

Disclosure and Information: Conceptual Business Park Drawings

The Sellers have developed a substantial set of architectural and engineering drawings for a proposed multi-unit commercial development. The following is a small selection from the full set (site plan, landscape plan, survey, and utility plan). ****We will provide the full set of**

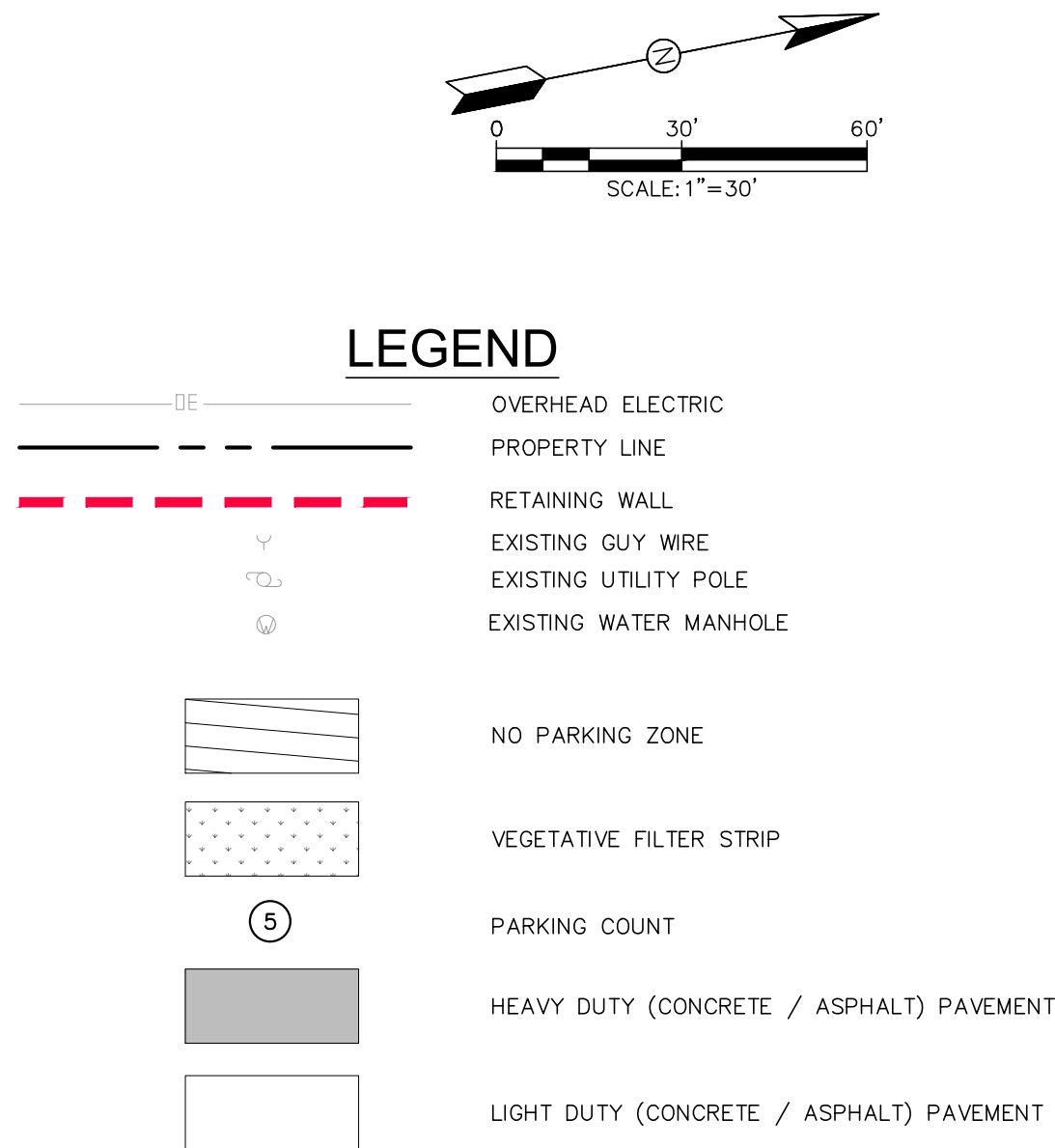
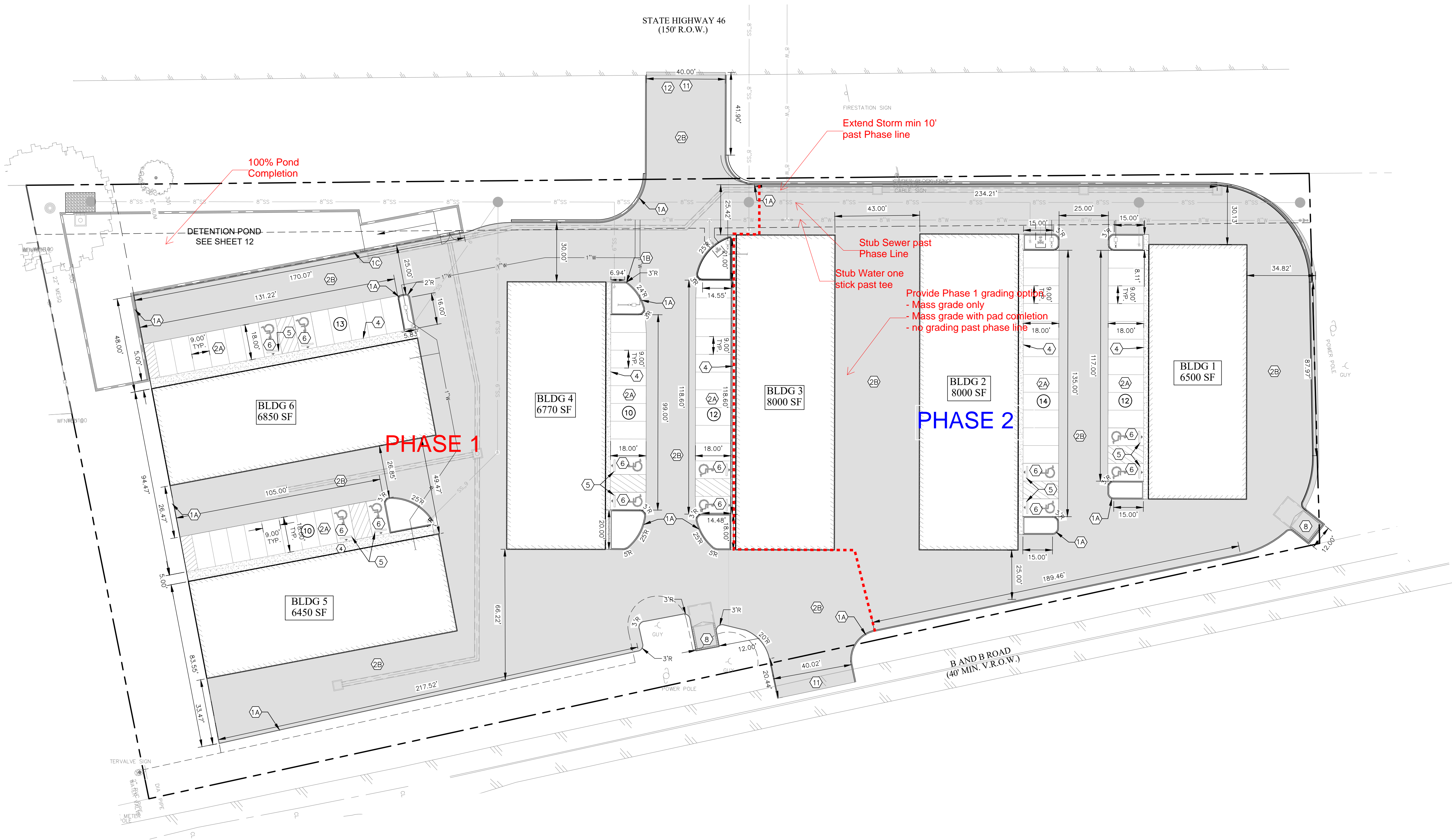
developed drawings to qualified buyers upon request and with seller approval.** The completed design and engineering work includes:

