

Disclosure and Information: Conceptual Business Park Drawings

The Sellers have developed a substantial set of architectural and engineering drawings for a proposed multi-unit commercial development. The following is a small selection from the full set (site plan, landscape plan, survey, and utility plan). ****We will provide the full set of developed drawings to qualified buyers upon request and with seller approval.**** The completed design and engineering work includes:

- **Site/Civil** (utilities, grading and drainage, detention pond, paving, and fire apparatus access)
 - **MEP** (plumbing, electrical, and mechanical)
 - **Geotechnical study** including two on-site borings
- **Architectural plans** for the buildings (excluding structural slab design)

The drawing sets have **NOT** been submitted for permitting, and no groundwork has been completed. If this design is pursued, it will be subject to review and approval by the City of Seguin. **The minor plat was approved by the city of seguin in February 2025 and is valid for two years.** The Sellers have also secured a “Reservation of Capacity” with Springhill Water Supply Corporation for 20 service units, which expires in December 2029.

Disclaimer: All drawings, studies, approvals, and related materials are provided for informational purposes only. Buyer shall be solely responsible for verifying the completeness, accuracy, and suitability of all plans, reports, and approvals for Buyer's intended use. Buyer must obtain all required reviews, approvals, permits, and authorizations from the City of Seguin and any other applicable governmental or utility authorities. Sellers make no representation or warranty that the existing materials will satisfy permitting requirements or regulatory standards.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

SET TOP OF ROOT BALL AT LEAST 25-50 MM (1-2 IN.) ABOVE GRADE (OR HIGHER IN SLOWLY DRAINING SOILS)

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL

F PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 200 MM (8 IN.) INTO PLANTING HOLE.

PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOL.

REMOVE ALL TWINE, ROPE AND WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

DO NOT COVER THE TOP OF THE ROOT BALL WITH SOL.

1800 x 40 MM (72IN. x 1-1/2IN) HARDWOOD STAKES OR OTHER APPROVED STAKE MATERIAL

GALVANIZED WIRE OR CABLE TWIST WIRE TO TIGHTEN.

13 MM (1/2 IN.) DIAM. PLASTIC HOSE

PLANT HEIGHT SHALL BE MEASURED FROM FINISHED GRADE TO THE UPPER MAIN BODY OF THE PLANT

SHRUBS PLANTED IN GROUPS SHALL BE SET IN CONTINUOUS BEDS AS SHOWN ON PLAN

PLANTING METHOD ILLUSTRATED SHALL APPLY EQUALLY TO BARE-ROOT STOCK & BALLED & BURLAP STOCK

SET SHRUBS 50 MM (2") HIGHER THAN SURROUNDING GRADE TO ALLOW FOR SETTLEMENT

DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

SCARFY & IRRIGATE INSIDE OF SHRUB PLANTING PIT PRIOR TO PLANTING

EXCAVATE & PREPARE PLANTING BED TO 450 MM (18") DEEP OR AS SPECIFIED

PRUNE DAMAGED OR OBJECTIONABLE BRANCHES IN SUCH A MANNER AS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH SHRUB TRUNK.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

SPECIFIED SOIL MIXTURE FIRMLY COMPAKTED TO ELIMINATE AIR POCKETS AND PREVENT SETTLEMENT

REMOVE NURSERY POT PRIOR TO PLANTING (IF APPLICABLE)

COMPACTED SUBGRADE

PLANT HEIGHT MEASUREMENT

300 MM (12")

SHRUB PLANTING DETAIL

TYPICAL INSTALLATION

ANT SCHEDULE: _____

1) LIVE OAK 4" CAL. (13)

MONTERREY OAK 2.5" CAL. (18)

LIVE OAK 2.5" CAL. (14)

CRAPE MYRTLE 15 GAL. (8)

TEXAS SAGE 5 GAL. (28)

MEXICAN BUSH SAGE 5 GAL. (26)

RED YUCCA 5 GAL. (13)

SOTOL (BLUE) 5 GAL. (25)

MEXICAN FEATHER GRASS 1 GAL. (70)

BICOLOR IRIS 1 GAL. (52)

LANTANA 1 GAL. (NEW GOLD, WHITE, PURPLE) (42)

