same or similar plant materials will blur the distinction between the corridor and private parcels. The office component of industrial buildings, key entries or pedestrian areas such as lunch rooms or plazas shall be designed to connect with the open space corridor and provide trail linkages. The open space corridor will provide a system of recreational trails that aid in pedestrian circulation and lessen the reliance of the automobile within the Metro Air Park site. These corridor extensions will meander to and through adjacent entrances and use zones, creating a "campus-like" setting. Such corridors are to be located within the developable parcels and not the golf course in an effort to avoid incompatible situations which may arise between pedestrians and golf balls.

Exhibit 7.1 Open Space Graphic



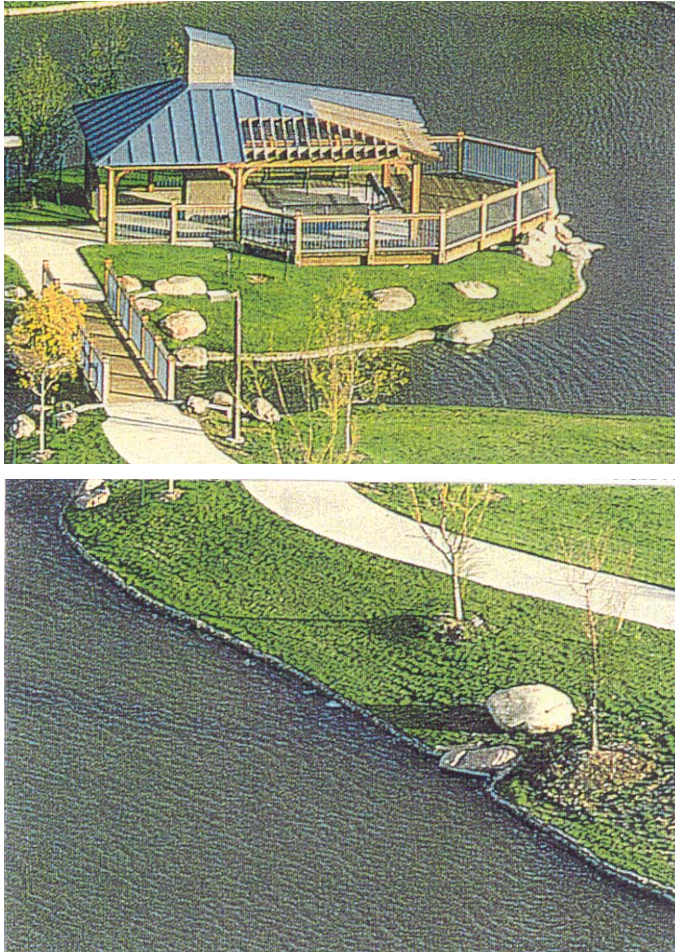


Exhibit 7.2—Bicycle Lanes and Pedestrian Pathways

Bicycle Lanes and Pedestrian Pathways

In addition to the bicycle lanes provided in the streets throughout Metro Air Park and the pedestrian walkways located adjacent to streets, a system of trails are also to be provided through the recreation and open space corridor. Trails or pathways may be used by either pedestrians or bicyclists within the corridor. Golf carts may be provided with a separate system within the golf course to avoid the hazards or errant golf balls hitting pedestrians. Trails will be sized and designed to accommodate a multi-use function. Creating separate but parallel trails in immediate proximity to each other (within thirty (30) feet) that would result in the unnecessary duplication of trails shall be avoided.

An eight (8) foot bike/pedestrian trail with a two (2) foot D.G. decomposed granite shoulder on each side of the pavement shall be provided through the recreation and open space corridor.

VIII. LANDSCAPE MAINTENANCE

A. Summary

Creation of a Metro Air Park Landscape and Lighting Assessment District or some other mechanism to the satisfaction of the Administrator of the Public Works Agency to provide for the long-term maintenance of all landscape areas along public right-of-ways and open space corridors shall be formed prior to the issuance of the first building permit. To ensure long-term success and overall attractive appearance of landscapes on private developments within Metro Air Park, owners are required to perform regular maintenance in conformance with these standards. Proper horticultural and irrigation practices should be used with care and regularity. All maintenance shall be performed by experienced landscape maintenance professionals who are familiar with the specific requirements and growth habitats of plant materials in the area.

B. General Guidelines

1. Plant materials shall be maintained in a healthy growth condition and kept in a neat, attractive appearance through the year.
2. Irrigation systems, monumentation and hardscape elements shall maintain the original integrity of the design and installation.

3. Plant establishment periods, under the installation contract and in project specifications, are required for all landscape installations to be a minimum of ninety (90) days.