- **Site/Civil** (utilities, grading and drainage, detention pond, paving, and fire apparatus access)
- **MEP** (plumbing, electrical, and mechanical)
- **Geotechnical study** including two on-site borings
- **Architectural plans** for the buildings (excluding structural slab design)

The drawing sets have **NOT** been submitted for permitting, and no groundwork has been completed. If this design is pursued, it will be subject to review and approval by the City of Seguin. **The minor plat was approved by the city of seguin in February 2025 and is valid for two years.** The Sellers have also secured a “Reservation of Capacity” with Springhill Water Supply Corporation for 20 service units, which expires in December 2029.

Disclaimer: All drawings, studies, approvals, and related materials are provided for informational purposes only. Buyer shall be solely responsible for verifying the completeness, accuracy, and suitability of all plans, reports, and approvals for Buyer’s intended use. Buyer must obtain all required reviews, approvals, permits, and authorizations from the City of Seguin and any other applicable governmental or utility authorities. Sellers make no representation or warranty that the existing materials will satisfy permitting requirements or regulatory standards.

Drawing Name: N:\Projects\VA1007 705 Seguin Industrial Park\Civil\Construction Drawings\4 DIMENSIONAL CONTROL PLAN.dwg User: nashproust Nov 22, 2024 - 12:46pm



PARKING SUMMARY	
STANDARD	59
ACCESSIBLE	12
TOTAL	71

NOTE: SEE SHEET 5 FOR PAVEMENT SECTIONS. CONTRACTOR TO PROVIDE PRICING OPTIONS TO OWNER FOR BOTH ASPHALT AND CONCRETE PAVING. CONTRACTOR TO COORDINATE DESIRED PAVING MATERIAL WITH OWNER PRIOR TO CONSTRUCTION.