IRRIGATION:

ALL LANDSCAPE SHALL BE MAINTAINED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TO INCLUDE: MULTIPLE START TIMES, DAYS, RUN TIMES RAIN FREEZE SENSOR, BACK FLOW DEVICE INSTALLED BY A LICENSED IRRIGATOR

PROJECT AREA	REQUIRED	PROVIDED
TOTAL APPLICABLE AREA		157,182 SF
LANDSCAPE AREA REQUIREMENT 10 PERCENT	15,718 SF	27,155 SF
MINIMUM SHRUB REQUIRED 5 GAL. SIZE	79	92
MINIMUM TREES REQUIRED	40	55
BUFFER TREES REQUIRED (RESIDENCE)	13	13
TREES PROVIDED INCLUDE THE FOLLOWING:		
IN. REQUIREMENT, ADJACENT LOT BUFFERS		
ND STREET BUFFERS TOTALING 55 TREES.		
IGHT TREES PROVIDED ARE ORNAMENTAL TREES		
WITHIN THE ELECTRICAL ROW		

LANDSCAPE NOTES:
ALL TREES PLANTED IN SOD AREAS REQUIRE A 3' MULCH RING
(HARDWOOD MULCH)
PLANER BEDS REQUIRE 3" MULCH, RIVER ROCK, GRANITE.
PLANTER BEDS REQUIRE STEEL EDGING SEPARATING SOD
BERMUDA 419 SOD IS TO BE USED
ANY DISTURBED AREAS IN ROW MUST BE SODDED
OR HYDROSEEDED FOR RE-ESTABLISHMENT
CONTRACTOR IS RESPONSIBLE FOR LOCATING
ALL UNDERGROUND UTILITIES
SOD AREAS ARE TO RECEIVE 4" OF TOP SOIL
PLANTER BEDS ARE TO RECEIVE A PLANTING
SOIL MIXED IN WITH NATIVE SOIL FOR HEALTHY GROWTH
MULCH (HARDWOOD)
EDGING (STEEL 4')

This architectural landscape plan illustrates the layout of a building complex and its surrounding grounds. The plan includes six buildings (BLDG 1 through BLDG 6) and various landscape features. Key elements include:

- Buildings:**
 - BLDG 1: 6500 SF, with 150 SF of GRANITE MULCH.
 - BLDG 2: 8000 SF, with 165 SF of GRANITE MULCH.
 - BLDG 3: 8000 SF, with 285 SF of GRANITE MULCH.
 - BLDG 4: 6770 SF, with 310 SF of GRANITE MULCH.
 - BLDG 5: 6450 SF, with 300 SF of GRANITE MULCH.
 - BLDG 6: 6850 SF, with 90 SF of GRANITE MULCH.
- Landscaping:**
 - GRANITE MULCH areas: 150 SF (BLDG 1), 165 SF (BLDG 2), 285 SF (BLDG 3), 310 SF (BLDG 4), 300 SF (BLDG 5), and 90 SF (BLDG 6).
 - EDGING types: 250' EDGING, 300' EDGING, 620' EDGING, 665' EDGING, and 280' EDGING.
 - WASHED LIMESTONE 3/4" and 4' RIVER ROCK TREE RING EA. are used for paths and borders.
 - PLANTING areas are indicated by dashed lines and symbols.
- Orientation:** The plan includes 'OE' (Orientation East) markers and a north arrow.
- Surroundings:** STATE HIGHWAY 46 is shown to the south, and B AND B ROAD is to the west.