C. Regularly Performed Maintenance

1. Turf Requirements:

- a. Mowing and edging of all turf areas should be accomplished every seven (7) days during the growing season and on an as needed basis during the cooler part of the year. All clippings shall be disposed of in a legal manner.
- b. Edging should be accomplished by mechanical means only.
- c. Lawn areas should be irrigated according to water schedules developed by a California Registered Landscape Architect and/or Certified Irrigation Designer.
- d. Lawn areas should be fertilized regularly according to recommendations from the soil analysis turf need requirements.
- e. To improve the absorption of water and fertilization, lawn areas shall be aerated on a semiannual basis.

2. Annual Bed Maintenance:

- a. Annual color beds shall be replanted a minimum of four times per year with seasonally available varieties.
- b. Soil in annual bed planting areas shall be thoroughly prepared prior to each planting, including the addition of fertilizers. Shredded bark mulch or similar amendments shall be incorporated to improve soil conditions on a regular basis.
- c. Water should be applied on an as needed basis, in accordance with the irrigation guidelines outlined in this document.

3. Groundcover Maintenance:

- a. Groundcovers shall be maintained to create an attractive, uniform ground plane.
- b. Weeds shall be controlled by means of pre-emergent herbicides as well as experienced hand labor. Weeds shall be removed on an as needed basis from groundcover areas.



4. Tree Maintenance

- a. Lower branches shall be tipped or pinched to retain as much foliage as possible and to promote strong trunk growth. Lower branches shall be removed only if they possess a danger to public safety. The branches are to be cut flush with the trunk, only when the tree is able to stand without the aid of stakes or guys and as previously described.
- b. Evergreen trees shall be thinned and shaped as necessary to prevent hazardous situations, and to minimize wind and storm drainage. Primary pruning shall be accomplished during the tree's dormant season or when a significant fire hazard arises.
- c. Tree staking ties shall be inspected and adjusted annually for ringing, strangulation or excess rubbing of the tree. Acceptable tree staking methods are illustrated in the details section found in this document.
- d. Tree stakes shall be removed when the tree has the ability to stand upright on its own.
- e. All trees in turf areas shall have a thirty-six inch (36") circle of unplanted, mulched soil maintained at their bases at all times to encourage tree vigor and to minimize damage by trimmers, mowers and other equipment..

5. Pruning

- a. Trees and shrubs shall be pruned to maintain a natural appearance by selecting permanent scaffold branches or by following the designer's intent.
- b. The pruning of trees and shrubs shall be performed to meet the following goals:
 - Maintaining the natural form and habitat of each particular plant. Do not pollard, topiary or hedge into abstract configurations.
 - Remove diseased or unsound branching structures on all trees at the time found or reported to landscape maintenance.
 - At a minimum, provide 8'-0" clearance above all sidewalks. Provide a 10'-0" clearance above parking lot areas, loading and unloading areas at building entrances interior access drives. Provide a 16'-0" clearance above all primary vehicular travelways, delivery/pick-up areas. Postpone pruning in this manner until the size and the structure of the tree warrant it.
 - All pruning shall be performed using the "International Society of Agriculture (ISA) Pruning Standards".



6. *Plant Material Removal and Replacement*

- a. Remove and replace plant material as per Chapter 1, Article 5, Sections 301-70 to 301-75 of the Sacramento County Zoning Code.

7. *Diseases, Pests and Weeds*

- a. Diseases, pests and weeds should be controlled by regular inspection.
- b. All tree basins, planting areas, turf areas, sidewalks, curbing and paving should be kept free of weeds. Avoid frequent cultivation which may harm shallow roots and break the seal of pre-emergent herbicides. Mulch can be added to planters as a method to help control weeds.
- c. Pests and diseases should be eradicated or eliminated only by the use of approved lawful methods. These shall be defined as those methods, approved by the federal government's Environmental Protection Agency, the State of California, and the County of Sacramento.
- d. All chemical controls should be applied by a licensed pest control applicator.

8. *Trash and Debris Removal:*

- a. Trash should be removed from all landscape areas on an as needed basis, and when other regular maintenance is performed. Debris shall be disposed of in a lawful manner.