PARKING CALCULATIONS

BUILDING 1 PROPOSED USE: OFFICE SPACE;
1 SPACE PER XX SF (6500 SF PROPOSED); XX SPACES REQUIRED, 12 PROVIDED

BUILDING 2: OFFICE SPACE;
1 SPACE PER XX SF (8000 SF PROPOSED); XX SPACES REQUIRED, 14 PROVIDED

BUILDING 3: OFFICE SPACE;
1 SPACE PER XX SF (8000 SF PROPOSED); XX SPACES REQUIRED, 12 PROVIDED

BUILDING 4: OFFICE SPACE;
1 SPACE PER XX SF (6770 SF PROPOSED); XX SPACES REQUIRED, 10 PROVIDED

BUILDING 5: OFFICE SPACE;
1 SPACE PER XX SF (6450 SF PROPOSED); XX SPACES REQUIRED, 10 PROVIDED

BUILDING 6: OFFICE SPACE;
1 SPACE PER XX SF (6850 SF PROPOSED); XX SPACES REQUIRED, 13 PROVIDED

SITE PLAN KEYNOTES	
ITEM	DESCRIPTION
(1A)	CONSTRUCT STANDARD CURB PER DETAIL (SEE SHEET 5 AND SHEET 6)
(1B)	CONSTRUCT EXTENDED CURB PER DETAIL (SEE SHEET 5 AND SHEET 6)
(1C)	CONSTRUCT SAWTOOTH CURB PER DETAIL (SEE SHEET 5 AND SHEET 6)
(2A)	CONSTRUCT LIGHT DUTY PAVEMENT PER DETAIL
(2B)	CONSTRUCT HEAVY DUTY PAVEMENT PER DETAIL
(3)	- NOT USED -
(4)	STANDARD CONCRETE SIDEWALK PER DETAIL (SEE SHEET 5 AND SHEET 6)
(5)	WHEEL STOP PER DETAIL (SEE SHEET 5 AND SHEET 6)
(6)	INSTALL ACCESSIBLE SPACES PER DETAIL (SEE SHEET 5 AND SHEET 6)
(7)	- NOT USED -
(8)	DUMPSTER PAD (HEAVY DUTY CONCRETE PAVEMENT)
(9)	- NOT USED -
(10)	PAVEMENT SIDE LANE
(11)	CONTRACTOR TO MATCH EXISTING PAVEMENT
(12)	TXDOT DRIVEWAY INSTALL

- DIMENSIONAL CONTROL NOTES:**
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
 - THE CONTRACTOR SHALL PROTECT ALL CONTROL POINTS, PROPERTY PINS, BENCH MARKS, HUBS OR OTHER KEY CONTROL POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY DISTURBED OR REMOVED POINTS AT THEIR OWN EXPENSE.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.
 - UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL USE THE PROPERTY PINS FOR HORIZONTAL CONTROL POINTS. BENCHMARKS ARE NOT TO BE USED FOR HORIZONTAL CONTROL.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB, FACE OF RETAINING WALL, AND CENTER OF PAINT STRIPING. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE, UNLESS NOTED OTHERWISE.
 - REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONAL CONTROL INFORMATION.