DIAMONDBACK LANDSCAPING
294 HIDDEN FARMS DRIVE
SAN MARCOS, TX. 78666
512-392-3808

LANDSCAPE

SEGUIN INDUSTRIAL

FM 46

E		SEGUIN, TX.
1:30		PROJECT
N BY		
TLJ		
EDED BY		SHEET M
6/3/24		
OF PRINT		



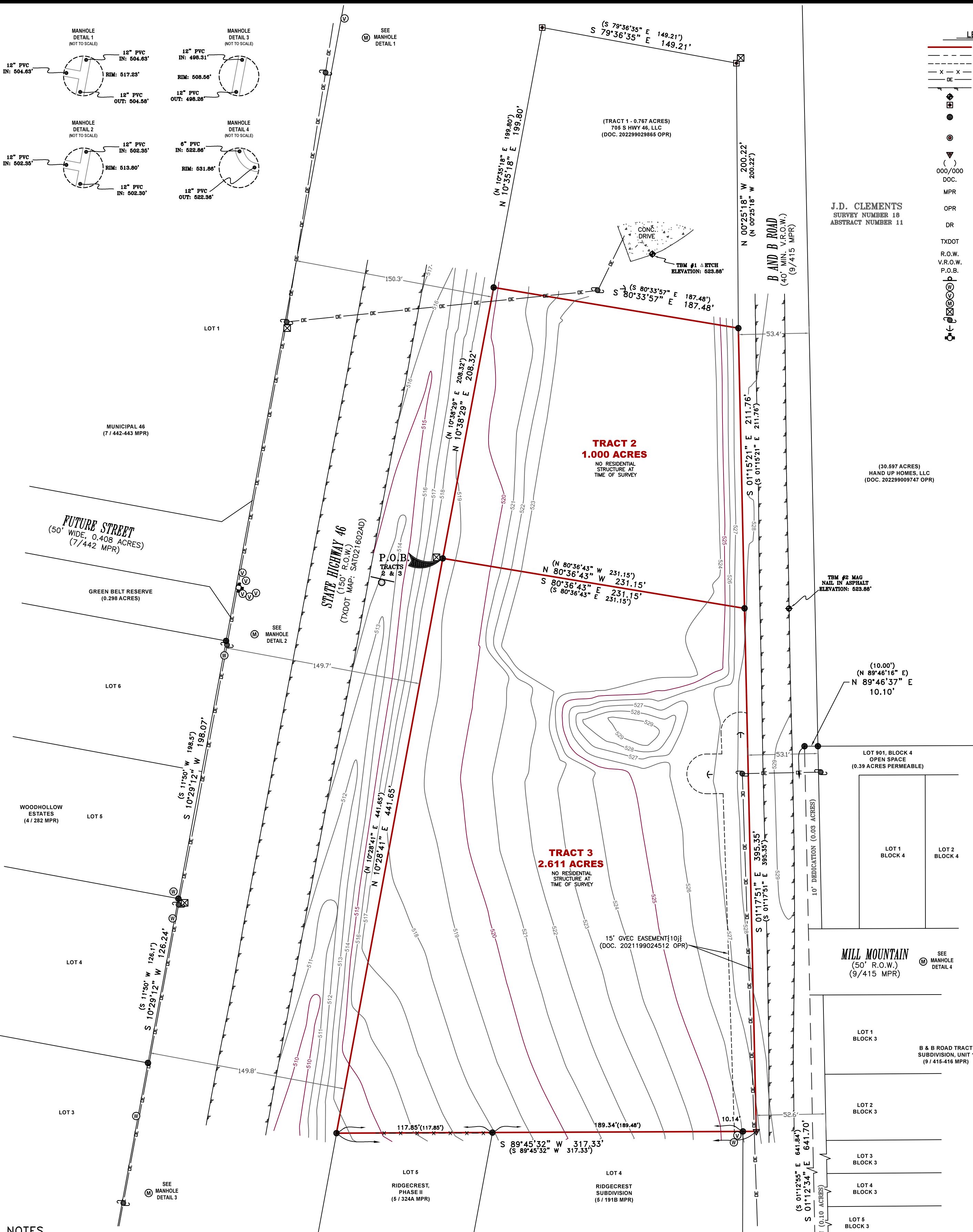
TBPELS FIRM No. 10194244
18410 US Hwy 281 N, Suite 109
San Antonio, TX 78259
(210) 369-9509

BUYER/OWNER: 705 S HWY 46, LLC
ADDRESS: 705 STATE HIGHWAY 46
CITY, STATE, ZIP: SEGUIN, TEXAS 78155

TOPOGRAPHIC LAND SURVEY

TRACT 2 - BEING A 1,000 ACRE TRACT OF LAND, SITUATED IN THE J.D. CLEMENTS SURVEY NUMBER 18, ABSTRACT NUMBER 11, IN GUADALUPE COUNTY, TEXAS, CALLED TRACT II, 1,000 ACRE IN A GENERAL WARRANTY DEED TO 705 S HWY 46, LLC OF RECORD IN DOCUMENT NUMBER 202299029865 OF THE OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS.