Appendix A—Plant List

Recommended Plant List

TREES EVERGREEN	Foreground	Background	Accent	Street Median	Street	Parking Lot Shading	Entry Highlight	Intersection Highlight	Fire Retardant	Drought Tolerant	Riparian Corridor
Cedrus deodara		●			●						
Ceratonia siliqua/Carob		●			●	●					
Cinnamomum camphora		●			●	●					
Cupressocyparis leylandii/Leyland Cypress		●									
Eriobotrya deflexa		●	●					●	●	●	
Laurus nobilis		●	●		●			●			
Ligustrum lucidum	●										
Magnolia grandiflora		●			●						
Photinia fraseri	●										
Picea pungens “Glauca”	●							●			
Pinus halepensis			●							●	
Pinus nigra			●			●	●			●	
Pyrus kawakamii		●	●		●		●				
Quercus agrifolia			●							●	
Rhus lancea					●						
Sequois sempervirens			●		●	●		●			



TREES DECIDUOUS	Foreground	Background	Accent	Street Median	Street	Parking Lot Shading	Entry Highlight	Intersection Highlight	Fire Retardant	Drought Tolerant	Riparian Corridor
Aesculus californica	●									●	
Alnus cordata	●					●					●
Betula jacquemontii	●		●				●				
Celtis australis	●				●	●					
Cercis occidentalis	●		●					●			
Fraxinus oxycarpa 'Raywood'	●				●	●					
Fraxinus uhdei	●			●	●	●					
Gleditsia triacanthos 'Inermis'	●				●	●			●		
Lagerstroemia indica	●		●				●		●		
Liquidambar styraciflua	●				●		●				
Liriodendron tulipifera	●				●	●		●			
Malus 'radiant'	●		●				●		●		
Pistacia chinensis	●				●	●					
Platanus racemosa	●				●	●					
Prunus serrulata 'Kwanzan'				●				●	●		
Pyrus calleryana 'Aristocrat'	●		●		●		●				
Sapium sebiferum	●				●	●					



	Foreground	Background	Accent	Street Median	Street	Parking Lot Shading	Entry Highlight	Intersection Highlight	Fire Retardant	Drought Tolerant	Riparian Corridor
TREES DECIDUOUS											
Tilia cordata 'Greenspire'	●			●	●	●					
Quercus coccinea	●				●						
Quercus douglasii	●				●						
Quercus lobata	●				●						●
Quercus rubra	●				●						
SHRUBS											
Abelia 'Edward Goucher'		●		●							
Aesculus californica										●	●
Agapanthus 'spp'	●		●		●			●			
Arbutus unedo 'Compacta'	●			●	●			●			
Arctostaphylos 'Dr. Hurd'		●									
Arctostaphylos 'spp'						●			●	●	
Ceanothus 'Concha'		●								●	
Ceanothus 'Julia Phelps'		●								●	
Cephalanthus occidentalis											●
Cercis occidentalis		●							●		
Cistus salviifolius									●		
Cotoneaster 'spp'		●	●								



Appendix

SHRUBS	Foreground	Background	Accent	Street Median	Street	Parking Lot Shading	Entry Highlight	Intersection Highlight	Fire Retardant	Drought Tolerant	Riparian Corridor
Cornus stolonifera											●
Dietes vegeta	●		●	●	●			●			
Escallonia 'spp'	●				●			●			
Grevillea 'noellii'	●				●						
Heteromeles arbutifolia		●			●					●	
Photinia 'spp'		●			●			●			
Pittosporum 'spp'		●			●			●			
Prunus laurocerasus 'Otto Luyken'		●		●							
Rhamnus californica										●	
Rhaphiolepis 'spp'	●				●			●			
Ribes viburnifolium		●								●	
Rubus 'spp'											●
Santolina virens	●				●					●	
GROUNDCOVER											
Acacia redolens	●										
Agapanthus 'spp'	●		●		●			●	●		
Annuals	●		●		●			●	●		
Arctostaphylos 'Emerald Carpet'	●			●	●					●	



GROUNDCOVER	Foreground	Background	Accent	Street Median	Street	Parking Lot Shading	Entry Highlight	Intersection Highlight	Fire Retardant	Drought Tolerant	Riparian Corridor
Arctostaphylos ‘spp’	●				●					●	
Baccharis pilularis ‘Twin Peaks’	●							●	●	●	
Baccharis douglasii										●	
Gazania ‘spp’	●		●		●			●		●	
Helianthemum	●				●						
Hypericum calycinum	●			●	●						
Myoporum parvifolium	●			●							
Nandina domestica ‘Harbour Dwarf’	●				●						
Rubus ‘spp’											●
Symphoricarpos ‘spp’											●
Trachelospermum jasminoides	●		●		●						
Turf	●				●						
VINES											
Ficus pumila/Creeping fig		●	●		●						
Campsis radicans/Trumpet vine		●	●		●						
Parthenocissus tricuspidata/Boston ivy		●	●		●						
Aristolochia californica											●