705 S HWY 46 LLC.
529 WILLIAM WAY
NEW BRAUNFELS, TX 78130

705 SEGUIN INDUSTRIAL PARK
705 S HWY 46
SEGUIN, TEXAS

DIMENSIONAL CONTROL PLAN

SHEET
4 OF 4

NO	DATE	ISSUES AND REVISIONS
1		
2		
3		
4		



2021 W SH46, STE 105
NEW BRAUNFELS, TX. 78132
PH: 830-358-7127 ink-civil.com
TBPE FIRM F-13351

PERMIT SET



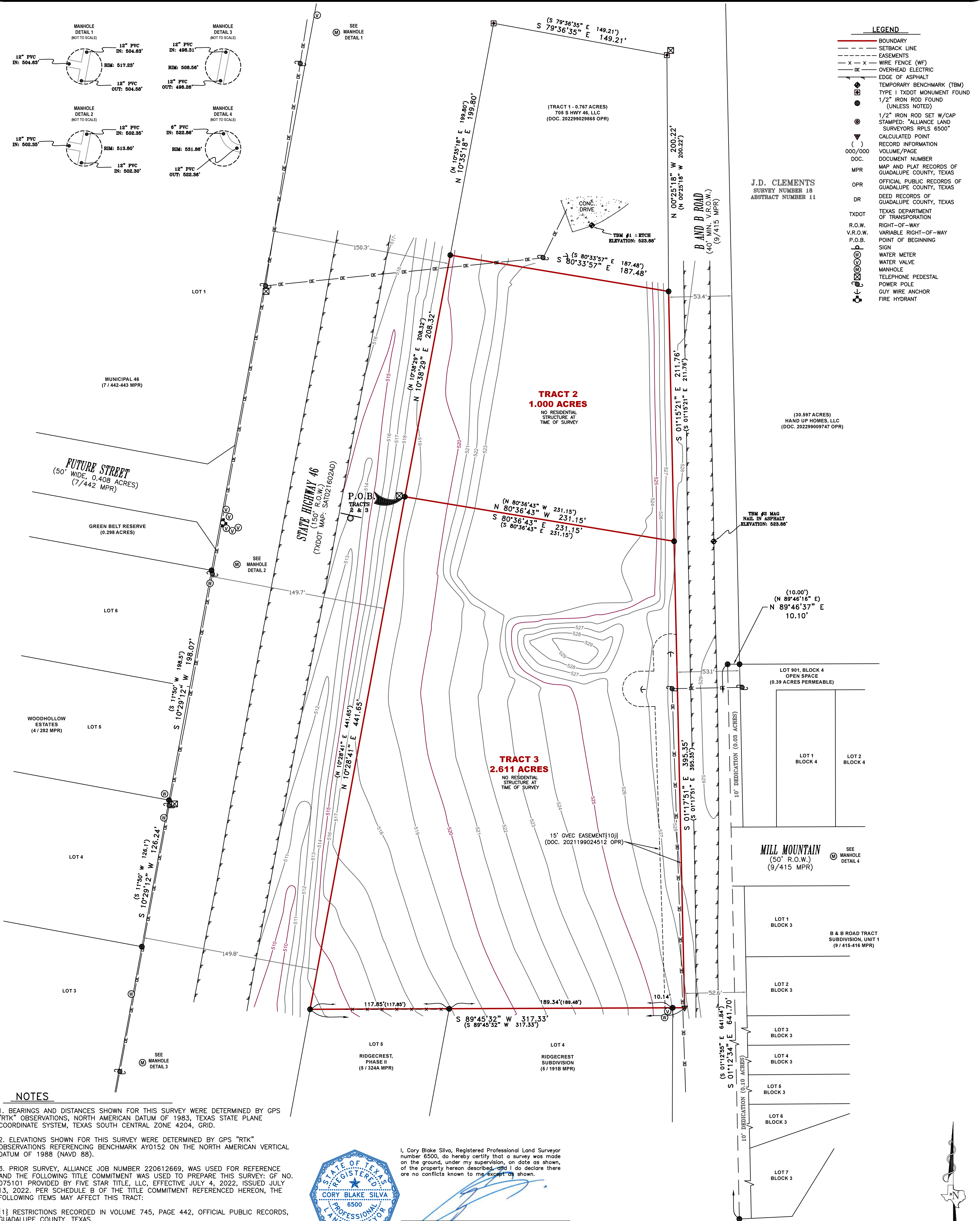
TBPELS FIRM No. 10194244
18410 US Hwy 281 N, Suite 109
San Antonio, TX 78259
(210) 369-9509

BUYER/OWNER: 705 S HWY 46, LLC
ADDRESS: 705 STATE HIGHWAY 46
CITY, STATE, ZIP: SEGUIN, TEXAS 78155

TOPOGRAPHIC LAND SURVEY

TRACT 2 - BEING A 1.000 ACRE TRACT OF LAND, SITUATED IN THE J.D. CLEMENTS SURVEY NUMBER 18, ABSTRACT NUMBER 11 IN GUADALUPE COUNTY, TEXAS, CALLED TRACT II, 1.000 ACRE IN A GENERAL WARRANTY DEED TO 705 S HWY 46, LLC OF RECORD IN DOCUMENT NUMBER 202299029865 OF THE OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS.

TRACT 3 - BEING A 2.611 ACRE TRACT OF LAND, SITUATED IN THE J.D. CLEMENTS SURVEY NUMBER 18, ABSTRACT NUMBER 11, IN GUADALUPE COUNTY, TEXAS, CALLED TRACT III, 2.611 ACRES IN A GENERAL WARRANTY DEED TO 705 S HWY 46, LLC OF RECORD IN DOCUMENT NUMBER 202299029865 OF THE OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS.



NOTES

- BEARINGS AND DISTANCES SHOWN FOR THIS SURVEY WERE DETERMINED BY GPS "RTK" OBSERVATIONS, NORTH AMERICAN DATUM OF 1983, TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS SOUTH CENTRAL ZONE 4204, GRID.
- ELEVATIONS SHOWN FOR THIS SURVEY WERE DETERMINED BY GPS "RTK" OBSERVATIONS REFERRING BENCHMARK AY0152 ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- PRIOR SURVEY, ALLIANCE JOB NUMBER 220612669, WAS USED FOR REFERENCE AND THE FOLLOWING TITLE COMMITMENT WAS USED TO PREPARE THIS SURVEY: GF NO. 075101 PROVIDED BY FIVE STAR TITLE, LLC, EFFECTIVE JULY 4, 2022, ISSUED JULY 13, 2022. PER SCHEDULE B OF THE TITLE COMMITMENT REFERENCED HEREON, THE FOLLOWING ITEMS MAY AFFECT THIS TRACT:
{1} RESTRICTIONS RECORDED IN VOLUME 745, PAGE 442, OFFICIAL PUBLIC RECORDS, GUADALUPE COUNTY, TEXAS.
{10} WATERLINE EASEMENT RECORDED IN VOLUME 577, PAGE 148, DEED RECORDS, GUADALUPE COUNTY, TEXAS. (MAY AFFECT, LOCATION NOT DEFINED)



I, Cory Blake Silva, Registered Professional Land Surveyor number 6500, do hereby certify that a survey was made on the ground, under my supervision, on date as shown, of the property hereon described, and I do declare there are no conflicts known to me except as shown.