TRACT 3 - BEING A 2,611 ACRE TRACT OF LAND, SITUATED IN THE J.D. CLEMENTS SURVEY NUMBER 18, ABSTRACT NUMBER 11, IN GUADALUPE COUNTY, TEXAS, CALLED TRACT III, 2,611 ACRES IN A GENERAL WARRANTY DEED TO 705 S HWY 46, LLC OF RECORD IN DOCUMENT NUMBER 202299029865 OF THE OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS.



CORY BLAKE SILVA
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6500

ACCORDING TO FEMA MAP NUMBER 48187C0290F WITH AN EFFECTIVE DATE OF 11/02/2007, THIS PROPERTY LIES WITHIN ZONE 'X' AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. THIS INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE MAP REVISIONS BY FEMA.

JOB NO. 230615088

CREW: J.S.L.
DATE: 07/13/2023

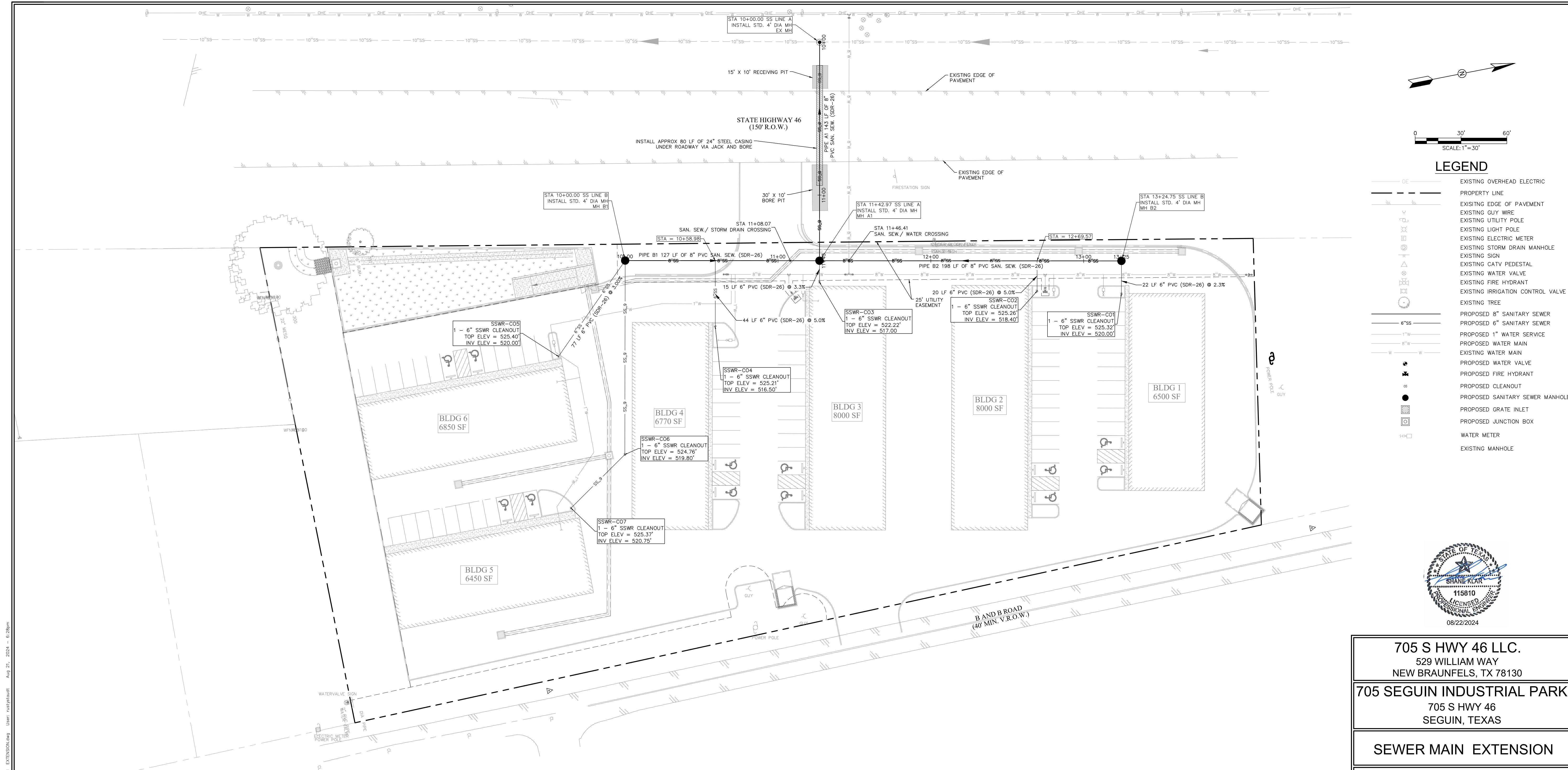
DRAWN:
JTD

REVIEW:
A.L.M. / C.B.S.

REVISION DATE: ---

DATE: 07/24/2023

SCALE
1" = 50'



Drawing Name: N:\Projects\VA\1001\705_Seguin_Industrial_Park\Civil\Construction Drawings\Sewer Extension Plan\SS LINE C.dwg User: netAttnet Date: Aug 21, 2024 6:28pm

CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO EXCAVATION:

CITY OF SEGUIN (SEWER) (830) 401-2404
 SPECTRUM CABLE (830) 625-3408
 CENTERPOINT GAS (800) 427-7140
 AT&T (830) 303-1333