CORY BLAKE SILVA
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6500

ACCORDING TO FEMA MAP NUMBER 48187C0290F WITH AN EFFECTIVE DATE OF 11/02/2007, THIS PROPERTY LIES WITHIN ZONE "X" AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. THIS INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE MAP REVISIONS BY FEMA.

JOB NO. 230615088

CREW: J.S.L.
DATE: 07/13/2023

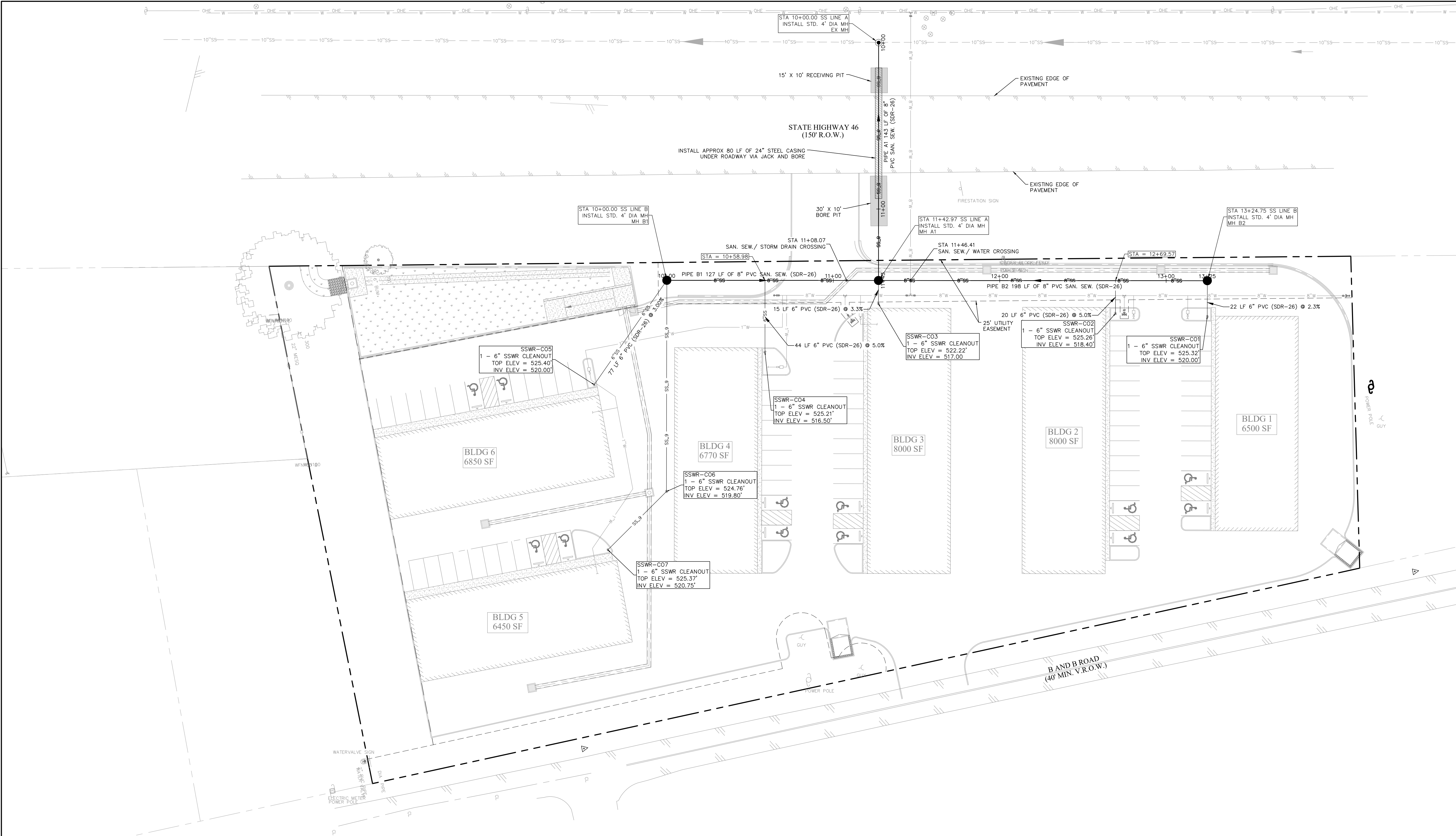
DRAWN:
JTD

REVIEW:
A.L.M. / C.B.S.

REVISION DATE: --/--/----

DATE: 07/24/2023

SCALE
1" = 50'



LEGEND

	EXISTING OVERHEAD ELECTRIC
	PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING GUY WIRE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING ELECTRIC METER
	EXISTING STORM DRAIN MANHOLE
	EXISTING SIGN
	EXISTING CATV PEDESTAL
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING IRRIGATION CONTROL VALVE
	EXISTING TREE
	PROPOSED 8" SANITARY SEWER
	PROPOSED 6" SANITARY SEWER
	PROPOSED 1" WATER SERVICE
	PROPOSED WATER MAIN
	EXISTING WATER MAIN
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED CLEANOUT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED GRATE INLET
	PROPOSED JUNCTION BOX
	WATER METER
	EXISTING MANHOLE



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529 WILLIAM WAY
NEW BRAUNFELS, TX 78130

705 SEGUIN INDUSTRIAL PARK
705 S HWY 46
SEGUIN, TEXAS

SEWER MAIN EXTENSION

SHEET
2 OF 4

NO	DATE	ISSUES AND REVISIONS
1		



2021 W SH46, STE 105
NEW BRAUNFELS, TX. 78132
PH: 830-358-7127 ink-civil.com
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PERMIT SET

CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO EXCAVATION:

CITY OF SEGUIN (SEWER)	(830) 401-2404
SPECTRUM CABLE	(830) 625-3408
CENTERPOINT GAS	(800) 427-7142
AT&T	(830) 303-1333
SPRINGHILL WSC (WATER)	(830) 379-7683
TEXAS ONE CALL SYSTEM	811

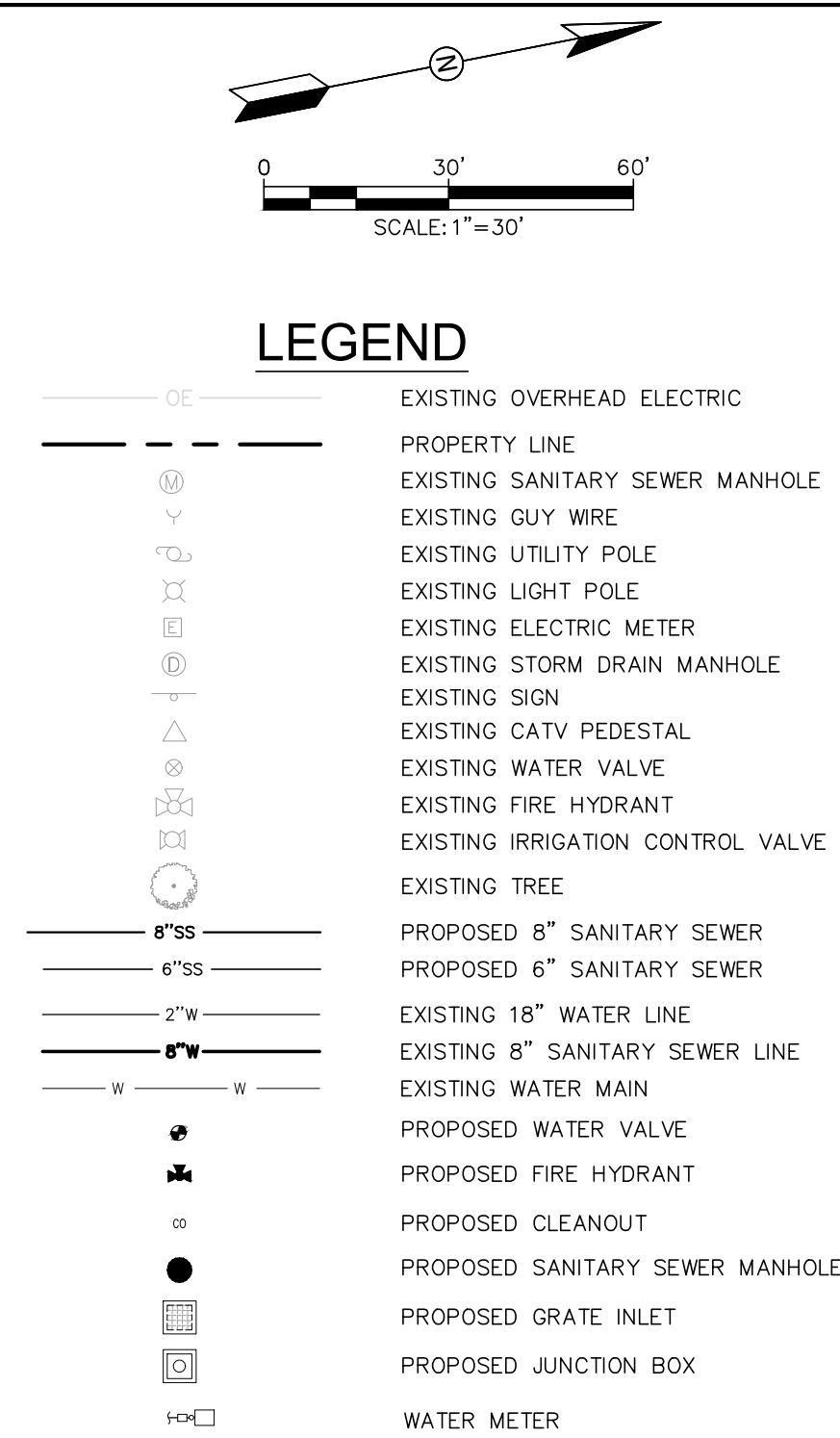
C.P.E. LOCATOR
CALL CENTER POINT ENERGY LOCATOR AT 1-800-545-6005, 48HRS BEFORE BEGINNING ANY EXCAVATION. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CENTER POINT ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