 SPRINGHILL WSC (WATER) (830) 379-7683
 TEXAS ONE CALL SYSTEM 811

C.P.E. LOCATOR
 CALL CENTER POINT ENERGY LOCATOR AT 1-800-545-6005, 48HRS BEFORE BEGINNING ANY EXCAVATION. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CENTER POINT ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

TELEPHONE LOCATOR
 THE EXISTENCE AND LOCATION OF UNDERGROUND CABLE INDICATED ON THE PLANS ARE TAKEN FROM THE BEST RECORDS AVAILABLE AND ARE NOT GUARANTEED TO BE ACCURATE. CONTRACTOR TO CONTACT THE TELEPHONE COMPANY CABLE LOCATOR 48HRS PRIOR TO EXCAVATION AT 1-800-545-6005. CONTRACTOR HAS THE RESPONSIBILITY TO PROTECT AND SUPPORT TELEPHONE COMPANY DURING CONSTRUCTION.

TRENCH EXCAVATION SAFETY PROTECTION
 CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEM, PROGRAM, AND/OR PROCEDURES. THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR, IMPLEMENTATION OF THE SAFETY PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH, AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS CONCERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATIONS.

Point Table				
Point #	Row Description	Elevation	Northing	Easting
1	CP	527.980	13753230.3980	2289956.3890
2	CP	528.390	13752720.0520	2289965.0570

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

705 S HWY 46 LLC.
 529 WILLIAM WAY
 NEW BRAUNFELS, TX 78130

705 SEGUIN INDUSTRIAL PARK
 705 S HWY 46
 SEGUIN, TEXAS

SEWER MAIN EXTENSION

SHEET 2 OF 4

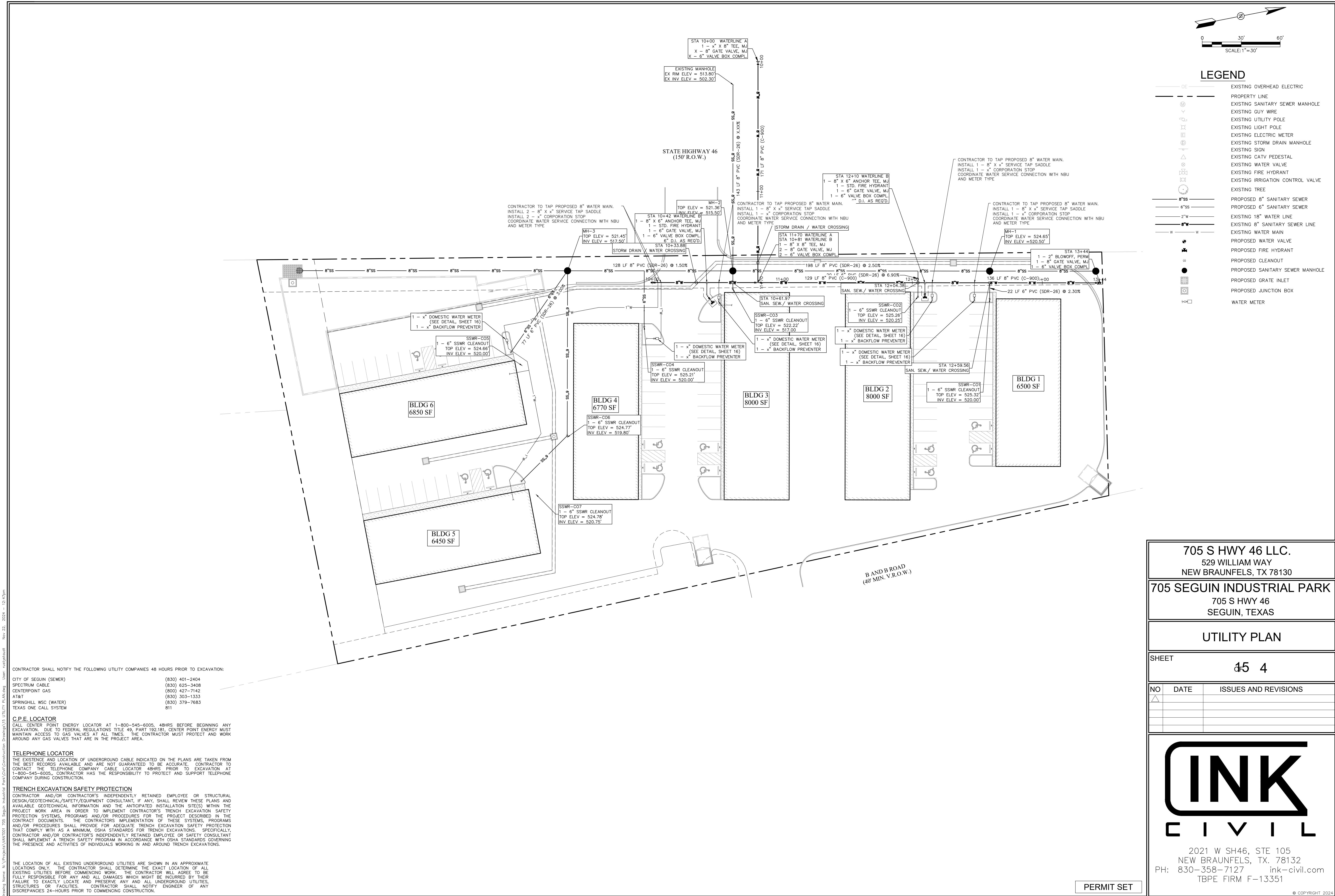
NO	DATE	ISSUES AND REVISIONS
△		



2021 W SH46, STE 105
 NEW BRAUNFELS, TX, 78132
 PH: 830-358-7127 ink-civil.com
 TBPE FIRM F-13351

PERMIT SET





Direct Capitalization/Spread Analysis

CCIM Case Analysis

Property Data		Development Costs		Potential Permanent Financing		Market Metrics	
Land Area	Ft2	157,251		Land Cost	\$ per Ft2	\$ 4.45	
Gross Building Area	Ft2	42,550		Site Infrastructure	\$ Amount	\$ -	
Rentable Area Ratio	%	100%		Construction Hard Costs	\$ per Ft2	\$ 85.00	
Rental Income	\$ per Ft2/Yr	\$ 15.50		Hard Cost Contingency	%	0.00%	
Parking Income	\$/Yr	\$ -		Project Soft Costs	\$ per Ft2	\$ 10.00	
Other Income	\$/Yr	\$ -		Soft Cost Contingency	%	0.00%	
VACL (stabilized)	%	8.00%					
Operating Expenses	\$ per Ft2/Yr	\$ 5.00					

Calculation of Stabilized NOI	
Rentable Square Feet (RSF)	42,550
Potential Rental Income	\$ 659,525
-VACL	\$ 52,762
=Effective Rental Income	\$ 606,763
+Other income	\$ -
+Parking Income	\$ -
=Gross Operating Income	\$ 606,763
-Operating Expenses	\$ 212,750
=Net Operating Income (NOI)	\$ 394,013