TELEPHONE LOCATOR
THE EXISTENCE AND LOCATION OF UNDERGROUND CABLE INDICATED ON THE PLANS ARE TAKEN FROM THE BEST RECORDS AVAILABLE AND ARE NOT GUARANTEED TO BE ACCURATE. CONTRACTOR TO CONTACT THE TELEPHONE COMPANY CABLE LOCATOR 48HRS PRIOR TO EXCAVATION AT 1-800-545-6005. CONTRACTOR HAS THE RESPONSIBILITY TO PROTECT AND SUPPORT TELEPHONE COMPANY DURING CONSTRUCTION.

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATIONS.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

Point Table				
Point #	Row Description	Elevation	Northing	Easting
1	CP	527.980	13753230.3980	2289956.3890
2	CP	528.390	13752720.0520	2289965.0570



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Direct Capitalization/Spread Analysis CCIM Case Analysis

Property Data		Development Costs		Potential Permanent Financing		Market Metrics	
Land Area	<i>Ft2</i>	157,251	Land Cost	<i>\$ per Ft2</i>	\$ 4.45	Market Cap Rate	% 6.50%
Gross Building Area	<i>Ft2</i>	42,550	Site Infrastructure	<i>\$ Amount</i>	\$ -	Required Development Spread	% 1.50%
Rentable Area Ratio	%	100%	Construction Hard Costs	<i>\$ per Ft2</i>	\$ 85.00	Required Cash-on-Cash	% 6.50%
Rental Income	<i>\$ per Ft2/Yr</i>	\$ 15.50	Hard Cost Contingency	%	0.00%		
Parking Income	<i>\$/Yr</i>	\$ -	Project Soft Costs	<i>\$ per Ft2</i>	\$ 10.00		
Other Income	<i>\$/Yr</i>	\$ -	Soft Cost Contingency	%	0.00%		
VACL (stabilized)	%	8.00%					
Operating Expenses	<i>\$ per Ft2/Yr</i>	\$ 5.00					

Calculation of Stabilized NOI	
Rentable Square Feet (RSF)	42,550
Potential Rental Income	\$ 659,525
-VACL	\$ 52,762
=Effective Rental Income	\$ 606,763
+Other income	\$ -
+Parking Income	\$ -
=Gross Operating Income	\$ 606,763
-Operating Expenses	\$ 212,750
=Net Operating Income (NOI)	\$ 394,013

Calculation of Total Project Cost	
Land Cost	\$ 699,767
+Site Infrastructure Costs	\$ -
+Construction Hard Costs	\$ 3,616,750
+Hard Costs Contingency	\$ -
+Project Soft Costs	\$ 425,500
+Soft Cost Contingency	\$ -
=Total Project Cost	\$ 4,742,017
Total Project Cost per GBA	\$ 111.45
Total Project Cost per RSF	\$ 111.45

Calculation of Property Value	
Net Operating Income	\$ 394,013
÷Market Cap Rate	6.50%
=Market Value of Property	\$ 6,061,738
Property Value psf	\$ 142.46
Calculation of Potential Development Profit	
Market Value of Property	\$ 6,061,738
-Total Project Cost	\$ 4,742,017
=Potential Development Profit	\$ 1,319,722

Net Cap Rate Calculations	
Net Operating Income	\$ 394,013
÷Total Project Costs	\$ 4,742,017
=Return On Total Costs	8.31%
-Required Spread	1.50%
=Required Disposition Cap Rate	6.81%
-Market Cap Rate	6.50%
=Net Cap Rate	0.31%
Indicated Decision	Yes

Calculation of Land Residual	
Market Value of Property	\$ 6,061,738
-Hard Costs	\$ 3,616,750
-Soft Costs	\$ 425,500
=Residual Land Value	\$ 2,019,488
<i>(Includes Building Developer's Profit)</i>	
Calculation of Equity Multiple	
Potential Development Profit + CF0	\$ 2,345,227
÷Cash Required from Developer	\$ 1,025,505
=Equity Multiple	2.29

Calculation of Justified Land Price	
Market Cap Rate	6.50%
+Required Spread	1.50%
=Required Return on Costs	8.00%
xTotal Hard and Soft Costs	\$ 4,042,250
=Required Building Income	\$ 323,380
Net Operating Income	\$ 394,013
-Required Building Income	\$ 323,380
=Residual Land Income	\$ 70,633
÷Required Return on Costs	8.00%
=Developer's Justified Land Price	\$ 882,913

Mortgage Value Analysis	
LTV Loan Amount	\$ 4,546,304
ADS Mortgage Constant	0.084813504
NOI	\$ 394,013
÷DSCR	1.25
=Maximum ADS	\$ 315,210
DSCR Loan Amount	\$ 3,716,512
Maximum Loan	\$ 3,716,512
Annual Debt Service	\$ 315,210

Equity Value Analysis	
Net Operating Income	\$ 394,013
-Annual Debt Service	\$ 315,210
=Equity Cash Flow (CFBT)	\$ 78,803
÷Required Cash-on-Cash	6.50%
=Value of the Equity	\$ 1,212,348
Mortgage -Equity Analysis	
Value of the Mortgage	\$ 3,716,512
+Value of the Equity	\$ 1,212,348
=Overall Property Value	\$ 4,928,860

*** This pro forma is provided for illustrative and informational purposes only and is based on assumptions believed to be reasonable at the time of preparation. Actual results may vary materially due to changes in market conditions, construction costs, financing terms, operating expenses, absorption rates, and other factors beyond the control of the preparer. This analysis does not constitute a guarantee of performance or a projection of future results. Prospective investors and buyers should conduct their own independent due diligence and consult with their financial, legal, and tax advisors before making any investment decision.**

State Highway 46

SEGUIN, TX 78155

FOR SALE

Land



**TBD Hwy 46
Seguin, Tx. 78155
Boundary shown is approximate**



B and B Rd

State Hwy 46

**705 S. Hwy 46
Seguin, Tx. 78155
Boundary shown is approximate**

To downtown Seguin



Mark Haynie
BROKER
830.481.9533
mark.haynie@sperrycga.com
TX #644160

Each office independently owned and operated.

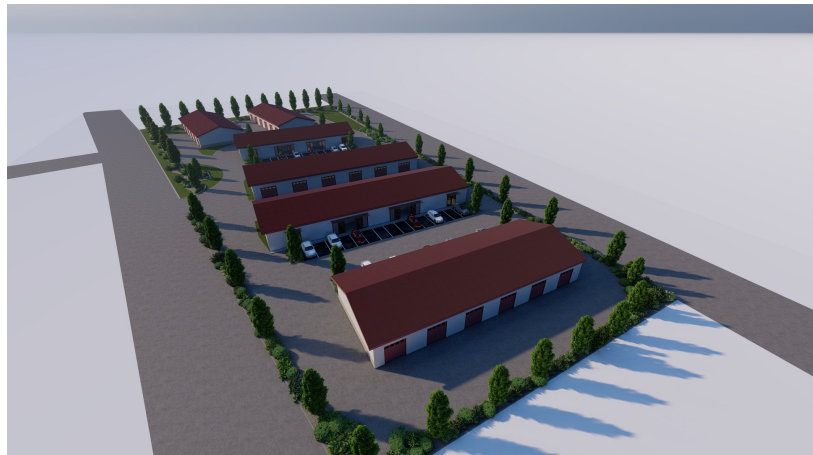
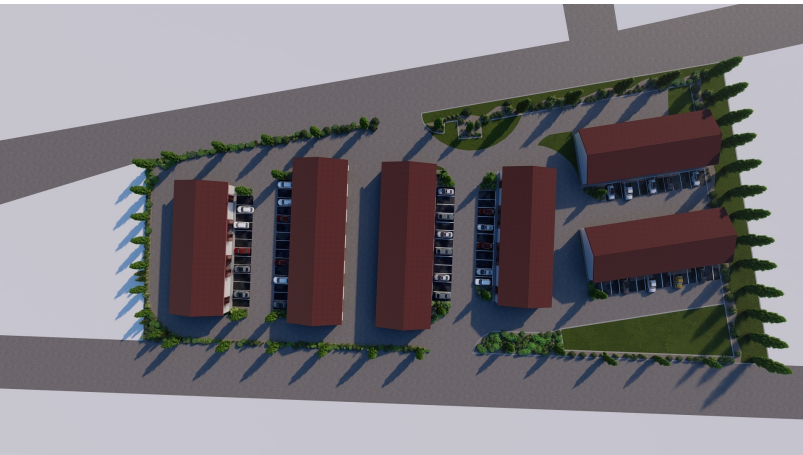
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www.SperryCGA.com

Conceptual plan renderings

STATE HWY 46, SEGUIN, TX 78155

Land



Mark Haynie

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830.481.9533

mark.haynie@sperrycga.com

TX #644160

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