Calculation of Total Project Cost	
Land Cost	\$ 699,767
+Site Infrastructure Costs	\$ -
+Construction Hard Costs	\$ 3,616,750
+Hard Costs Contingency	\$ -
+Project Soft Costs	\$ 425,500
+Soft Cost Contingency	\$ -
=Total Project Cost	\$ 4,742,017
 Total Project Cost per GBA	\$ 111.45
Total Project Cost per RSF	\$ 111.45

Calculation of Property Value	
Net Operating Income	\$ 394,013
÷Market Cap Rate	6.50%
=Market Value of Property	\$ 6,061,738
Property Value psf	\$ 142.46
Calculation of Potential Development Profit	
Market Value of Property	\$ 6,061,738
-Total Project Cost	\$ 4,742,017
=Potential Development Profit	\$ 1,319,722

Net Cap Rate Calculations	
Net Operating Income	\$ 394,013
÷Total Project Costs	\$ 4,742,017
=Return On Total Costs	8.31%
-Required Spread	1.50%
=Required Disposition Cap Rate	6.81%
-Market Cap Rate	6.50%
=Net Cap Rate	0.31%
Indicated Decision	Yes

Calculation of Land Residual	
Market Value of Property	\$ 6,061,738
-Hard Costs	\$ 3,616,750
-Soft Costs	\$ 425,500
=Residual Land Value	\$ 2,019,488
(includes Building Developer's Profit)	
Calculation of Equity Multiple	
Potential Development Profit + CFO	\$ 2,345,227
+Cash Required from Developer	\$ 1,025,505
=Equity Multiple	2.29

Calculation of Justified Land Price	
Market Cap Rate	6.50%
+Required Spread	1.50%
=Required Return on Costs	8.00%
×Total Hard and Soft Costs	\$ 4,042,250
=Required Building Income	\$ 323,380
 Net Operating Income	\$ 394,013
-Required Building Income	\$ 323,380
=Residual Land Income	\$ 70,633
÷Required Return on Costs	8.00%
=Developer's Justified Land Price	\$ 882,913

Mortgage Value Analysis	
LTV Loan Amount	\$ 4,546,304
ADS Mortgage Constant	0.084813504
 NOI	\$ 394,013
÷DSCR	1.25
=Maximum ADS	\$ 315,210
 DSCR Loan Amount	\$ 3,716,512
 Maximum Loan	\$ 3,716,512
Annual Debt Service	\$ 315,210

Equity Value Analysis	
Net Operating Income	\$ 394,013
-Annual Debt Service	\$ 315,210
=Equity Cash Flow (CFBT)	\$ 78,803
÷Required Cash-on-Cash	6.50%
=Value of the Equity	\$ 1,212,348
Mortgage -Equity Analysis	
Value of the Mortgage	\$ 3,716,512
+Value of the Equity	\$ 1,212,348
=Overall Property Value	\$ 4,928,860

* This pro forma is provided for illustrative and informational purposes only and is based on assumptions believed to be reasonable at the time of preparation. Actual results may vary materially due to changes in market conditions, construction costs, financing terms, operating expenses, absorption rates, and other factors beyond the control of the preparer. This analysis does not constitute a guarantee of performance or a projection of future results. Prospective investors and buyers should conduct their own independent due diligence and consult with their financial, legal, and tax advisors before making any investment decision.

State Highway 46

SEGUIN, TX 78155

FOR SALE

Land



Mark Haynie

BROKER

830.481.9533

mark.haynie@sperrycga.com

TX #644160

Each office independently owned and operated.

We obtained the information above from sources we believe to be reliable. However, we have not verified its accuracy and make no guarantee, warranty or representation about it. It is submitted subject to the possibility of errors, omissions, change of price, rental or other conditions, prior sale, lease or financing, or withdrawal without notice. We include projections, opinions, assumptions or estimates for example only, and they may not represent current or future performance of the property. You and your tax and legal advisors should conduct your own investigation of the property and transaction.

Conceptual plan renderings

STATE HWY 46, SEGUIN, TX 78155

Land



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